

**Due to the COVID-19 concerns and social distancing recommendations, a virtual meeting is being offered. Participants wishing to speak on a topic should message the meeting moderator. All participants are asked to mute their individual computers at times when they are not speaking to minimize background noise. Join: <https://us02web.zoom.us/j/83705816644>*

**NOTICE OF A REGULAR MEETING
BONDURANT PLANNING AND ZONING COMMISSION
APRIL 11, 2024**

NOTICE IS HEREBY GIVEN that a Regular Meeting of the City Council will be held at 6:00 PM on April 11, 2024, in the Bondurant City Center, 200 Second Street, Northeast, Bondurant, Polk County, Iowa. Said meeting is open and the public is encouraged to attend.

AGENDA

1. Call to Order
2. Roll Call
3. Perfecting and Approval of the Agenda
4. Approval of Minutes
 - a. March 14, 2024 Minutes
5. Guests requesting to address the Planning and Zoning Commission
6. Action Items
 - a. Resolution PZ-240411-10 - Considering recommended approval of the Towers Estate Plat of Survey in unincorporated Polk County within two miles of Bondurant's city limits.
 - b. Resolution PZ-240411-11 - Considering recommended approval of the site plan for US Equipment at 1101 23rd Street SW.
7. Discussion Items -
8. Reports / Comments and appropriate action thereon:
 - a. Commission Members
 - b. City Council Liaison
 - c. City Staff
9. Adjournment

City of Bondurant

Planning and Zoning
Commission 200 2nd St NE,
PO Box 37
Bondurant, IA 50035



Meeting Minutes

DATE: March 14, 2024

Karen Keeran, Chair

1. Call to Order 6:00 pm

Place Bondurant City Hall (200 2nd St NE, PO Box 37)

Special Note: Due to concerns of the COVID-19 virus and social distancing recommendations, access to the meeting was also provided through a virtual meeting.

2. Roll Call

Members Present: Karen Keeran (Chairperson), Andy Mains (Vice-Chairperson), Kristin Brostrom, Brian Clayton, Ethan Pitt, Jesse Torres, Jason Vore

Members Absent:

City Official & Staff Present: Isaac Pezley, Maggie Murray, Matt Sillanpaa

3. Perfecting and Approval of the Amended Agenda

Motion by Commission Member Mains, seconded by Commission Member Clayton to approve of the March 14, 2024, meeting agenda. Vote on Motion 7-0-0. Motion carried.

4. Approval of Minutes

Motion by Commission Member Vore, seconded by Commission Member Mains to approve of the February 8, 2024, meeting minutes. Vote on Motion 7-0-0. Motion carried.

5. Guests requesting to address the Planning and Zoning Commission

6. Action Items

- a. PUBLIC HEARING – Text amendment to Section 181.13. of the Zoning Code regarding Electronic Message Displays.

Public Hearing opened at 6:01.

Pezley stated this text amendment originated from City Council because the library is looking to update their existing sign and found the electronic message display sign they would like to install is not allowed per our code. Upon further research, staff found the electronic message display section of our code is out of date as compared to other Des Moines metro communities.

Pezley outlined the major code changes for the Commission. The major change is how often these types of signs can change; the proposed code would allow for electronic message displays signs to change every 8 seconds.

Keeran asked about an existing sign that is out of compliance with the current and suggested code. Pezley stated this sign is a wall sign and is currently considered a legal non-conforming sign.

Mains suggested striking LED screen from the code change as any type of sign proposed now would be an LED screen. The Commission considered and suggested striking the entire section 4 as the message type would dictate what type of sign is allowed.

Pitt asked if there are federal or state regulations regarding signage along state and federal roads. Pezley stated he is not aware of any but it would be up to those enforcement agencies to enforce their rules and/or request code changes from the local governing body.

Torres stated the City of Des Moines requiring electronic message displays signs to be installed with automatic dimmers in the sign. This way the display dims according to the natural light and not at a specific time every morning or evening.

Keeran stated as the City continues developing towards the interstate there may be a need for a video display sign. Would that require approval from Board of Adjustment, Pezley stated that is correct.

Torres asked for clarification on what residential properties could have this type of sign. Pezley stated institutions like schools and churches would be allow to have them. Torres stated Des Moines is the same way but requires a setback from residential uses. Commission discussed adding a setback provision to the code. Pezley stated staff will look at Des Moines's sign regulations and make alterations to the proposed code change before going to Council.

Public Hearing closed at 6:13.

- b. Resolution PZ-240314-07 – Considering recommended approval of text amendment to Section 181.13 of the Zoning Code regarding Electronic Message Displays.

Motion by Commission Member Mains, seconded by Commission Member Torres to recommend approval of the amended Resolution PZ -240314-07.

Roll Call – Ayes: Commission Member Clayton, Commission Member Keeran, Commission Member Brostrom., Commission Member Torres, Commission Member Mains, Commission Member Vore Nays: none. Abstentions: none. Absent: Vote on Motion 7-0-0. Motion carried.

- c. Resolution PZ-240208-05 – Considering recommended approval of site plan for Alan's Seamless Gutters.

Vic Piagentini, AEC of Iowa, presented the site plan to the Commission. Keeran asked if the parking along Garfield Street was going to be removed. Piagentini stated yes, it will be removed. Piagentini stated yes, it will be removed. Pezley stated staff will need a lot-tie agreement before releasing the site plan.

Paul Gehrke, Elevated Builders, LLC, stated the updated site plan includes quite a bit of concrete work. Gehrke asked the Commission if they could complete all of the work in a phased approach instead of requiring it to be done all at once. Pezley stated this is something staff has done in the past, Commission members stated they are okay with this as long as a deadline is set. Commission members and the applicant discuss the timeline further.

Motion by Commission Member Mains, seconded by Commission Member Torres to recommend approval of the amended Resolution PZ -240208-05.

Roll Call – Ayes: Commission Member Clayton, Commission Member Keeran, Commission Member Brostrom., Commission Member Torres, Commission Member Mains, Commission Member Vore Nays: none. Abstentions: none. Absent: Vote on Motion 7-0-0. Motion carried.

- d. Resolution PZ-240314-08 – Resolution considering recommended approval of Campus Industrial Park Plat of Survey.

Ed Pelds, Peds Design Services, detailed the submitted Plat of Survey for the Commission. Pelds stated this is a part of the Campus Industrial Park Subdivision however, MidAmerican has a faster timeline than the rest of the development. Pelds stated they are working on updating the Plat of Survey to reflect comments from staff regarding roadway easements.

Motion by Commission Member Vore, seconded by Commission Member Pitt to recommend approval of Resolution PZ-240314-08.

Roll Call – Ayes: Commission Member Clayton, Commission Member Keeran, Commission Member Brostrom, Commission Member Torres, Commission Member Vore Nays: none. Abstentions: Commission Member Mains. Absent: Vote on Motion 6-0-1. Motion carried.

- e. Resolution PZ-240314-09 – Resolution considering recommended approval of the Major Streets Master Plan.

Greg Roth, Veenstra & Kimm, presented the updated Major Street Master Plan.

Keeran asked about the placement of a stop light along Hubbell and the accuracy of the placements. Roth stated the stop lights are to show a relative spot not exactly. Some future locations are known, others are estimated.

Brostrom stated she has concerns about 2nd Street's collector street status. Brostrom stated it should be labeled as an arterial to help control access points along 2nd Street. Brostrom acknowledged there are portions of 2nd Street that do not act as an arterial but it should be planned as arterial for future development. Mains asked what impact keeping it as a collector could have. Roth stated regardless of its designation, staff will try to limit access points on 2nd Street. Roth asked staff if they wanted the map to be updated to show the Commission's recommendation, Murray stated that is fine.

Clayton asked if the City is setting aside money to acquire properties in order to widen streets such as 2nd Street and Grant. Murray stated the City has future streets improvements but acquisition of properties will likely come down to each individual project. Clayton expressed concern about the city's older streets continuing to be bottlenecks as the community continues to grow.

Motion by Commission Member Mains, seconded by Commission Member Brostrom to recommend approval of Resolution PZ-240314-09.

Roll Call – Ayes: Commission Member Clayton, Commission Member Keeran, Commission Member Brostrom., Commission Member Mains, Commission Member Torres, Commission Member Vore Nays: none. Abstentions: none. Absent: Vote on Motion 7-0-0. Motion carried.

7. Discussion Items –

8. Reports / Comments and appropriate action thereon

a. Commission Members

Brostrom – encourage City staff to require full site compliance when new site plans are submitted and holding full certificate of occupancy until the changes are made. Brostrom updated the Commission on bill restricting community's ability to enforce stormwater management practices.

Clayton – asked about silt fence removal after projects are completed. Clayton and Mains asked if a text amendment requiring the removal of silt fences would be appropriate or if its an enforcement issue. Brostrom stated once the SWMP or GP2 is closed the erosion control measures should be removed from the property anyways. Murray stated she does not believe a text amendment is needed, a reminder needs to be sent to Public Works and Veenstra & Kimm to enforce this.

Clayton asked if the developer received permission to dump dirt on the property north of the high school. Staff stated they will look into it.

Mains – asked staff about City’s requirements for downtown streetscape. Mains stated as downtown development begins to pick up he believes staff should address it now. Murray stated the City would leading or driving the public street enhancements and plantings. Commission and staff discussed responsibilities of streetscape.

Pitt – none.

Torres – none.

Vore – none.

Commission Chair – none.

- b. City Administrator – none.
- c. Community Development Director – University of Iowa IISC students will hold an open house for their Parks, Trails and Greenway Master Plan at Reclaimed Rails on April 24. The City is conducting a Special Census this summer and is currently recruiting for that Special Census. Pezley stated the Commission will be meeting at the library this summer as Special Census will be based in the Council Chambers.
- d. City Planner – none.
- e. City County Liaison – none.

7. Adjournment

Motion by Commissioner Mains, seconded by Commissioner Pitt to adjourn the meeting. Vote on Motion 7-0-0. Motion carried. Meeting adjourned at 7:28.



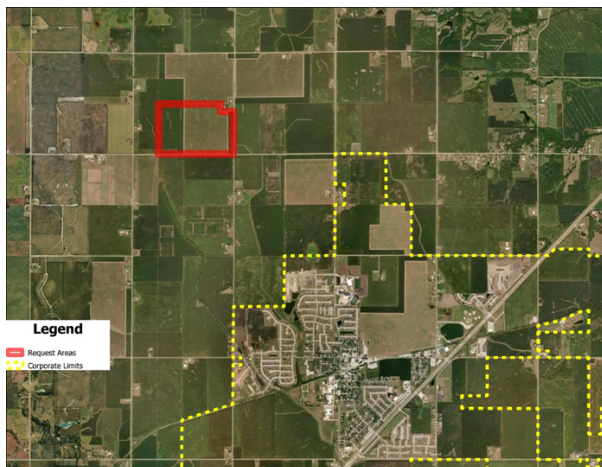
**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.a.
For Meeting of 4/11/2024
Resolution

TITLE: Resolution PZ-240411-10 - Considering recommended approval of the Towers Estate Plat of Survey in unincorporated Polk County within two miles of Bondurant's city limits.

