

**Participants wishing to speak on a topic should message the meeting moderator. All participants are asked to mute their individual computers at times when they are not speaking to minimize background noise. Join: <https://us02web.zoom.us/j/86461880639>*

**NOTICE OF A REGULAR MEETING
BONDURANT PLANNING AND ZONING COMMISSION
JULY 11, 2024**

NOTICE IS HEREBY GIVEN that a Regular Meeting of the City Council will be held at 6:00 PM on July 11, 2024, in the Bondurant City Center, 200 Second Street, Northeast, Bondurant, Polk County, Iowa. Said meeting is open and the public is encouraged to attend.

AGENDA

1. Call to Order
2. Roll Call
3. Perfecting and Approval of the Agenda
4. Approval of Minutes
 - a. June 13, 2024 Minutes
5. Guests requesting to address the Planning and Zoning Commission
6. Action Items
 - a. Public Hearing - Considering recommended approval of a rezoning from A-1 Agricultural District to Medium Density Residential (R-2) District and Transitional Commercial (C-1) District on Parcels 231/00021-632-000 and 231/00072-330-000.
 - b. Resolution No. PZ-240711-20: Considering recommended approval of a rezoning from A-1 Agricultural District to Medium Density Residential (R-2) District and Transitional Commercial (C-1) District on Parcels 231/00021-632-000 and 231/00072-330-000.
 - c. RESOLUTION NO. PZ-240711-21: Considering recommended approval of the site plan at 2502 Robinson Avenue NE.
7. Discussion Items -
8. Reports / Comments and appropriate action thereon:
 - a. Commission Members
 - b. City Staff
 - c. City Council Liaison
9. Adjournment

City of Bondurant

Planning and Zoning
Commission 200 2nd St NE,
PO Box 37
Bondurant, IA 50035



Meeting Minutes

DATE: June 13, 2024

Karen Keeran, Chair

1. Call to Order 6:00 pm

Place Bondurant City Hall (200 2nd St NE, PO Box 37)

2. Roll Call

Members Present: Karen Keeran (Chairperson), Andy Mains (Vice-Chairperson), Kristin Brostrom, Brian Clayton, Jesse Torres, Jason Vore

Members Absent: Ethan Pitt

City Official & Staff Present: Isaac Pezley, Maggie Murray

3. Perfecting and Approval of the Amended Agenda

Motion by Commission Member Mains, seconded by Commission Member Torres to approve of the June 13, 2024, meeting agenda. Vote on Motion 6-0-0. Motion carried.

4. Approval of Minutes

Motion by Commission Member Mains, seconded by Commission Member Vore to approve of the May 9, 2024, meeting minutes. Vote on Motion 6-0-0. Motion carried.

5. Guests requesting to address the Planning and Zoning Commission

6. Action Items

- a. Public Hearing – Considering proposed amendment to Section 177.09. of the Zoning Code regarding bike racks.

Public hearing opened at 6:02.

Pezley stated the proposed text amendment would add an additional subsection of Section 177.09 of the Zoning Code which currently addresses off-street parking requirements. Pezley read the proposed text amendment

for the Commission. Pezley stated staff researched zoning codes of Des Moines metropolitan communities and if communities required bike parking spaces generally they required a certain amount of bike parking spaces per vehicles parking spots.

Vore asked about requiring bike racks (or parking) be placed in a specific area, Mains echoed this concern. Mains asked if a multi-family development were to be built where would the bike racks be placed and should the Commission require a location requirement. Murray stated staff wanted to keep it as simple as possible. Torres asked if during the site plan process could the Commission require the bicycle rack/parking spaces be placed in a specific area. Pezley stated in staff's research they did not encounter any placement requirement.

Mains stated bicycle racks are not that large but does not want developers to place them at the end of a development and not be convenient for bicycle users. Clayton stated it may be easier to require one parking space to be reserved for bicycle parking. Clayton was concerned about bicycle parking too close to front doors at some retail stores. The Commission had additional conversations about placement of bicycle racks.

Murray added the City will be going through a Zoning Code rewrite at which time staff or the consultant could provide further guidance on whether or not bicycle parking requirements should be amended.

Public hearing closed at 6:11.

- b. Resolution PZ-240613-18 – Considering recommended approval of text amendment to Section 177.09. of the Zoning Code regarding bike racks.

Motion by Commission Member Mains, seconded by Commission Member Torres to recommend approval of Resolution PZ -240613-18 with consideration of placement of bicycle parking be within an adequate location of the front door.

Roll Call – Ayes: Commission Member Clayton, Commission Member Keeran, Commission Member Brostrom, Commission Member Torres, Commission Member Mains, Commission Member Vore Nays: none. Abstentions: none. Absent: Commission Member Pitt Vote on Motion 6-0-0. Motion carried.

- c. Resolution PZ-240613-19 – Considering recommended approval of a waiver of review of the Plat of Survey creating Parcel 2024-88, a plat of survey in unincorporated Polk County within two miles of Bondurant's city limits.