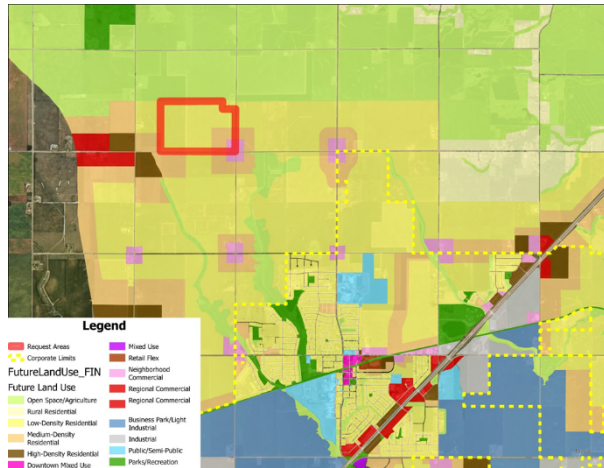
CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City is in receipt of a plat of survey request located in unincorporated Polk County within 2 miles of Bondurant's city limits. Polk County has zoning jurisdiction on this land - meaning that a permitted use review is conducted by Polk County and not the City of Bondurant. The subject property is located north of the Bondurant's corporate limit, north of NE 94th Avenue, west of NE 64th Street, and east of NE 56th Street. The subject property is currently used for agricultural purposes. The Plat of Survey is proposing to split the agricultural land into two parcels and create a right-of-way parcel in front of the existing residential property located in the northeast corner of this property. The residential property was recently parceled off the agricultural land. The area in red shows the location of the proposed split.



The City's Future Land Use Map as part of the 2022 Comprehensive Plan shows this area as Neighborhood Commercial, Medium-Density Residential and Low-Density Residential. The map below shows the property outlined in red on the Future Land Use

Map.



The City's Streets Master Plan shows Franklin Street NW/NE 64th Street as a future 5-lane section requiring 100' of right-of-way. The Plat of Survey reflects this future street corridor by showing a 50' one-half right-of-way.

Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. City Engineering – no additional review comments.
2. Public Works – no additional review comments.
3. Emergency Services – no review comments.

FUNDING SOURCE:

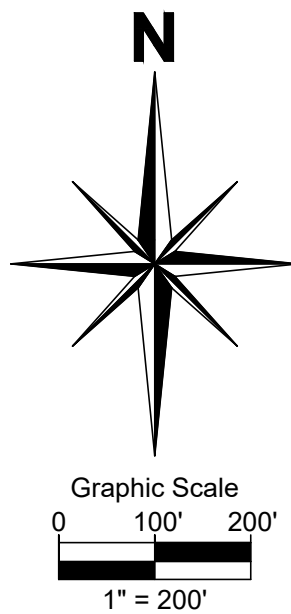
STAFF RECOMMENDATION:

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. Towers Estate Plat of Survey
2. RES. PZ-240411-10

PLAT OF SURVEY



Recorder Use Only

Index Legend

Type...: Plat of Survey
Description...: E1/2-SW1/4 & SE1/4 (Except Parcel "2023-158")
Section 14-80-23 (Book 15625, Pages 568-570).
Address...: NE 94th Ave. & NE 64th St. (Douglas Township)
Owner/Developer...: Estate of Thomas R. Towers
9611 NE 56th St.
Bondurant, IA 50035
Requestor/Contact: Alexandria "Aly" Greim
Mark Gray Law, PLC
416 SW 3rd St Ankeny, IA 50023
(515) 964-3633; greim@markgraylawplc.com
Surveyor...: Brian R. Campbell, P.E., P.L.S.
Return to...: Campbell Engineering & Surveying, Inc.
925 E 1st St. - Suite 1
Ankeny, IA 50021
(515) 963-4385
info@cesiowa.com

Legal Description - Parcel "2024-57"

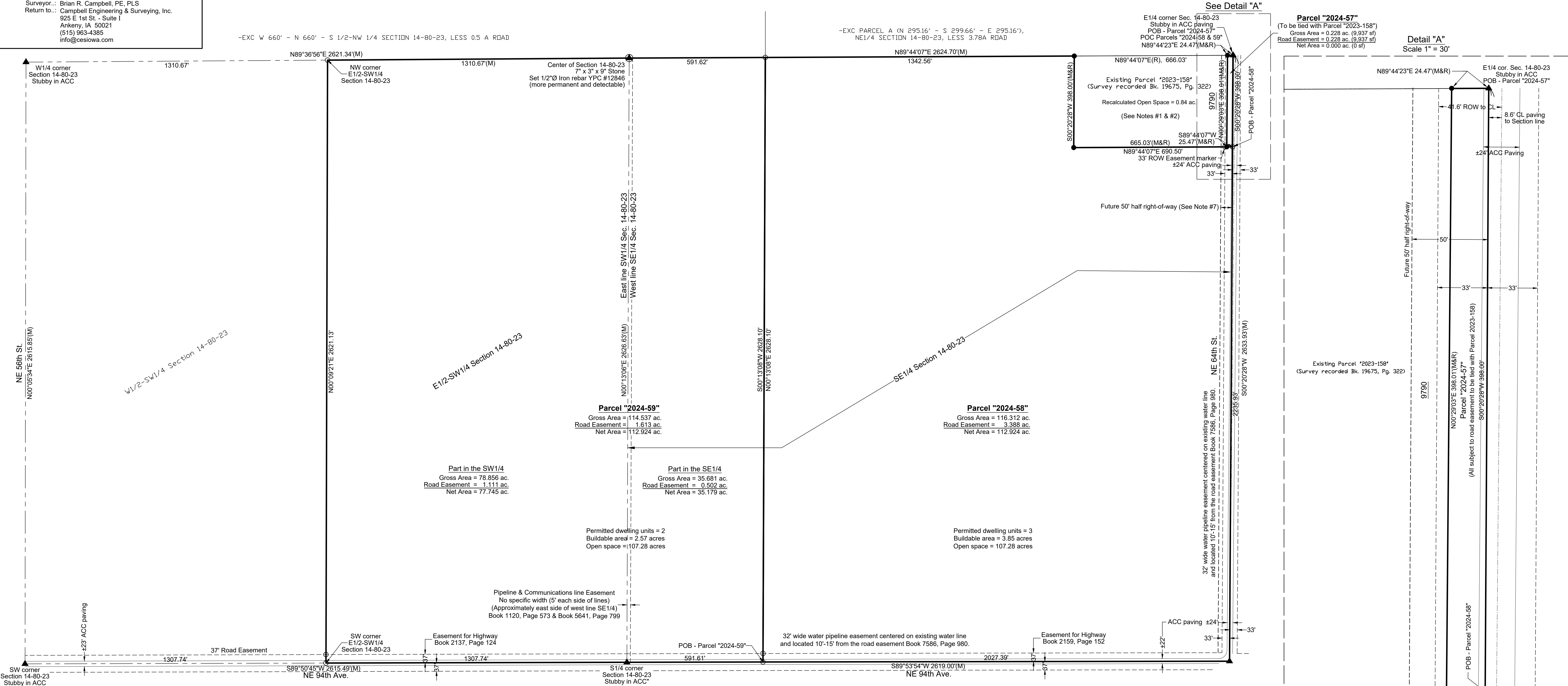
Part of the Southeast Quarter (SE1/4) of Section 14, Township 80 North, Range 23 West of the 5th P.M., Polk County, Iowa, more particularly described as Beginning at the East Quarter (E1/4) corner of said Section 14; thence S00°20'28"W, 398.00 feet along the East line of said SE1/4; thence S89°44'07"W, 25.47 to the Southeast corner of Parcel "2023-158" (Survey recorded Book 19675, Page 322); thence N00°20'28"E, 398.01 feet to the Northeast corner of said Parcel "2023-158"; thence N89°44'07"E, 24.47 feet along the North line of said SE1/4 to the Point of Beginning and containing 0.228 acres; all 0.228 acres subject to road easement; 0.000 net acres remaining; subject to and together with any and all other recorded easements and restrictions of record.

Legal Description - Parcel "2024-58"

Part of the Southeast Quarter (SE1/4) of Section 14, Township 80 North, Range 23 West of the 5th P.M., Polk County, Iowa, more particularly described as Commencing at the East Quarter (E1/4) corner of said Section 14; thence S00°20'28"W, 398.00 feet along the East line of said SE1/4 to the Point of Beginning; thence continuing S00°20'28"W, 2235.93 feet to the Southeast corner of said Section 14; thence S89°53'54"W, 2027.38 feet along the South line of said SE1/4; thence N00°13'08"E, 2628.10 feet to the North line of said SE1/4; thence N89°44'07"E, 1342.55 feet along said North line to the Northwest corner of Parcel "2023-158" (Survey recorded Book 19675, Page 322); thence S00°20'28"W, 398.00 feet to the Southwest corner of said Parcel "2023-158"; thence N89°44'07"E, 690.50 feet to the Point of Beginning and containing 116.312 acres; subject to 3.388 acres road easement; 112.924 net acres remaining; subject to and together with any and all other recorded easements and restrictions of record.

Legal Description - Parcel "2024-59"

The East half of the Southwest Quarter (E1/2-SW1/4) and part of the Southeast Quarter (SE1/4), all in Section 14, Township 80 North, Range 23 West of the 5th P.M., Polk County, Iowa, and more particularly described as Commencing at the SE corner of said Section 14; thence S89°53'54"W, 2027.39 feet along the South line of the Southeast Quarter (SE1/4) of said Section 14 to the Point of Beginning; thence continuing along said line S89°53'54"W, 591.61 feet to the South Quarter (S1/4) corner of said Section 14; thence S89°50'45"W, 1307.74 feet along the South line of the SW1/4 to the SW corner of said E1/2-SW1/4; thence N00°09'21"E, 2621.13 feet to the NW corner of said E1/2-SW1/4; thence N89°36'56"E, 1310.67 feet to the Center of said Section 14; thence N89°44'07"E, 591.62 feet along the North line of said SE1/4; thence S00°13'08"W, 2628.10 feet to the Point of Beginning and containing 114.537 acres; subject to 1.613 acres road easement; 112.924 net acres remaining; subject to and together with any and all other recorded easements and restrictions of record.



Notes:

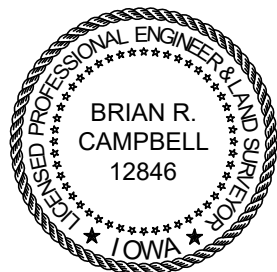
- NE 64th Street road easement is shown centered on the section line as described in Road Book 4, page 3 on April 13, 1881.
- The Towers family has owned the SE1/4 & E1/2-SW1/4 since 1948 and 1970, respectively. The property was described as the SE1/4 and E1/2-SW1/4 through 1988 without mention of the existing road easements. When the Estate of Thomas V. Thomas was transferred in 1993, reference to the easement was added to the description stating, "except legally established highways." This is a common reference meaning it is subject to a road easement, not meaning to exclude the property in the easement from the transfer. Parcel "2023-158" (Survey recorded Bk. 19675, Pg. 322) used a road easement centered on the existing pavement and not on the section line as described above in Note #1, then excluded the portion subject to the road easement. Therefore, this portion was excluded in the transfer of Parcel "2023-158". This survey is including that excluded portion in this survey, which is entirely subject to road easement, to be tied with "Parcel 2023-158". The open space for said Parcel "2023-158" was recalculated to reflect the revised right-of-way location for NE 64th Street.
- A 37' wide easement for highway was granted to Polk County on the south side of the SW1/4 and SE1/4 of Section 14-80-23 on November 20, 1947, and March 4, 1948, respectively. All utility easements may not be known or shown on the drawing.
- There is no mapped floodplain within the subject property. Flood Map 19153C0230F, effective 02/01/2019.
- Basis of bearings is the Iowa Regional Coordinate System (IaRCS).
- Zoning classification for this property is "AG" Agricultural District. All of the property is being used as tilled farmland.
- A future 50.00 foot minimum half right-of-way for NE 64th Street, established from the section line per City of Bondurant street master plan. The intent is to show the future right-of-way to put the owner on notice.

Legend

(M) Measured
(R) Recorded
ACC Asphalt Cement Concrete
POB Point of Beginning
POC Point of Commencement
ROW Right-of-way
YPC Yellow Plastic Cap
▲ Found Monument at Government corner
● Found 1/2"Ø Iron rebar YPC #18643
○ Set 1/2"Ø Iron rebar YPC #12846
● Found Monument at Government corner,
Set 1/2"Ø Iron rebar YPC #12846

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Signed: _____
Date: _____
Brian R. Campbell, P.E., P.L.S.
License Number: 12846
*My license renewal date is December 31, 2025.



Campbell Engineering & Surveying
925 E 1st St., Suite 1
Ankeny, Iowa 50021
Phone.: (515) 963-4385
E-mail: info@cesiowa.com

FIELD WORK:..	CGC	2/14/2024	PROJECT #.	TRT2401
DRAWN BY:....	CGC	2/29/2024	FILE #.....	PS2401
CHECKED BY:..	BRC	3/7/2024	SCALE	SHEET
REVISED BY:..	BRC	3/22/2024	VERT.:..	1
REVISED BY:..	BRC	4/2/2024	HORIZ.: 1"=200'	Of 1

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-240411-10

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE TOWERS
ESTATE PLAT OF SURVEY IN UNINCORPORATED POLK COUNTY WITHIN TWO
MILES OF BONDURANT'S CITY LIMITS.

WHEREAS, Brian Campbell, with Campbell Engineering & Surveying, Inc., has submitted a plat of survey on the behalf of the Estate of Thomes R. Towers to create Parcels '2024-57', '2024-58' and '2024-59' located in rural Polk County and further described as follows:

PARCEL 2024-57

PART OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION 14, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS BEGINNING AT THE EAST QUARTER (E1/4) CORNER OF SAID SECTION 14; THENCE S00°44'07"W, 25.47 TO THE SOUTHEAST CORNER OF PARCEL "2023-158" (SURVEY RECORDED BOOK 19675, PAGE 322); THENCE N00°20'28"E, 398.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "2023-158"; THENCE N89°44'07"E, 24.47 FEET ALONG THE NORTH LINE OF SAID SE1/4 TO THE POINT OF BEGINNING AND CONTAINING 0.228 ACRES; ALL 0.228 ACRES SUBJECT TO ROAD EASEMENT; 0.000 NET ACRES REMAINING; SUBJECT TO AND TOGETHER WITH ANY AND ALL OTHER RECORDED EASEMENTS AND RESTRICTIONS OF RECORD.

PARCEL 2024-58

PART OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION 14, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE EAST QUARTER (E1/4) CORNER OF SAID SECTION 14; THENCE S00°20'28"W, 398.00 FEET ALONG THE EAST LINE OF SAID SE1/4 TO THE POINT OF BEGINNING; THENCE CONTINUING S00°20'28"W, 2235.93 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 14; THENCE S89°53'54"W, 2027.38 FEET ALONG THE SOUTH LINE OF SAID SE1/4; THENCE N00°13'08"E, 2628.10 FEET TO THE NORTH LINE OF SAID SE1/4; THENCE N89°44'07"E, 1342.55 FEET ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF PARCEL "2023-158" (SURVEY RECORDED BOOK 19675, PAGE 322); THENCE S00°20'28"W, 398.00 FEET TO THE SOUTHWEST CORNER FO SAID PARCEL "2023-158"; THENCE N89°44'07"E, 690.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 116.312 ACRES; SUBJECT TO 3.388 ACRES ROAD EASEMENT; 112.924 NET ACRES REMAINING; SUBJECT OT AND TOGETHER WITH ANY AND ALL OTHER RECORDED EASEMENTS AND RESTRICTIONS OF RECORD.

PARCEL 2024-59

THE EAST HALF OF THE SOUTHWEST QUARTER (E1/2-SW1/4) AND PART OF THE SOUTHEAST QUARTER (SE1/4), ALL IN SECTION 14, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, AND MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SE CORNER OF SAID

SECTION 14; THENCE S89°53'54"W, 2027.39 FEET ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE1/4) OF SAID SECTION 14 TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID LINE S89°53'54"W, 591.61 FEET TO THE SOUTH QUARTER (S1/4) CORNER OF SAID SECTION 14; THENCE S89°50'45"W, 1307.74 FEET ALONG THE SOUTH LINE OF THE SW ¼ TO THE SW CORNER OF SAID E1/2-SW1/4; THENCE N00°09'21"E, 2621.13 FEET TO THE NW CORNER OF SAID E1/2-SW1/4; THENCE N89°36'56"E, 1310.67 FEET TO THE CENTER OF SAID SECTION 14; THENCE N89°44'07"E, 591.62 FEET ALONG THE NORTH LINE OF SAID SE1/4; THENCE S00°13'08"W, 2628.10 FEET TO THE POINT OF BEGINNING AND CONTAINING 114.537 ACRES; SUBJECT TO 1.613 ACRES ROAD EASEMENT; 112.924 NET ACRES REMAINING; SUBJECT TO AND TOGETHER WITH ANY AND ALL OTHER RECORDED EASEMENTS AND RESTRICTIONS OF RECORD.

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted Plat of Survey:

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Isaac Pezley, City Planner, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on April 11, 2024; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Brostrom				
Clayton				
Keeran				
Mains				
Pitt				
Torres				
Vore				

Karen Keeran, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.b.
For Meeting of 4/11/2024
Resolution

TITLE: Resolution PZ-240411-11 - Considering recommended approval of the site plan for US Equipment at 1101 23rd Street SW.

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City is in receipt of a site plan for review by the Planning & Zoning Commission and City Council for the existing 22.84-acre parcel of land accessed from 23rd Street SW and Franklin Street SW. The site plan applicant is US Equipment Sales and Rentals. The site plan was prepared by Snyder & Associates Inc. The applicants are proposing a 18,022 square foot building, a 7,065 square foot covered showroom and outdoor equipment storage area. This property is zoned as being within the City's Light Industrial (M-1) District. The use of the property will be construction implement display, sales, service, and repair, or like business use.



When the Planning & Zoning Commission and City Council review site plans, they review for consistency with the following documents: Comprehensive Plan; Zoning Code; and Comments from City Officials.

Consistency with the City's Comprehensive Plan: A M-1 development at this location is consistent with the 2022 Comprehensive Plan which guides for Business Park/Light Industrial at this location.



Consistency with the City's Zoning Code: Below are notes detailing how the Zoning Code is met for this request or what additional information is needed to ensure the Code will be met for this development.



General Commercial Use & Bulk:

Outdoor storage area is proposed for the majority of this site. This outdoor storage area is proposed to be recycled asphalt millings. The site plan labels the required setbacks at this location - a 50' front yard setback along Franklin Street SW and 23rd Street SW, a 50' rear yard setback along the southern property line and 20' side yard setbacks along the eastern property line.

Parking/Drive Areas

- Access to the site is proposed from Franklin Street SW and 23rd Street SW. The submitted site plan shows two access points from each street. This street alignment is still being reviewed by Public Works and Engineering.

- The site plan shows 4,185 square feet of office space and 10 warehouse employees. The property requires 21 parking stalls and shows a total of 34 with 2 ADA accessible parking spots.
- The site plan shows that no part of any parking/drive area (excluding driveways) will be located closer than 10' away from the front property lines, as is required by Section 177.10.1.
- The site plan shows that all parking/drive areas will be paved as required by Section 177.10.2 of the Zoning Code.
- The site plan shows parking spaces will be provided with raised curbing or equivalent, as is required by Section 177.10.8. on page 11 of the submitted site plan.
- The parking area for construction equipment and vehicles will be recycled asphalt millings. Public Works and Engineering are reviewing to determine if this type of surface meets code requirements.

Stormwater, Utilities & Natural Features

- A stormwater management report has been submitted for review by the City Engineer. The City Engineer is still reviewing the report and has not provided staff with any comments.
- This property is not located within a Sanitary Sewer or Water Connection Fee District.
- This site is not situated within FEMA's 100-year floodplain.
- This site is not situated within the City's Stream Buffer Ordinance area.

ARCHITECTURAL STANDARDS

- The site plan shows a 18,022 square foot building with an attached 7,065 square foot covered showroom.
- Architectural elevations have been submitted to staff and meet architectural design standards as described in Section 179.01.2.I.5.
- The architectural elevations show the proposed building will be constructed primarily of precast concrete which is an allowable primary material per Section 179.01.2.I.5.
- There are rooftop mechanical units that will be screened by a parapet wall.