Pezley provided the Commission an overview of the proposed Plat of Survey. Pezley stated staff was informed the applicant is wanting to redraw the boundary line in order to construct a new accessory building. Pezley stated staff has no objections.

Motion by Commission Member Mains, seconded by Commission Member Clayton to recommend approval of Resolution PZ -240613-19.

Roll Call – Ayes: Commission Member Clayton, Commission Member Keeran, Commission Member Brostrom, Commission Member Torres, Commission Member Mains, Commission Member Vore Nays: none. Abstentions: none. Absent: Commission Member Pitt Vote on Motion 6-0-0. Motion carried.

7. Discussion Items –

a. Downtown Development

Matt Schafer addressed the Commission. Schafer stated he is representing the ownership group that has three parcels in downtown Bondurant between Iowa Floor Coverings and the building Bondurant-Farrar Community School District owns. Schafer stated the development group would like to discuss what the Commission would like to see on these parcels, as well as their feelings on parking stalls. Schafer stated the concept their group is currently looking at is commercial on the first floor with three or four residential units on the second floor. Parking for the residential units would be available behind the structure and be accessible from the alleyway.

Torres asked what type of residential units they are looking at. Schafer stated the units would be one- or two-bedroom and one-bath units. Schafer stated there is not a lot of room on site and the number of units would likely be determined by how many parking spaces the Commission would like to see for each residential unit. Mains stated he would like to see 1-2 parking spaces per units, but at least one. Schafer stated there is enough room for two parking spaces per unit but they would be required to park back-to-back. The Commission had additional conversations regarding parking on-site. The Commission also discussed where a bicycle rack would be located. Clayton stated any resident that has a bicycle would likely store it in their unit so placing the rack out front would make more sense.

Torres asked if for new projects does the City require undergrounding of existing utilities. Murray stated in this area undergrounding utilities would require undergrounding of all utilities in the downtown area. This project would cost a significant amount of money and would not be required for this project.

b. Drive-through Text Amendment

Pezley stated staff is looking at amending the drive-through code. Pezley stated the City has excessive drive-through requirements when compared to other Des Moines metro communities. Pezley stated staff wanted to have a conversation with the Commission regarding where this code came from, if there is an appetite for amending it and if staff does amend the code are there sections the Commission

would like to see kept.

Mains asked if there are certain sections that potential developers take issue with. Pezley stated generally it is the 300' setback from residential properties. Pezley added when looking at other metro communities, generally codes are in regards to queuing spaces. Torres asked if there is just one issue developers have or multiple issues. Pezley stated the setback requirement is the big one, but he is not sure if there are other issues they have but staff never gets that far in conversations.

Murray stated staff would like further guidance on if they are open to amending it because the way the code is written now, it effectively does not allow drive-throughs to be placed in commercial districts. Torres asked how long this code has been on the books, staff stated they believe since 2012.

Clayton stated the big driver for this topic was in regards to the volume of drive-through pedestals located in close proximity to residential developments. Clayton stated that any code amendment would need to take that into consideration.

Murray stated there are multiple commercial districts that are located next to residential districts and the current code is preventing businesses from having any type of drive-throughs. Pezley added another issue is the quiet hours which go up until 7 a.m. This requirement keeps a lot of restaurants that serve breakfast or coffee businesses from locating in Bondurant as they would like to begin operation prior to 7 a.m.

Mains stated he is in favor of overhauling the entire drive-through section but wants to be cognizant of residential concerns. Keeran stated the Commission is open to looking at amending the code. The Commission had additional conversations about the speaker box and volume coming from it.

c. Zoning, subdivision, Sign Code Update RFP

Murray stated Council, on Monday night, will consider approval of the RFP and staff will then post the RFP. Murray stated staff is looking for one or two members of the Commission to sit on the review committee to select a consultant.

Keeran stated she is willing to unless someone else wants to represent the Commission. Clayton stated he also would be willing if no one else would like to. Mains stated he will be a representative, and let Clayton and Keeran decide who will be the Commission's second member.

8. Reports / Comments and appropriate action thereon

a. Commission Members

Brostrom – none.

Clayton – asked if staff is receiving complaints about electric scooters. Clayton expressed concern about the speed of these electric scooters and wondered if they need more safety measures like golf carts have. Murray stated she is not aware of any complaints and asked if other communities had received complaints. Brostrom stated she does not believe Urbandale took any action to address electric scooters. Torres stated Des Moines Code enforcement has not received any complaints but they may be going to the police department.

Mains – none.

Pitt – absent.

Torres – asked staff if there is a timeline for the Parkside trail connection. Murray stated the City is awarding the contract and work will begin by at least the end of this year.

Vore – none.

Commission Chair – Keeran stated the property owners of 902 2nd Street NE have run electricity to one of the pods sitting on the property. Keeran asked staff to take a look into it. Keeran asked about the installation of sidewalks along 2nd Street on the western part of town. Murray stated staff is working with the developer.