Other Site Plan Features

- A 50' one-half right-of-way is required along Frankling Street SW to accommodate for future road expansion. Shiloh Rose Business Park Plat 2, and this site plan, reflect this.

Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. Public Works - reviewed and no comments have been received at this time.
2. Engineering – reviewed and no comments have been received at this time.
3. Fire Department - reviewed and all comments/concerns have been addressed.

FUNDING SOURCE:

STAFF RECOMMENDATION:

1. Recommended approval of RESOLUTION NO. PZ-240411-11.
2. Recommended approval of RESOLUTION NO. PZ-240411-11, subject to certain Zoning Code clarification items being addressed.
3. Recommended denial of RESOLUTION NO. PZ-240411-11.
4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

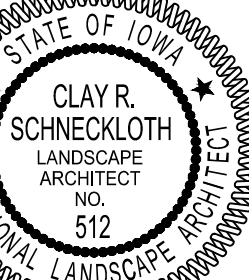
1. US Equipment Site Plan
2. Architectural Design Elevation
3. Site Lighting Plan
4. Shiloh Rose Business Park Plat 2 Final Plat
5. RESOLUTION NO. PZ-240411-11 - US Equipment Site Plan

ENGINEER
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BLVD
ANKENY, IA 50023
CONTACT: KOREY MARSH
PHONE: (515) 964-2020

C100	TITLE SHEET
C101	PROJECT INFORMATION
C102	OVERALL SITE LAYOUT
C200	DIMENSION PLAN
C201	DIMENSION PLAN
C300	OVERALL GRADING AND EROSION CONTROL PLAN
C301	DETAILED GRADING PLAN
C400	UTILITY PLAN
C500	PLANTING PLAN
C501	PLANTING PLAN
C600	SITE DETAILS

SCALE: 1" = 1000'

VICINITY MAP

	I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa. Clay R. Schneckloth, PLA Date License Number 512 Pages or sheets covered by this seal: <u>C500-C501</u>
License Expires: June 30, 2025	

	I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa. Corey M. Marsh, P.E. Date License Number P25347 My License Renewal Date is December 31, 2024 Pages or sheets covered by this seal: <u>C100-C400, C600</u>
License Expires: December 31, 2024	

US EQUIPMENT SALES AND RENTAL

TITLE SHEET

BONDURANT, IOWA

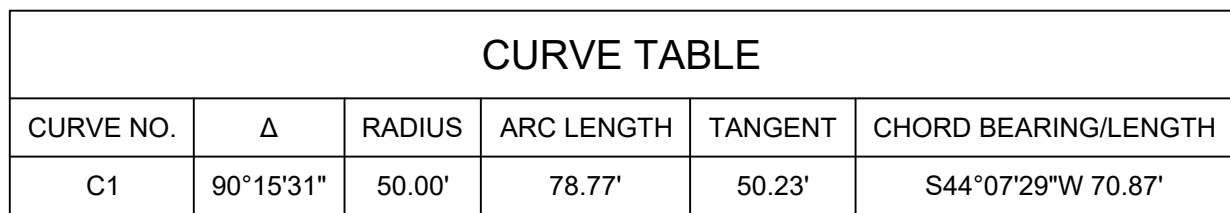
SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

[illegible]

Project No: 123.1237.01

Sheet C100



Project No: 123.1237.01

Sheet C102

US EQUIPMENT SALES AND RENTAL

OVERALL SITE LAYOUT

BONDURANT, IOWA

SNYDER & ASSOCIATES, INC.

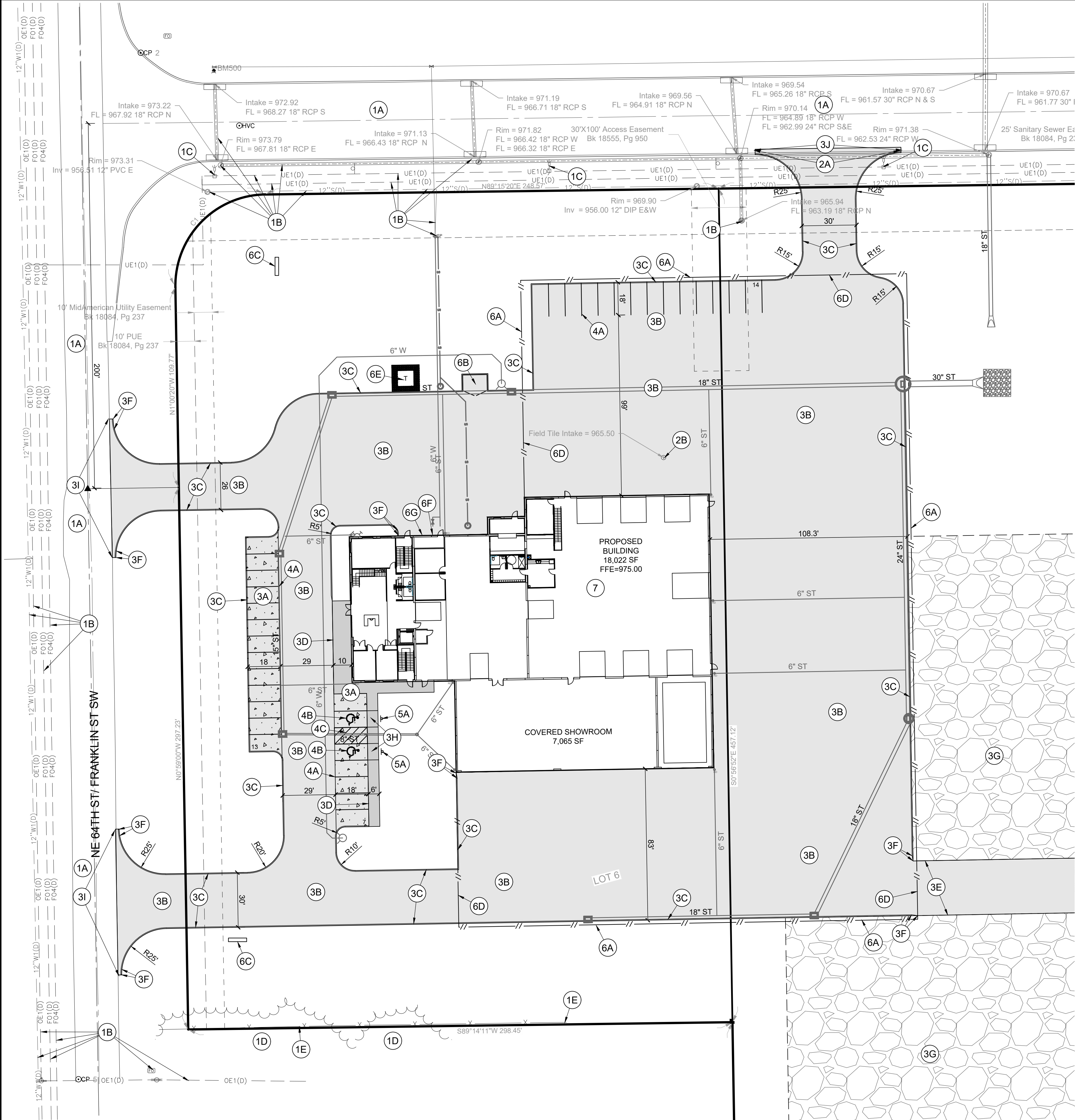
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

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Project No: 123.1237.01

Sheet C102

V:\Projects\2023\1231237\1231237.DWG LOGAN MYERS DIMENSION PLAN 2024\DWG 1231237.DWG ANSI FULL BLEED D (24.00 X 22.00 INCHES)



PAVEMENT LEGEND

- 5" PCC SIDEWALK
- 5" PCC PAVEMENT
- 7" PCC PAVEMENT
- ASPHALT MILLINGS

DIMENSION PLAN CONSTRUCTION NOTES

- EXISTING FEATURES. PROTECT THE FOLLOWING:
 - A. PAVEMENT TO REMAIN.
 - B. EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
 - C. EXISTING LIGHT POLE TO REMAIN.
 - D. EXISTING TREES TO REMAIN.
 - E. EXISTING FENCE TO REMAIN.
 - F. REMOVE EXISTING WATER SERVICE AND VALVE TO EXISTING TEE AT MAIN. CAP AND PLUG AS PER CITY OF BONDURANT REQUIREMENTS.
- DEMOLITION. REMOVE THE FOLLOWING:
 - A. SAWCUT EXISTING PAVING TO NEAREST JOINT AND REMOVE CURB FOR TYPE B DRIVE CONNECTION.
 - B. REMOVE EXISTING INTAKE.
 - C. REMOVE TREES.
- PAVEMENTS. PROVIDE THE FOLLOWING WHERE INDICATED ON PLAN:
 - A. 5" DEPTH PCC PAVEMENT WITH 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR.
 - B. 7" DEPTH PCC PAVEMENT WITH 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR.
 - C. 6" HEIGHT STANDARD CURB.
 - D. INTEGRAL SIDEWALK AND CURB. 5" DEPTH PCC ON 6" PREPARED SUBGRADE.
 - E. NO CURB.
 - F. TAPER TO NO CURB IN 3 FEET.
 - G. ASPHALT MILLINGS. SEE DETAIL 5 ON SHEET C600.
 - H. PEDESTRIAN RAMP AT 8.33% MAXIMUM SLOPE.
 - I. CONNECT TO EXISTING ROAD WITH TYPE A DRIVEWAY CONNECTION.
 - J. CONNECT TO EXISTING ROAD WITH TYPE B DRIVEWAY CONNECTION.
- PAVEMENT MARKINGS. PROVIDE THE FOLLOWING:
 - A. 4" WIDE PAINTED PARKING STALL LINES.
 - B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
 - C. ACCESSIBLE AISLE. 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
- SIGNS. PROVIDE THE FOLLOWING:
 - A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS.
- PROVIDE THE FOLLOWING SITE IMPROVEMENTS WHERE SHOWN ON PLAN.
 - A. 6" HEIGHT CHAIN LINK FENCE. COORDINATE WITH OWNER FOR MATERIAL AND COLOR PRIOR TO CONSTRUCTION.
 - B. TRASH ENCLOSURE. COORDINATE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
 - C. MONUMENT SIGN. COORDINATE WITH OWNER PRIOR TO CONSTRUCTION.
 - D. SLIDING GATE. COORDINATE WITH OWNER PRIOR TO CONSTRUCTION.
 - E. TRANSFORMER PAD. COORDINATE WITH MID AMERICAN ENERGY.
 - F. GAS METER. SEE ARCHITECTURAL PLANS.
 - G. ELECTRIC METER. SEE ARCHITECTURAL PLANS.
- BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS AND STOOP LOCATIONS.

US EQUIPMENT SALES AND RENTAL

DIMENSION PLAN

BONDURANT, IOWA

SNYDER & ASSOCIATES, INC. |



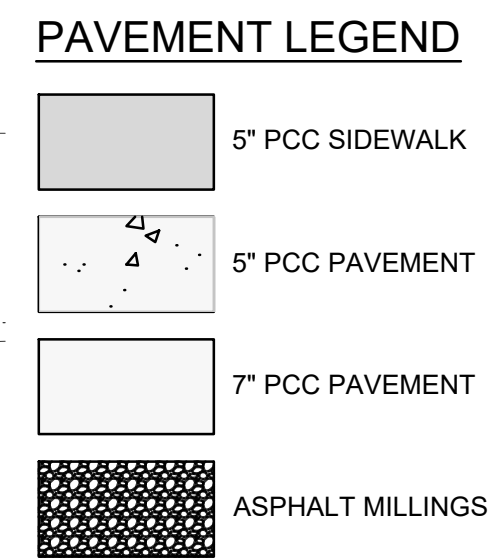
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Sheet C200

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ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

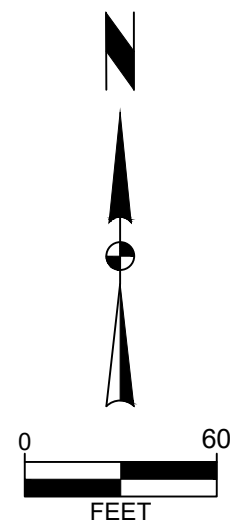
Sheet C200

Project No: 123.1237.01

Sheet C200



1. EXISTING FEATURES. PROTECT THE FOLLOWING:
 - A. PAVEMENT TO REMAIN.
 - B. EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
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 - A. SAWCUT EXISTING PAVING TO NEAREST JOINT AND REMOVE CURB FOR TYPE B DRIVE CONNECTION.
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 - C. ACCESSIBLE AISLE. 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
5. SIGNS. PROVIDE THE FOLLOWING:
 - A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS.
6. PROVIDE THE FOLLOWING SITE IMPROVEMENTS WHERE SHOWN ON PLAN:
 - A. 6' HEIGHT CHAIN LINK FENCE. COORDINATE WITH OWNER FOR MATERIAL AND COLOR PRIOR TO CONSTRUCTION
 - B. TRASH ENCLOSURE. COORDINATE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
 - C. MONUMENT SIGN. COORDINATE WITH OWNER PRIOR TO CONSTRUCTION.
 - D. SLIDING GATE. COORDINATE WITH OWNER PRIOR TO CONSTRUCTION
 - E. TRANSFORMER PAD. COORDINATE WITH MID AMERICAN ENERGY.
 - F. GAS METER. SEE ARCHITECTURAL PLANS.
 - G. ELECTRIC METER. SEE ARCHITECTURAL PLANS.
7. BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS AND STOOP LOCATIONS.

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BONDURANT, IOWA

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ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.



SNYDER
& ASSOCIATES

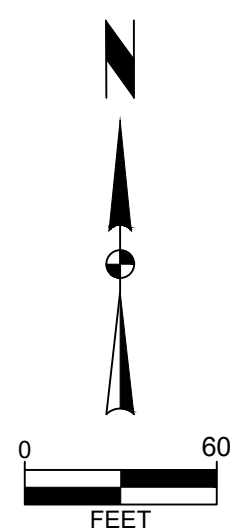
Project No: 123.1237.01

Sheet C201

Sheet C201

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ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



Page 21 of 3



1. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
2. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
3. ALL DRAINAGE SWALES AND SLOPES 5 TO 1 OR GREATER TO BE SEEDED USING COMMERCIALY AVAILABLE EROSION CONTROL SEED. MIXTURE APPLIED AT RATE RECOMMENDED BY SUPPLIER.
4. EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
5. PROVIDE BELOW GRADE INLET PROTECTION IN PAVED AREAS FOLLOWING PAVING OPERATIONS.

- BM500 N=7521395.-- E=18563701.-- ELEV=974.74
BURY BOLT ON HYDRANT, +/-5' NORTH OF 23RD ST, +/-50 EAST OF FRANKLIN STREET
- BM501 N=7521413.-- E=18565052.-- ELEV=976.05
BURY BOLT ON HYDRANT, +/-5' NORTH OF 23RD ST, +/-1400' EAST OF FRANKLIN ST

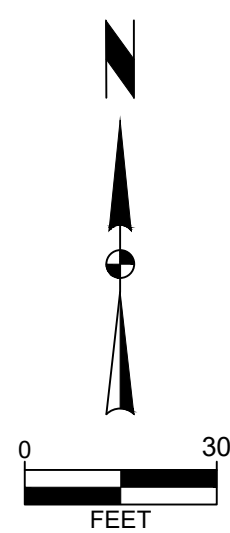
RAMP DETAIL

SILT FENCE DETAIL

NO SCALE

Project No: 123.1237.01

Sheet C301



5. CRITICAL CROSSING. CONTRACTOR TO MAINTAIN MINIMUM 18" SEPARATION.

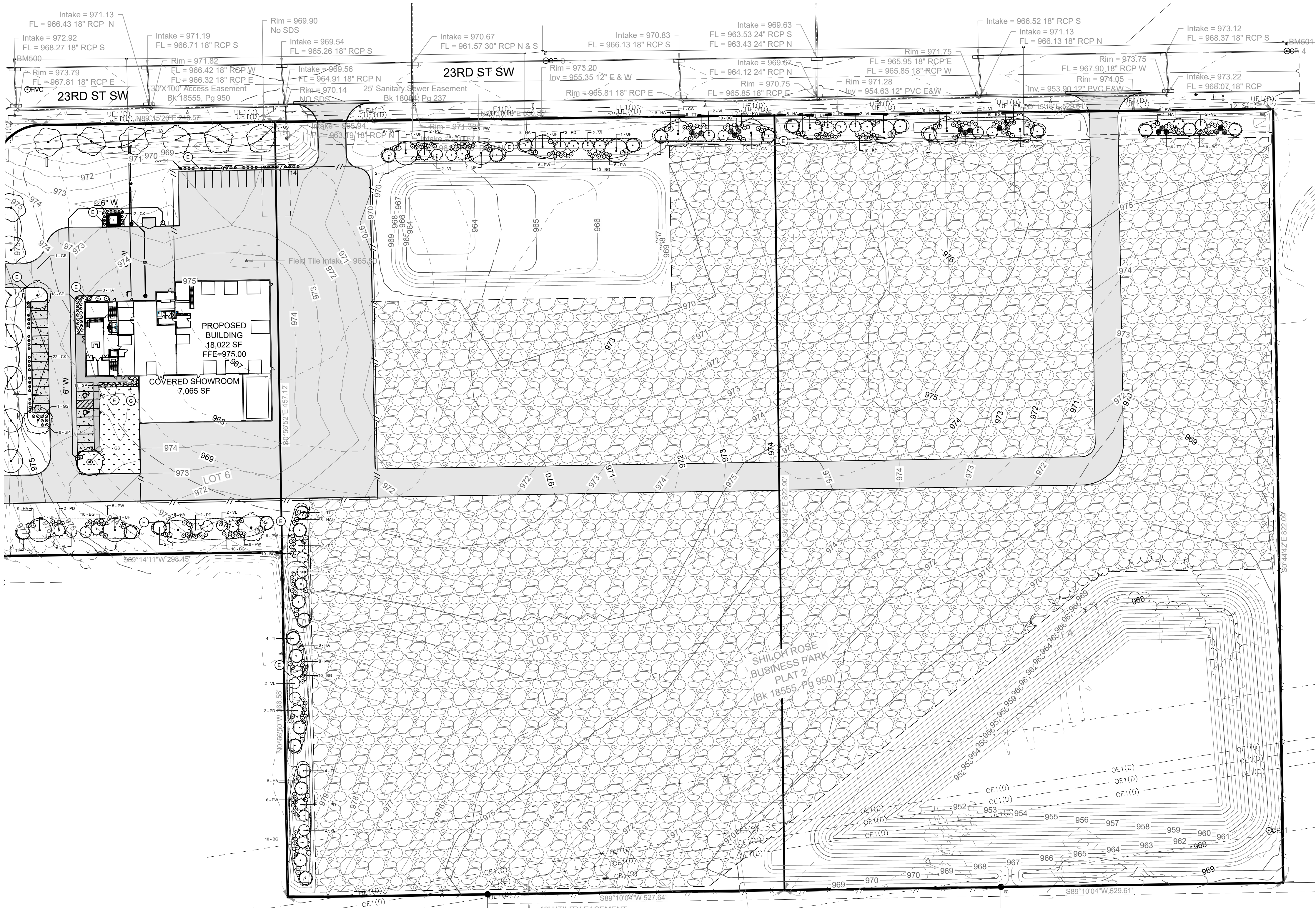
Project No:	123.1237.01
Sheet	C400

Sheet C400

PLANT SCHEDULE PARKING LOT					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
TREES					
GS	6	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	1.5" Cal.	B&B
TA	5	Tilia americana	American Linden	1.5" Cal.	B&B
UF	5	Ulmus carpinifolia x parvifolia 'Frontier'	Frontier Elm	1.5" Cal.	B&B
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
SHRUBS					
HA	3	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gal.	Pot
GRASSES					
CK	58	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	Pot
SP	45	Sporobolus heterolepis	Prairie Dropseed	1 gal.	Pot

Page 24 of 32

V:\Projects\2023\1231237\LOGAN\REVISED PLANTING PLAN - 2024\04\10, 11:30 AM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



PLANTING PLAN REQUIREMENTS

LANDSCAPE REQUIREMENTS AND CALCULATIONS:
(AS PER CITY OF BONDURANT SITE PLAN OPEN SPACE AND LANDSCAPING REQUIREMENTS)

OPEN SPACE REQUIREMENTS:

1,007,179.60 SF (23.12 AC) OVERALL PROPERTY x 15% MINIMUM OPEN SPACE
= 151,076.85 SF OPEN SPACE REQUIRED
TOTAL HARD SURFACE (DRIVES, STORAGE, PARKING AND BUILDING)

= 153,356.7 SF
(853,822.90 SF) = 84.77% TOTAL OPEN SPACE PROVIDED

TREE LANDSCAPE REQUIREMENTS:

1 TREE PER 50 LF OF FRONTAGE -OR- 1 TREE PER 6 PARKING STALLS
(WHICHEVER IS GREATER)
- 34 PARKING STALLS / 6 EA = 5.66 TREES
- 734.37 LF OF FRONTAGE / 50 LF = 14.69 TREES (GREATER OPTION).
15 TREES PROVIDED.