- b. Community Development Director – Murray and Pezley updated the Commission on the Featherstone Townhomes plat.
- c. City Planner –
- d. City Administrator – absent.
- e. City County Liaison – Chad Driscoll, attending on behalf of Matt Sillanpaa, updated the Commission on the Council's discussion regarding the Featherstone Townhomes PUD amendment request.

7. Adjournment

Motion by Commissioner Mains, seconded by Commissioner Torres to adjourn the meeting. Vote on Motion 6-0-0. Motion carried. Meeting adjourned.



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.a.
For Meeting of 7/11/2024
Public Hearing

TITLE: Public Hearing - Considering recommended approval of a rezoning from A-1 Agricultural District to Medium Density Residential (R-2) District and Transitional Commercial (C-1) District on Parcels 231/00021-632-000 and 231/00072-330-000.

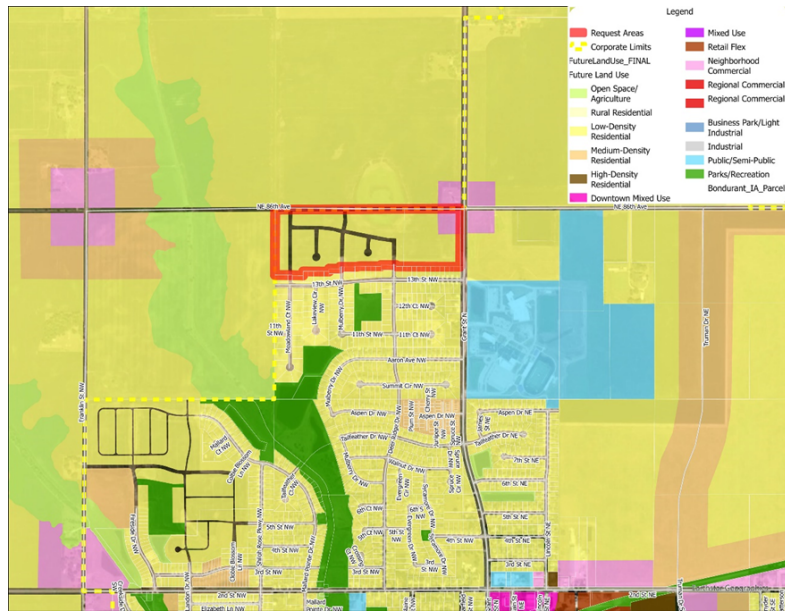
CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City is in receipt of a rezoning request for Parcels 231/00021-632-000 and 231/00072-330-000, located north of Sankey Summit Plats 2 and 3. The rezoning request proposing to change the zoning from A-1 Agricultural to R-2 Medium Density Residential and C-1 Transitional Commercial. The owner of the preliminary plat area is Ethel C Sankey Trust. The rezoning request applicants are Noah Wendt, realtor on behalf of the trust, and Sandra Miller, a trustee. There are no current plans to develop the parcels in question, however this area is located within the Sankey Summit Phase 2 Preliminary Plat that was approved by the City Council on May 4, 2020. The request area is highlighted below.

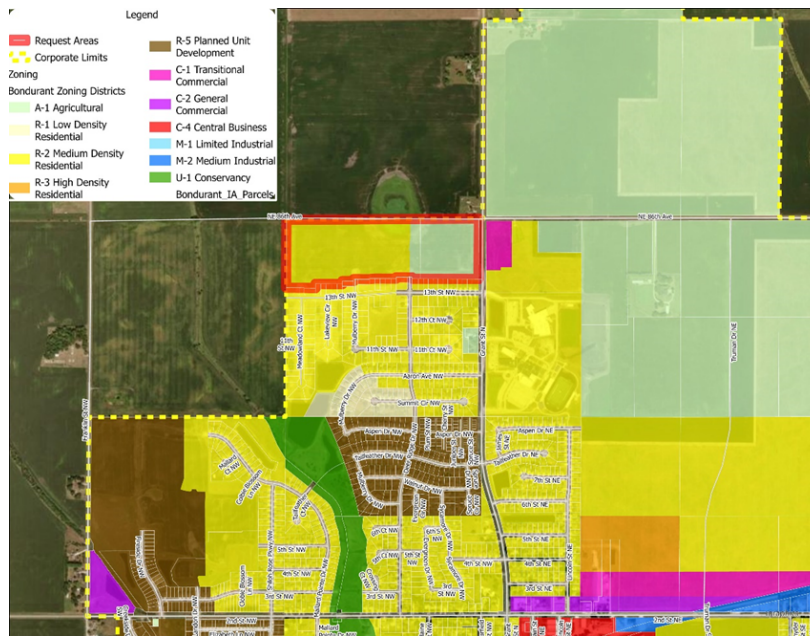


When considering rezoning requests, the Planning & Zoning Commission and City Council should take into account the following: the Comprehensive Plan/Future Land use Map, Zoning, Parkland Dedication, Streets, Pedestrian Connections, Utilities, the FEMA Floodplain, the City's Stream Buffer Ordinance, and Comments from City Officials and Private Utilities.