INTERIOR PARKING LOT LANDSCAPE REQUIREMENTS:

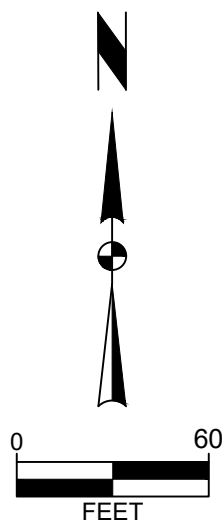
- 1 TREE PER 18 PARKING STALLS
- 34 STALLS / 18 = 5.66 TREES REQUIRED. 6 TREES PROVIDED.
- GROUND COVER MUST BE NO LESS THAN 5% OF TOTAL PARKING AREA
-- TOTAL PARKING AREA: 14,384 SF x 5% = 720 SF OF REQUIRED.
720 PROVIDED.

BUFFERYARD SCREEN REQUIREMENTS:

STORAGE AREA SCREENING REQUIREMENTS:
TYPE C OPAQUE SCREENING AT NORTH AND SOUTH WEST CORNER OF PROPERTY

PLANT SCHEDULE BUFFER

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
TREES					
GS	6	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	1.5" Cal.	B&B
UF	8	Ulmus carpinifolia x parvifolia 'Frontier'	Frontier Elm	1.5" Cal.	B&B
EVERGREEN TREES					
PD	16	Picea glauca 'Densata'	Black Hills White Spruce	6' Ht.	B&B
TI	18	Thuja occidentalis 'Techny'	Techny Arborvitae	4' Ht.	B&B
TI	29	Thuja x 'Green Giant'	Green Giant Arborvitae	5' Ht.	B&B
ORNAMENTAL TREES					
VL	22	Viburnum lentago	Nannyberry	5' Ht.	B&B
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
SHRUBS					
BG	110	Buxus x 'Green Gem'	Green Gem Boxwood	3 gal.	Pot
HA	84	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gal.	Pot
PW	66	Pinus mugo 'White Bud'	White Bud Mugo Pine	2' Ht.	Pot



US EQUIPMENT SALES AND RENTAL

PLANTING PLAN

BONDURANT, IOWA

SNYDER & ASSOCIATES, INC. |



Project No: 123.1237.01

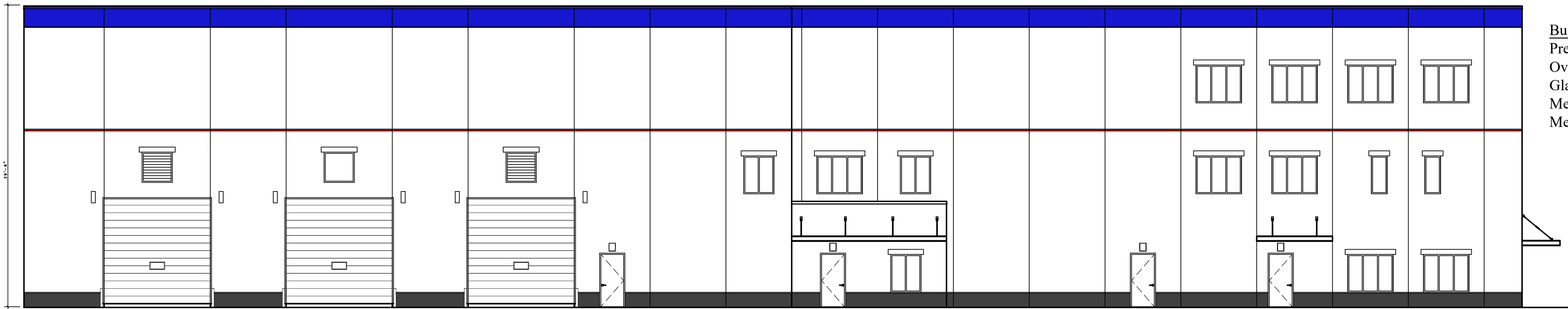
Sheet C501

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

MARK	REVISION	DATE	BY
1	REVISED PER CITY COMMENTS	04-10-24	LJM
Engineer: LJM	Checked By: KMM	Scale: 1" = 60'	
Technician: LJM	Date: 04-02-2024	T-R-S: TTN-RRW-SS	

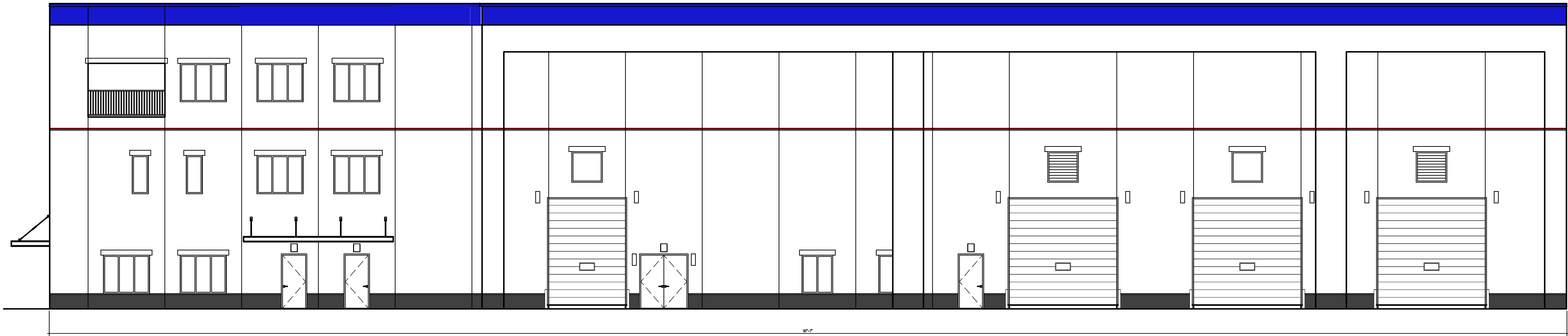
Project No: 123.1237.01

Sheet C501



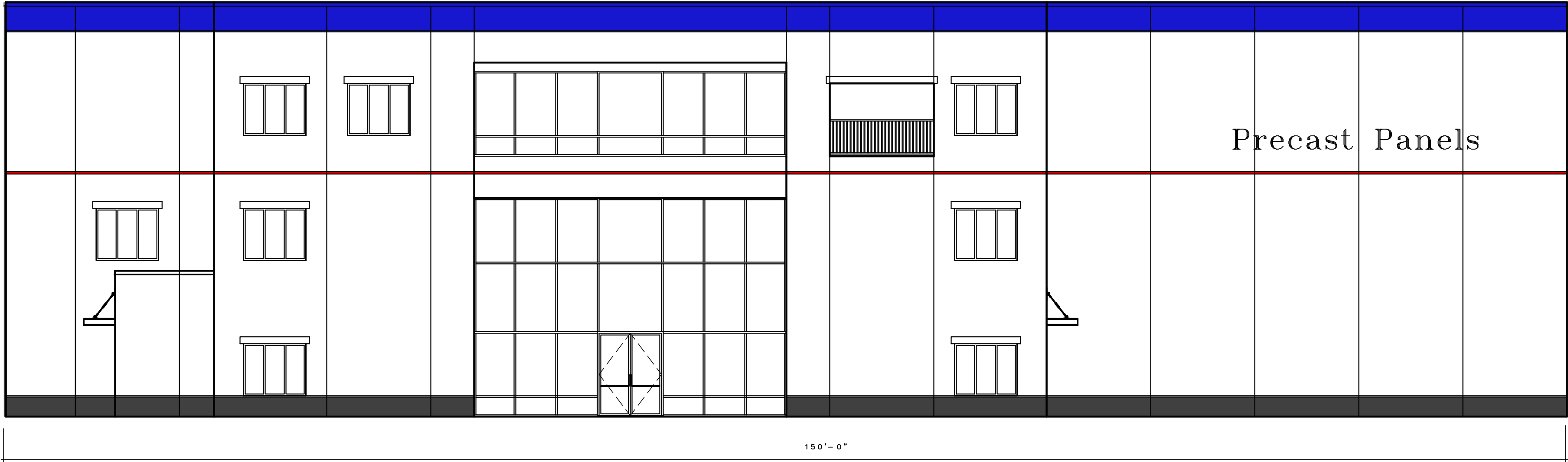
Building Materials -7,801 SF
Precast Concrete - 6,731 SF (86%)
Overhead Doors - 588 SF (7.5%)
Glass - 366 SF (5%)
Metal Door - 84 SF (1%)
Metal Vents - 32 SF (.5%)

Proposed North Elevation
Scale: 1/8"=1'0"



Building Materials - 7,801 SF
Precast Concrete - 6,782 SF (87%)
Overhead Door - 728 SF (9%)
Glass - 122 SF (1.5%)
Metal Door - 105 SF (1.5%)
Metal Railing - 32 SF (.5%)
Metal Vents - 32 SF (.5%)

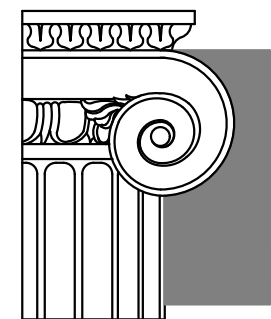
Proposed South Elevation
Scale: 1/8"=1'0"



Building Materials - 5,925 SF
Precast Concrete - 4,778 SF (81%)
Glass- 1,115 SF (18.5%)
Metal Railing - 32 SF (.5%)

Precast Panels

Proposed West Elevation
Scale: 1/8"=1'0"



Architects
By
Design, PC

109 Ogden Avenue
Clarendon Hills
Illinois 60514

(630) 323-9604 (p)
(630) 323-9615 (f)

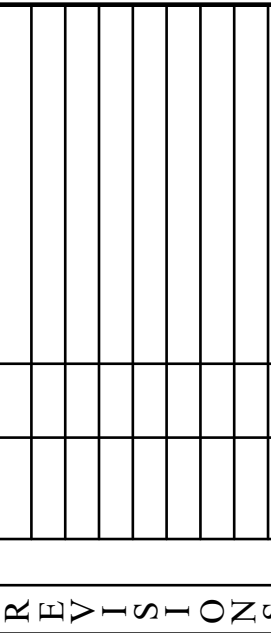
randyk@
architectsbydesign.com

A New Commercial Building for:
Iowa 23rd Street, LLC

13011 Grant Road
Lemont, IL 60439

File No: 23-3074 Date: 3-4-24

Checked: RAK. Drawn: C.P.



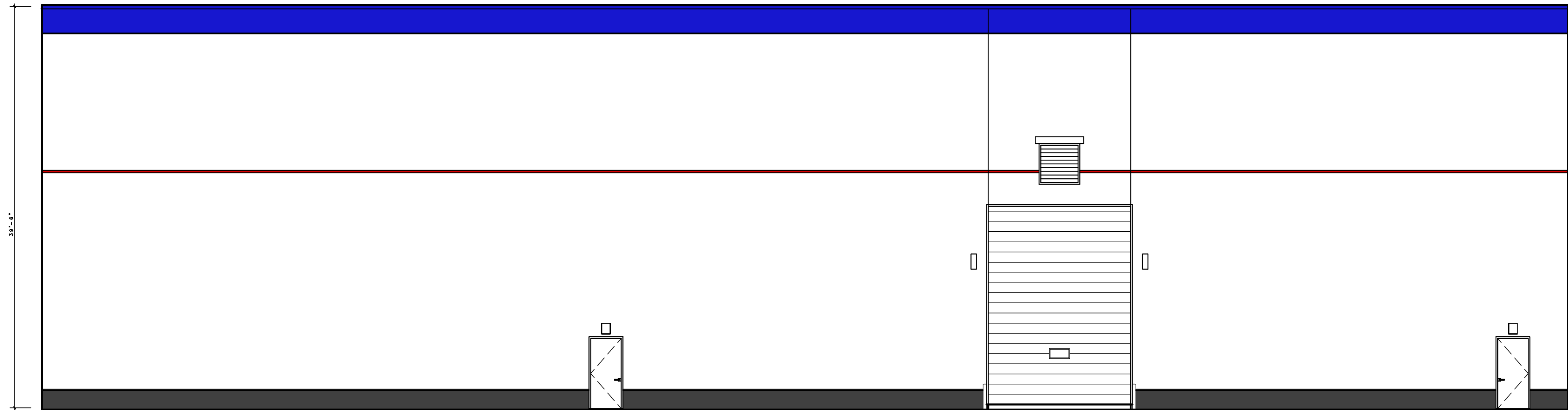
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SHEET NO:

A-4

OF SHEETS

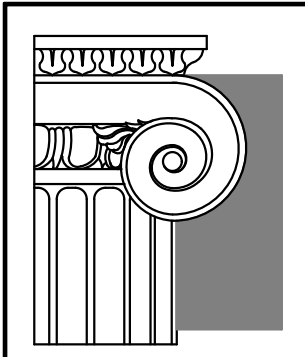
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Proposed East Elevation

Scale: 1/8"=1'0"

Building Materials - 5,925 SF
Precast Concrete - 5,467 SF (92%)
Overhead Door - 400 SF (7%)
Metal Door - 42 SF (.7%)
Metal Vent - 16 SF (.3%)



Architects
By
Design, PC
109 Ogden Avenue
Clarendon Hills
Illinois 60514
(630) 323-9604 (p)
(630) 323-9615 (f)
randyk@
architectsbydesign.com

A New Commercial Building For:

Iowa 23rd Street, LLC

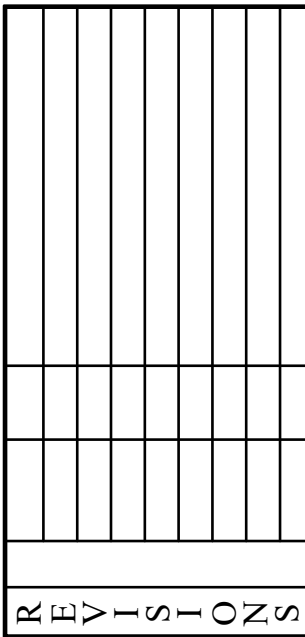
13011 Grant Road
Lemont, IL 60434

File No:
23-3074

Date:
3-4-24

Checked:
RJK

Drawn:
C.F.



STAMP:

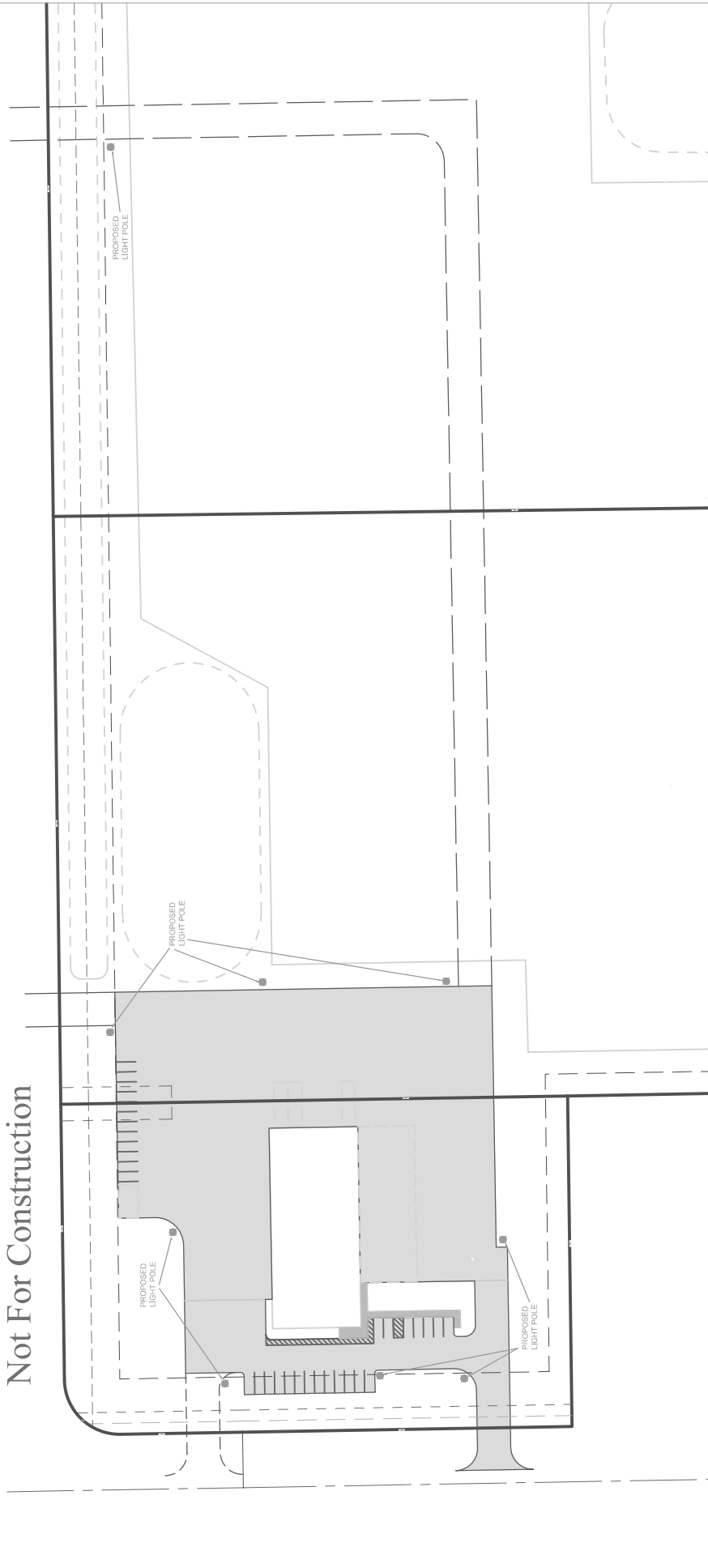
SHEET NO:

A-5

OF SHEETS

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Preliminary Site Lighting Plan
Not For Construction



SHILOH ROSE BUSINESS PARK PLAT 2 FINAL PLAT

INDEX LEGEND
W 1/2 SEC 1, T79N, R29W, BONDURANT, IOWA
POLK COUNTY, IA
REQUESTOR: GHOLDS, LLC
PROPRIETOR: GHOLDS, LLC
SURVEYOR: Murray B. Berting
SURVEY: SHIVE-HATTERY
COMMISSION: 4125 Westown Pkwy, Suite 100, West Des Moines, Iowa 50266
TO: Shive-Hattery

PROPERTY ADDRESS
BONDURANT, IOWA

PROPERTY OWNER/DEVELOPER

GHOLDS, LLC
ATTN: TIM GEORGE
2210 14TH AVENUE NE
ALTOONA, IA 50009

ENGINEER/SURVEYOR

SHIVE-HATTERY, INC.
4125 WESTOWN PARKWAY
WEST DES MOINES, IA 50266
PHONE: 515-223-8104

ZONING

M-1 LIMITED INDUSTRIAL DISTRICT

LEGEND

- △ SET SECTION CORNER, AS SHOWN
- SET 5/8" IRON ROD WITH CAP #13148
- ▲ FOUND SECTION CORNER, AS SHOWN
- PROPOSED PROPERTY LINE
- - - ADJACENT PROPERTY LINE

FLOOD PLAIN NOTE

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO 1907070240 F, IN BONDURANT, POLK COUNTY, STATE OF IOWA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

SETBACKS

FRONT - 50 FEET
REAR - 50 FEET
SIDE - 20 FEET

AREA

SITE AREA - 47.945 ACRES

SURVEY NOTES

- LOT A TO BE DEEDED TO THE CITY FOR RIGHT-OF-WAY PURPOSES
- LOT 1 SITE ACCESS IS LIMITED TO ACCESS EASEMENT SHOWN UNLESS RIGHT-IN, RIGHT-OUT ACCESS IS APPROVED ONTO SHILOH ROSE PARKWAY SW AS PART OF A SITE PLAN
- LOT 2 SITE ACCESS IS LIMITED TO TWO (2) ACCESS EASEMENTS SHOWN
- LOT 6 SITE ACCESS ONTO 23RD STREET SW IS LIMITED TO ACCESS EASEMENT SHOWN