Comprehensive Plan/Future Land Use Map - the proposed R-2 Medium Density Residential and C-1 Transitional Commercial uses are consistent with the 2022 Future Land Use Map. The Future Land Use Map shows this area being developed as low-density residential and neighborhood commercial. The request area is outlined below on the 2022 Future Land Use Map.



Zoning – The majority of Parcel 231/00072-330-000 is currently zoned as R-2 Medium Density Residential. The applicant is proposing to rezone the remaining portion of the property to R-2 Medium Density Residential, as well as the majority of Parcel 231/00021-632-000 to R-2. The exception is the northeast corner of Parcel 231/00021-632-000, near the intersection of Grant Street N/NE 72nd Street and NE 86th Avenue, which is proposed to be rezoned to C-1 Transitional Commercial. The R-2 District allows for low-density residential, which currently exists to the south in Sankey Summit Plats 2 and 3. The C-1 Transitional Commercial allows for low-intensity retail commercial, office commercial uses, and medical office commercial uses.



Parkland Dedication – Any residential development in this area may require parkland dedication. The Sankey Summit Phase 2 Preliminary Plat shows an Outlot Y that may be used for future park considerations. The City’s parkland dedication requirements would be enforced when a plat is submitted for review.

Streets – Parcel 231/00021-632-000 has access from Grant Street North. Parcel 231/00072-330-000 has access from three separate streets stubbed from Sankey Summit Plat 2 and Plat 3.

Pedestrian Connections – Will be addressed during the platting process.

Utilities – All utilities have been stubbed south of the property along Grant Street North in the Sankey Summit Plat 2 and Plat 3 areas. This development area is located within the Northwest Trunk Sewer Connection Fee District area. Any connection fees will be collected during the platting process.

FEMA Floodplain – this development is not located in the FEMA Floodplain area.

Stream Buffer Ordinance - this development is not subject to the City’s Stream Buffer Ordinance.

Comments from City Officials and Utilities -

- City Engineering – No comments received at this time.
- Public Works – No comments received at this time.
- Emergency Services – No comments received at this time.

FUNDING SOURCE:

STAFF RECOMMENDATION:

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. Rezoning Request Application
2. Approved Sankey Summit Phase 2 Preliminary Plat
3. C-1 Code
4. R-2 Code



City of Bondurant
Planning & Community Development
200 2nd St NE, Bondurant, Iowa 50035
(515) 967-2418 • planning@cityofbondurant.com

REZONING APPLICATION

Property Owner

Name Ethel C. Sawyer Trust
Address 1841 Ashworth Rd.
City West Des Moines State IA Zip 50265
Phone 515-901-8031 Email NH

Applicant (if not Property Owner)

Name
Address
City State Zip
Phone Email

Submittal Requirements:

All submittal requirements must be completed. Incomplete applications will not be considered.

Property Address or Parcel ID Number:

231/00021-633-000 and 231/00072-330-000

☒ Application filing fee (online payment or by check)

☒ Written narrative summarizing reason for rezoning request

☒ Current Zoning District: A-4 Requested Zoning District: Neighborhood Commercial

☒ Map showing area requested for rezoning

☒ Legal description of requested rezoning area

Land area (measured in SF or acres) requested for rezoning: 16.5

☒ Only if seeking an R-5 designation—a Planned Unit Development Conceptual Plan as regulated by Section 178.06 of the Zoning Code

☒ Rezoning Application Attachment A, which is a notarized petition representing approval of at least 50% of the ownership interests in the property subject to rezoning

A site plan may also be required if determined applicable by the Planning & Community Development Director

I (We) certify that I (we) am (are) familiar with applicable state and local codes and ordinances, the procedural requirements of the City of Bondurant, and have submitted all the required information which is accurate, true, and correct.

Signature Sandra Miller Swetee

Date 6-25-24

Rezoning Application Overview. A rezoning application is a request to change the zoning district designation on land within the City of Bondurant. A rezoning is an amendment to the City's Zoning Map, which is part of the Zoning Ordinance. Rezoning ordinances are considered by City Council after a recommendation is made by the Planning & Zoning Commission.

How to Apply. Please submit application and attachments electronically to planning@cityofbondurant.com or drop off/mail to City Hall at 200 2nd Street NE, POB 37, Bondurant, IA 50035.

Application Filing Fee Notes. \$100 for the first acre + \$5 for each additional acre for a residential district request. \$120 for the first acre + \$10 for each additional acre for non residential district request.

FOR OFFICE USE ONLY

Received Date

Case No.

Attachment A of Rezoning Application

(Must be notarized and signed by at least 50% of the ownership interests in the property requested for rezoning)

I/We, the undersigned, am/are the property owner(s) of:

Parcel # 231/00021-632-000
Parcel # 231/00072-330-000

I/We declare that a zoning change from the Agriculture Zoning District to the Neighborhood Commercial Zoning District is requested.

PROPERTY OWNER NAME	PROPERTY OWNER SIGNATURE	DATE SIGNED
<u>Ethel & Sankey T.</u>	<u>Sandra Miller</u>	
<u>Trust</u>	<u>Trustee</u>	<u>6-25-24</u>

State of Iowa Iowa
County of Story

Sworn to (or affirmed) and subscribed before me on this 25 day of June of 2024, by Noah Wendt, who is personally known or produced Iowa License as identification.