SIDEWALK REQUIREMENTS

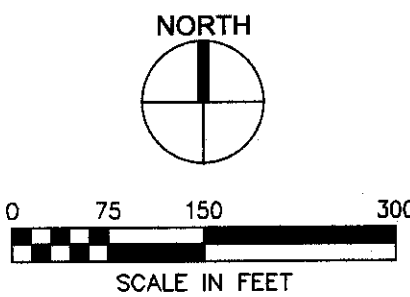
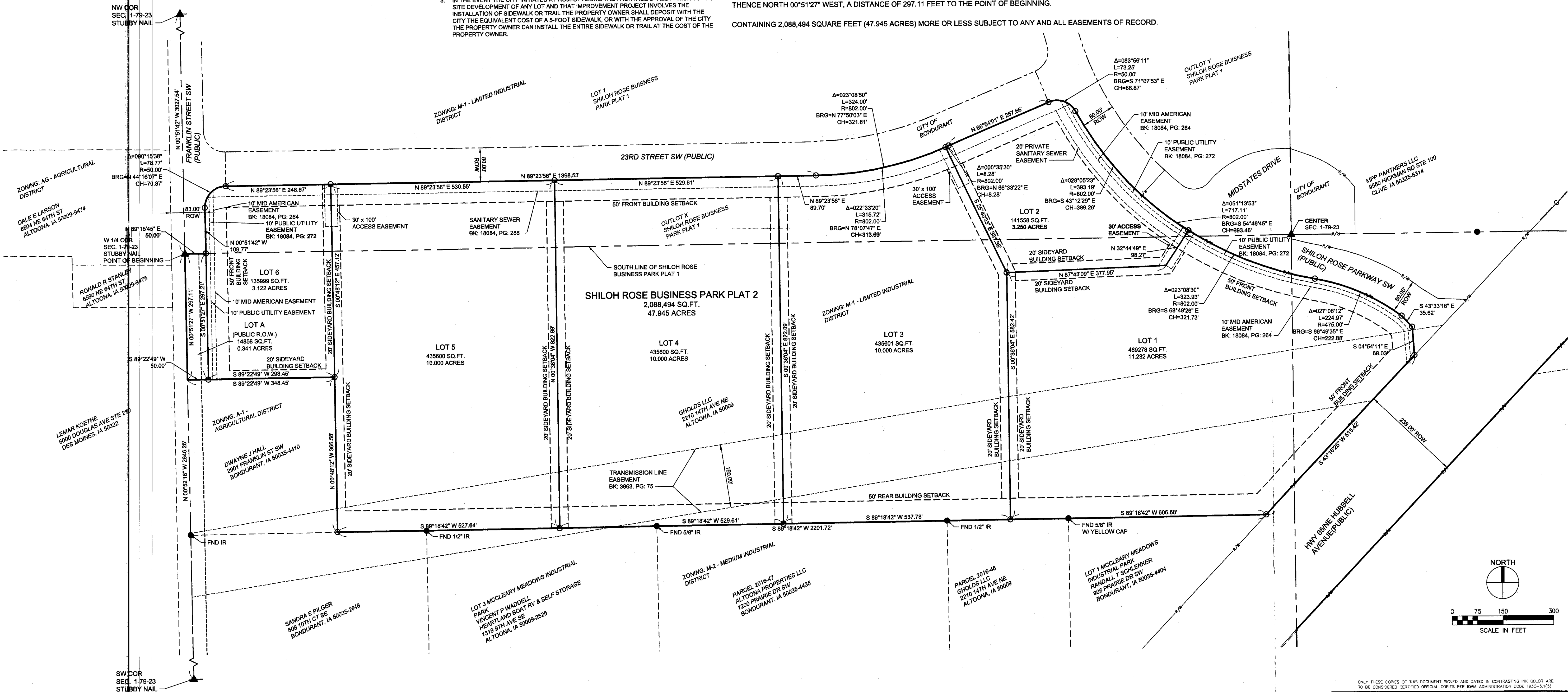
- AS PART OF THE SITE DEVELOPMENT FOR ANY LOT THE PROPERTY OWNER SHALL BE REQUIRED TO INSTALL A 5-FOOT FRONTAGE SIDEWALK ADJOINING ALL PUBLIC STREETS, EXCEPT AS PROVIDED IN 2. AND 3. OF THESE SIDEWALK REQUIREMENTS.
- IN THE EVENT THE CITY DESIGNATES A FRONTAGE SIDEWALK TO BE WIDER THAN 5 FEET, AT THE TIME OF SITE DEVELOPMENT THE PROPERTY OWNER SHALL DEPOSIT WITH THE CITY THE EQUIVALENT COST OF A 5-FOOT WIDE SIDEWALK, OR WITH THE APPROVAL OF THE CITY THE PROPERTY OWNER CAN INSTALL THE ENTIRE SIDEWALK OR TRAIL AT THE COST OF THE PROPERTY OWNER.
- IN THE EVENT THE CITY INITIATES A PROJECT ALONG THE FRONTAGE STREET PRIOR TO THE SITE DEVELOPMENT OF ANY LOT AND THAT IMPROVEMENT PROJECT INVOLVES THE INSTALLATION OF SIDEWALK OR TRAIL, THE PROPERTY OWNER SHALL DEPOSIT WITH THE CITY THE EQUIVALENT COST OF A 5-FOOT SIDEWALK, OR WITH THE APPROVAL OF THE CITY THE PROPERTY OWNER CAN INSTALL THE ENTIRE SIDEWALK OR TRAIL AT THE COST OF THE PROPERTY OWNER.

LEGAL DESCRIPTION

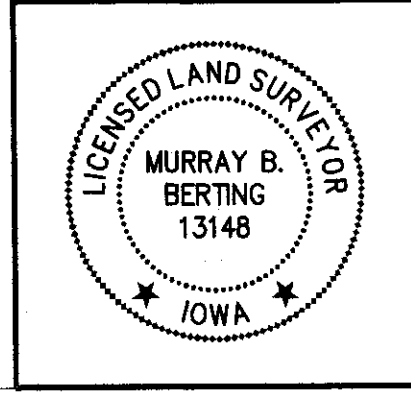
OUTLOT X, SHILOH ROSE BUSINESS PARK PLAT 1, AN OFFICIAL PLAT, AND A PARCEL OF LAND IN THE WEST HALF (W1/2) AND THE NORTHWEST ONE QUARTER (NW1/4) OF THE SOUTHEAST ONE QUARTER (SE1/4) OF SECTION 1, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, EXCEPT LEGALLY ESTABLISHED HIGHWAYS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST 1/4 CORNER OF SAID SECTION 1;
THENCE NORTH 89°15'45" EAST, A DISTANCE OF 50.00 FEET TO THE EAST RIGHT-OF-WAY OF FRANKLIN STREET SW AS IT IS PRESENTLY ESTABLISHED;
THENCE NORTH 00°51'42" WEST, A DISTANCE OF 109.77 FEET TO A CURVE CONCAVE SOUTHEASTERLY WITH A RADIUS OF 50.00 FEET;
THENCE ALONG SAID CURVE, WHOSE CHORD BEARS NORTH 44°16'07" EAST, WITH A CHORD LENGTH OF 70.87 FEET, A DISTANCE OF 78.77 FEET;
THENCE NORTH 89°23'56" EAST, A DISTANCE OF 1398.53 FEET TO A CURVE CONCAVE NORTHERLY WITH A RADIUS OF 802.00 FEET;
THENCE ALONG SAID CURVE, WHOSE CHORD BEARS NORTH 77°50'03" EAST, WITH A CHORD LENGTH OF 321.81 FEET, A DISTANCE OF 324.00 FEET;
THENCE NORTH 66°54'01" EAST, A DISTANCE OF 257.66 FEET TO A CURVE CONCAVE SOUTHERLY WITH A RADIUS OF 50.00 FEET;
THENCE ALONG SAID CURVE, WHOSE CHORD BEARS SOUTH 71°07'53" EAST, WITH A CHORD LENGTH OF 66.87 FEET, A DISTANCE OF 73.25 FEET TO A CURVE CONCAVE NORTHEASTERLY WITH A RADIUS OF 802.00 FEET;
THENCE ALONG SAID CURVE, WHOSE CHORD BEARS SOUTH 54°46'45" EAST, WITH A CHORD LENGTH 693.46 FEET, A DISTANCE OF 717.11 FEET TO A CURVE CONCAVE SOUTHWESTERLY WITH A RADIUS OF 475.00 FEET;
THENCE ALONG SAID CURVE, WHOSE CHORD BEARS SOUTH 66°49'35" EAST, WITH A CHORD LENGTH OF 222.88 FEET, A DISTANCE OF 224.97 FEET;
THENCE SOUTH 43°33'16" EAST, A DISTANCE OF 36.62 FEET;
THENCE SOUTH 04°54'11" EAST, A DISTANCE OF 68.03 FEET TO THE NORTHWEST RIGHT-OF-WAY OF HIGHWAY 65/NE HUBBELL AVENUE AS IT IS PRESENTLY ESTABLISHED;
THENCE SOUTH 43°16'25" WEST, A DISTANCE OF 515.42 FEET;
THENCE SOUTH 89°18'42" WEST, A DISTANCE OF 2201.72 FEET;
THENCE NORTH 00°48'12" WEST, A DISTANCE OF 366.58 FEET;
THENCE SOUTH 89°22'49" WEST, A DISTANCE OF 348.45 FEET TO THE WEST LINE OF SECTION 1;
THENCE NORTH 00°51'27" WEST, A DISTANCE OF 297.11 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,088,494 SQUARE FEET (47.945 ACRES) MORE OR LESS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.



RES. 210517-133
APPROVED
Date May 17, 2021
Name Murray B. Berting
City Des Moines



ONLY THESE COPIES OF THIS DOCUMENT SIGNED AND DATED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 193C-6.1(10)
I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
SIGNATURE: Murray B. Berting
NAME: MURRAY B. BERTING
DATE: 5-27-21 LICENSE NUMBER: 13148
MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2022
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: 9101

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515.223.8104 | www.shive-hattery.com
Iowa | Illinois | Indiana | Nebraska

SHILOH ROSE BUSINESS PARK PLAT 2
BUSINESS

DRAWN: CWH	APPROVED: MBB
ISSUED FOR: FINAL	DATE: 2021-05-24
PROJECT NO: 42128-0	FIELD BOOK: 1
CLIENT NO: 1	

FINAL PLAT
B101

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-240411-11

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE SITE PLAN FOR
US EQUIPMENT AT 1101 23RD STREET SW

WHEREAS, Snyder & Associates, Inc. has submitted the site plan, on behalf of US Equipment, for 1101 23rd Street SW described as follows; AND

LOTS 4-6 OF SHILOH ROSE BUSINESS PARK PLAT 2.

WHEREAS, the zoning for the property is Light Industrial (M-1) and construction implement display, sales, service, and repair, or like business use is a permitted use per Sections 178.13 of the Zoning Code; AND

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted site plan for 1101 23rd Street SW subject to the following City Code/Policy clarification recommendation items;

1. Address any comments from Veenstra & Kimm and Public Works

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Isaac Pezley, City Planner, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on April 11, 2024; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Mains				
Brostrom				
Clayton				
Pitt				
Torres				
Vore				

Karen Keeran, Commission Chair