Noah Wendt

Signature

(seal)



Noah Wendt
Printed Name of Notary

Written Narrative for rezoning request of **Ethel C Sankey Trust Property**

In preparation to market the Ethel C Sankey Trust Property on the North side of Bondurant Sandra Miller, trustee of Ethel C Sankey Trust, is requesting to have the portion of the property that is zoned A-1 (Agricultural) to Neighborhood Commercial zoning.

The reasons for requesting the re-zoning are:

1. to get the zoning in line with what the City of Bondurant's Future Land Use plan is and
2. Prepare the property to be more marketable to future developers

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19

NE 72nd St

NE 86th Ave

Grant St N

S14

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Douglas
25-80N-23W

Grant St N

NE 72nd St

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NE 72nd St

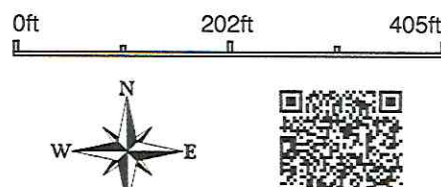
©2024 AgriData, Inc.

acrePRO

Boundary Center: 41° 42' 58.7, -93° 27' 58.52

25-80N-23W
Polk County

Maps Provided By:



Legal Description for Ethel C Sankey Trust rezoning

Parcel 231/00021-632-000

-EX PARCEL 2020-59 BK 17833 PG 898- & -EX S 336F
N 1791F E 259.03F- & -EX S 735F- E 832F NE 1/4
LESS RD SEC 25-80-23

Parcel 231/00072-330-000

-EX PARCEL 2020-57 BK 17833 PG 898- & -EX PARCEL
2020-58 BK 17833 PG 898- & -EX S 735F- & -EX E
832F- NE 1/4 SEC 25-80-23

V:\P\Bonds\2019\10101\101\101\CADD\PEP - 1190910_101.dwg JEREMY WILCOCK, PRELIMINARY PLAT-2020, 2020/04/28, 3:37 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)

LEGEND

FEATURES

Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Fence (Silt)
Tree Line
Tree Stump

Deciduous Tree \ Shrub

Coniferous Tree \ Shrub

Communication
Overhead Communication
Fiber Optic
Underground Electric
Overhead Electric
Gas Main with Size
High Pressure Gas Main with Size
Water Main with Size
Sanitary Sewer with Size
Duct Bank
Test Hole Location for SUE w/ID

(*) Denotes the survey quality service level for utilities

Sanitary Manhole

Storm Sewer with Size

Storm Manhole

Single Storm Sewer Intake

Double Storm Sewer Intake

Fire Hydrant

Fire Hydrant on Building

Water Main Valve

Water Service Valve

Well

Utility Pole

Guy Anchor

Utility Pole with Light

Utility Pole with Transformer

Street Light

Yard Light

Electric Box

Electric Transformer

Traffic Sign

Communication Pedestal

Communication Manhole

Communication Handhole

Fiber Optic Manhole

Fiber Optic Handhole

Gas Valve

Gas Manhole

Gas Apparatus

Fence Post or Guard Post

Underground Storage Tank

Above Ground Storage Tank

Sign

Satellite Dish

Mailbox

Sprinkler Head

Irrigation Control Valve

EXISTING

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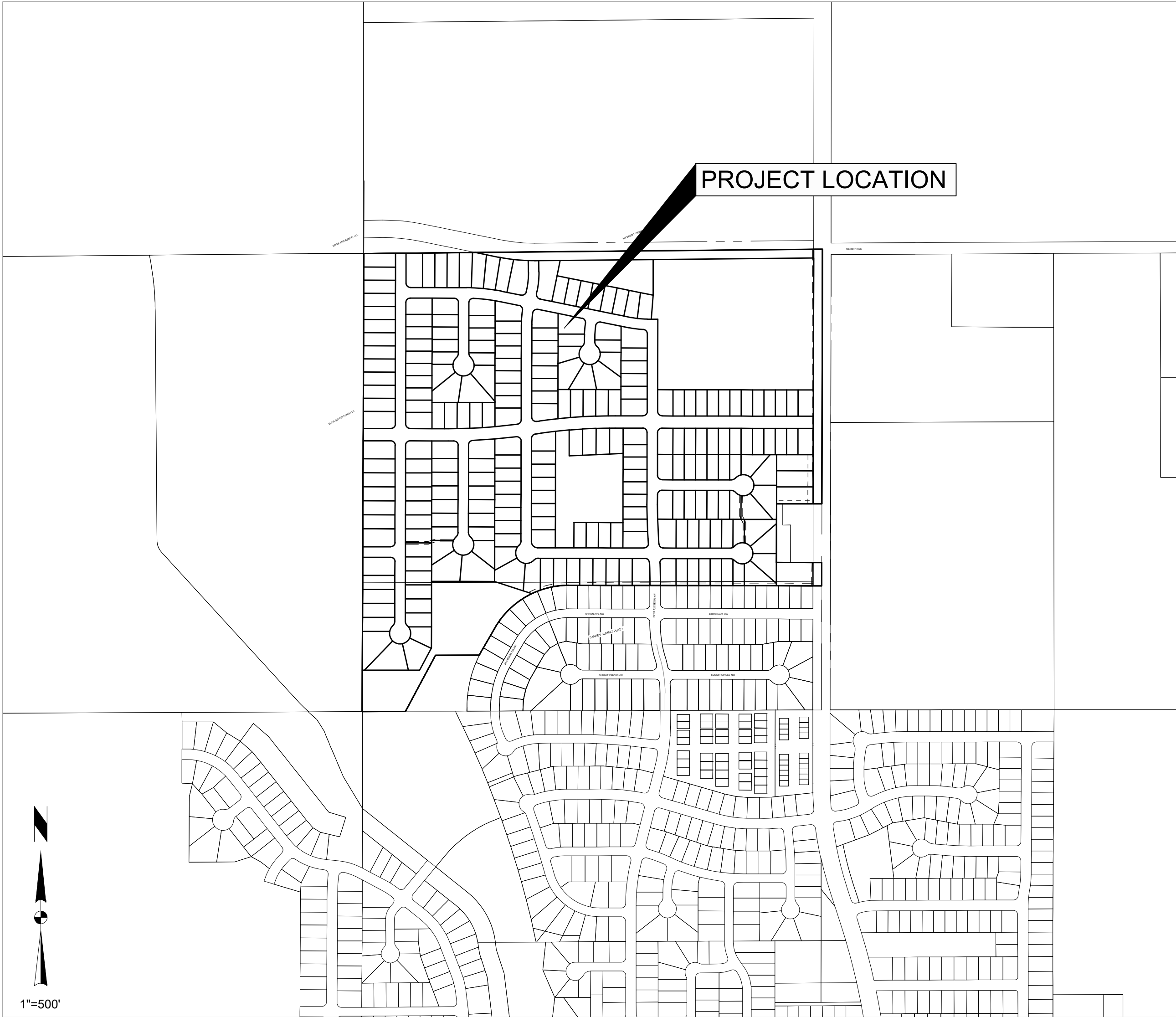
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SANKEY SUMMIT PHASE 2
PRELIMINARY PLAT



PLAT DESCRIPTION

NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, EXCEPT SANKEY SUMMIT PLAT 1 AND EXCEPT A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23, AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 1455.0 FEET SOUTH OF THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., DOUGLAS TOWNSHIP, POLK COUNTY, IOWA, THENCE SOUTH 336.0 FEET, THENCE SOUTH 89°30' WEST 178.0 FEET, THENCE NORTH 215.0 FEET, THENCE SOUTH 89°30' WEST 45.0 FEET, THENCE NORTH 121.0 FEET, THENCE NORTH 89°30' EAST 223.0 FEET, TO THE POINT OF BEGINNING, 1.50 ACRES, MORE OR LESS AND EXCEPT BEGINNING AT A POINT BEING 1,455.00 FT., S-00°-00'00"-W AND 223.00 FT., S89°30'00"W OF THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, THENCE S00°00'00"W, 121.00 FT., THENCE N89°30'00"E, 45.00 FT.; THENCE S00°00'00"W, 215.00 FT.; THENCE S89°30'00"W, 81.03 FT.; THENCE N00°00'00"E, 336.00 FT.; THENCE N89°30'00"E, 36.03 FT. TO THE POINT OF BEGINNING. ALL OF SAID PARCEL BEING LOCATED IN THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHEAST 1/4 (NE 1/4) OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA AND CONTAINING APPROXIMATELY 0.5000 ACRES.

OWNER/DEVELOPER

BONDURANT LOTS II LLC
2400 86TH ST
URBANDALE, IA 50322

ENGINEER/SURVEYOR

SNYDER & ASSOCIATES, INC.
CONSULTING ENGINEERS & PLANNERS
2727 SW SNYDER BOULEVARD
ANKENY, IOWA 50023
(515)984-2020
ERIC CANNON, P.E.
ERIN GRIFFIN, PLS

ZONING

R-2: MEDIUM DENSITY RESIDENTIAL (LOTS 1-255)
A-1 AGRICULTURAL (OUTLOT X)

BULK REGULATIONS:

R-2 MEDIUM DENSITY RESIDENTIAL:
SINGLE-FAMILY DWELLING (LOTS 1-255)
MINIMUM LOT AREA = 7,500SF
MINIMUM LOT WIDTH = 65'
FRONT YARD SETBACK = 30'
REAR YARD SETBACK = 35'
SIDE YARD SETBACK = 7'

NOTES:

- DRIVEWAYS FOR LOT 1-4 SHAL BE DESIGNED SUCH THAT ALL MANEUVERING IS DON ON PRIVATE PROPERTY SO THAT CARS CAN PULL OUT HEAD FIRST ONTO GRANT STREET
- LOTS 2-4 SHALL BE LIMITED TO ONE ACCESS POINT ON GRANT STREET WITHIN SHARED DRIVE
- PARKLAND DEDICATION FOR THE DEVELOPMENT SHALL BE PROVIDED AS FOLLOWS:
-PLAT 1 = 99 LOTS * .005*3=1.485 AC REQUIRED
-CURRENT ACQUISITION/DEVELOPMENT LIMITS (LIMITS OF PLAT OF SURVEY WHICH WILL BE PLAT 2&3) = 173 LOTS* .005*3 = 2.595 AC REQUIRED
-TOTAL REQUIRED WITH PLATS 1,2,3 = 1.485+2.595=4.08AC
-TOTAL PROVIDED = 4.03AC IN OUTLOT P AND 1.48AC WITH TRAIL LIMITS = 5.51AC
-5.51AC - 4.08AC = 1.43AC CREDIT ON PARKLAND FOR FUTURE LOTS
-FUTURE LOTS = 82* .005*3 = 1.23AC-1.43AC CREDIT=0.20AC OF CREDIT WILL BE AVAILABLE FOR THE DEVELOPMENT OF OUTLOT X
- CONSTRUCTION WITHIN THE AREA CURRENTLY SHOWN AS THE FEMA 100YR FLOODPLAIN IS SUBJECT TO ELEVATING LOTS ABOVE THE 100YR FLOODPLAIN AND FEMA'S LOMR-F APPROVAL

VICINITY MAP

BONDURANT, IOWA

CONTROL POINTS

IOWA REGIONAL COORDINATE SYSTEM ZONE 8 (AMES-DES MOINES)
NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

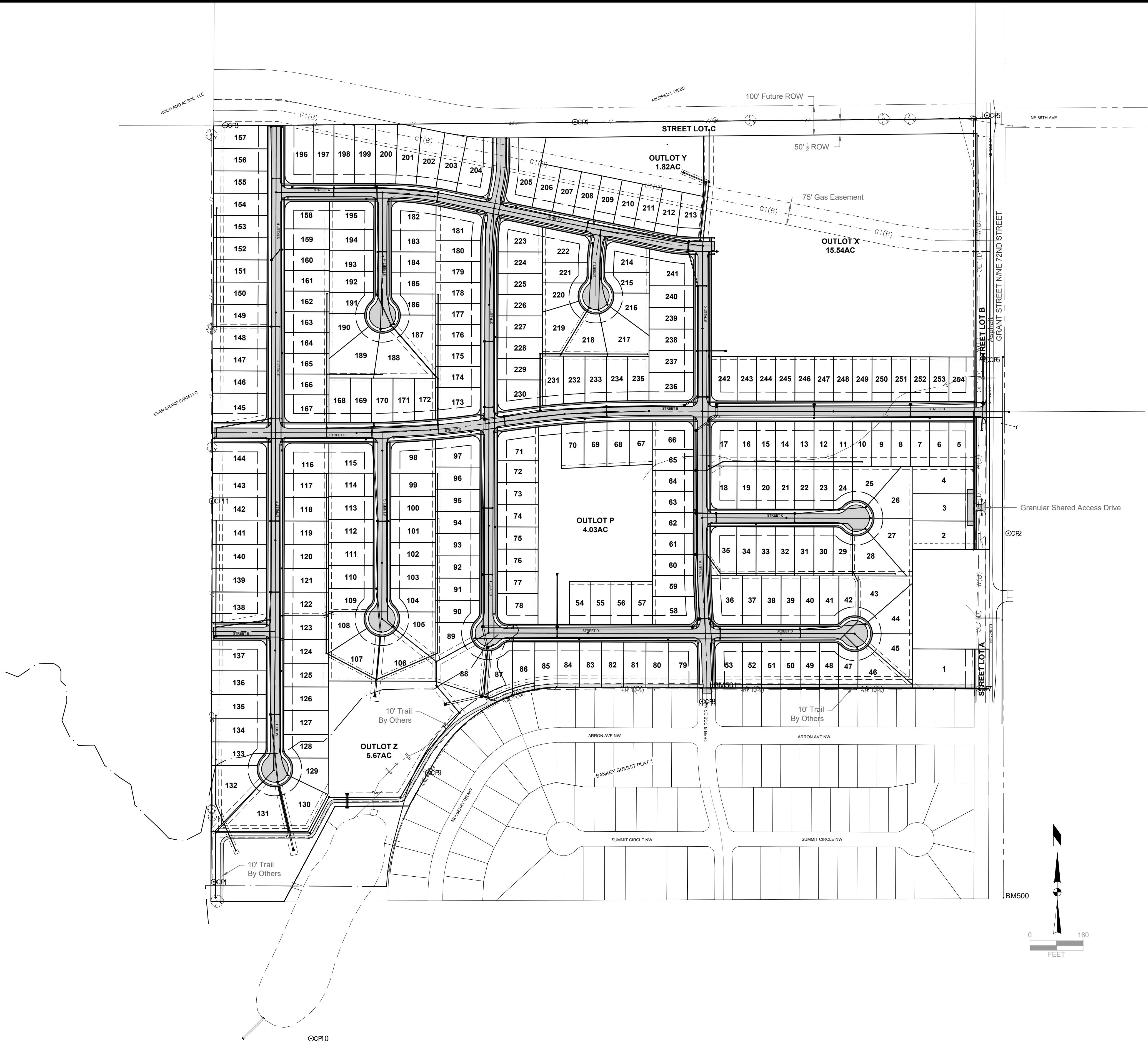
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|------|--|
| CP1 | N=7532192.65 E=18566246.47 ELEV=946.84
1/2" REBAR WITH RED CAP 5' EAST OF FENCE POST, SOUTHWEST CORNER OF SITE. |
| CP2 | N=7533389.03 E=18566827.99 ELEV=944.76
1/2" REBAR WITH RED CAP IN BERM 215' NORTH OF NORTH DRIVE TO SCHOOL, EAST OF SITE. |
| CP3 | N=7534746.24 E=18566284.54 ELEV=965.40
1/2" REBAR WITH RED CAP 35' EAST OF FENCE CORNER POST, NORTHWEST CORNER OF SITE. |
| CP4 | N=7534757.43 E=18567465.20 ELEV=963.16
1/2" REBAR WITH RED CAP 1' SOUTH OF FENCELINE, NORTH SIDE OF SITE. |
| CP5 | N=7534779.98 E=18566856.01 ELEV=968.90
MAG NAIL IN THE WEST EDGE OF NE 72ND STREET 10' NORTH OF FENCELINE, NORTHEAST CORNER OF SITE. |
| CP6 | N=7533955.17 E=18566854.39 ELEV=965.33
MAG NAIL IN THE WEST EDGE OF NE 72ND STREET EAST OF POWER POLE 60' NORTH OF TWIN 36" RCP, EAST SIDE OF SITE. |
| CP7 | N=7532844.82 E=18568827.18 ELEV=966.27
1/2" REBAR WITH RED CAP 5' NORTH OF POWER POLE & 13' EAST OF CORNER OF WOOD FENCE, SOUTHEAST CORNER OF SITE. |
| CP8 | N=7532801.40 E=18567894.47 ELEV=961.14
CUT "X" IN BACK OF CURB ON THE WEST SIDE OF DEER RIDGE DRIVE NW, SOUTH SIDE OF SITE. |
| CP9 | N=7532566.41 E=18566969.25 ELEV=949.28
CUT "X" IN END OF CONCRETE TRAIL AT FENCELINE NORTH OF SHED, SOUTH SIDE OF SITE. |
| CP10 | N=7531664.04 E=18566574.33 ELEV=943.72
1/2" REBAR WITH RED CAP 80' SOUTH OF POND, SOUTHEAST CORNER OF SITE. |
| CP11 | N=7533478.17 E=18566239.75 ELEV=956.93
1/2" REBAR WITH RED CAP 1' EAST OF FENCELINE, WEST SIDE OF SITE. |

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 551907039.

STORM SEWER S1-SANITARY SEWER	CITY OF BONDURANT PATRICK COLLISON 515-971-6856 pcollisonr@cityofbondurant.com
G1-HIGH PRESSURE GAS	NORTHERN NATURAL GAS COMPANY KEITH GOOD 515-202-5067 keith.good@nngco.com
E1-ELECTRIC OE1-OVERHEAD ELECTRIC G2-GAS	MIDAMERICAN ENERGY CRAIG RANFELD 515-252-6632 MECDMSDesignLocates@midamerican.com

V:\Projects\2019\119.0910.01\CADD\PP - 119.0910.DWG, JEREMY W MCCORMICK, PRELIMINARY PLAT-OVERALL SITE LAYOUT, 2020/04/29, 3:37 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)

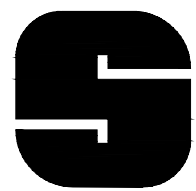


SANKEY SUMMIT PHASE 2

PRELIMINARY PLAT-OVERALL SITE LAYOUT

BONDURANT, IOWA

SNYDER & ASSOCIATES, INC. |



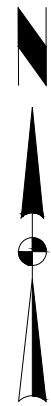
**SNYDER
& ASSOCIATES**

Project No: 119.0910.01

Sheet C101

REVISION	DATE	BY
2	4-29-20	JWM
1	4-20-20	JWM
MARK	REVISION	DATE
Engineer: KWM	Checked By: EDC	Scale: 1" = 180'
Technician: JWM	Date: 04-07-20	T-R-S: TTN-RRW-SS
Project No: 119.0910.01		
Sheet C101		

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-984-2020 | www.snyder-associates.com



SNYDER
& ASSOCIATES

Project No: 119.0910.01

Sheet C200

SANKEY SUMMIT PHASE 2

PRELIMINARY PLAT-LOT LAYOUT

BONDURANT, IOWA

SNYDER & ASSOCIATES, INC.

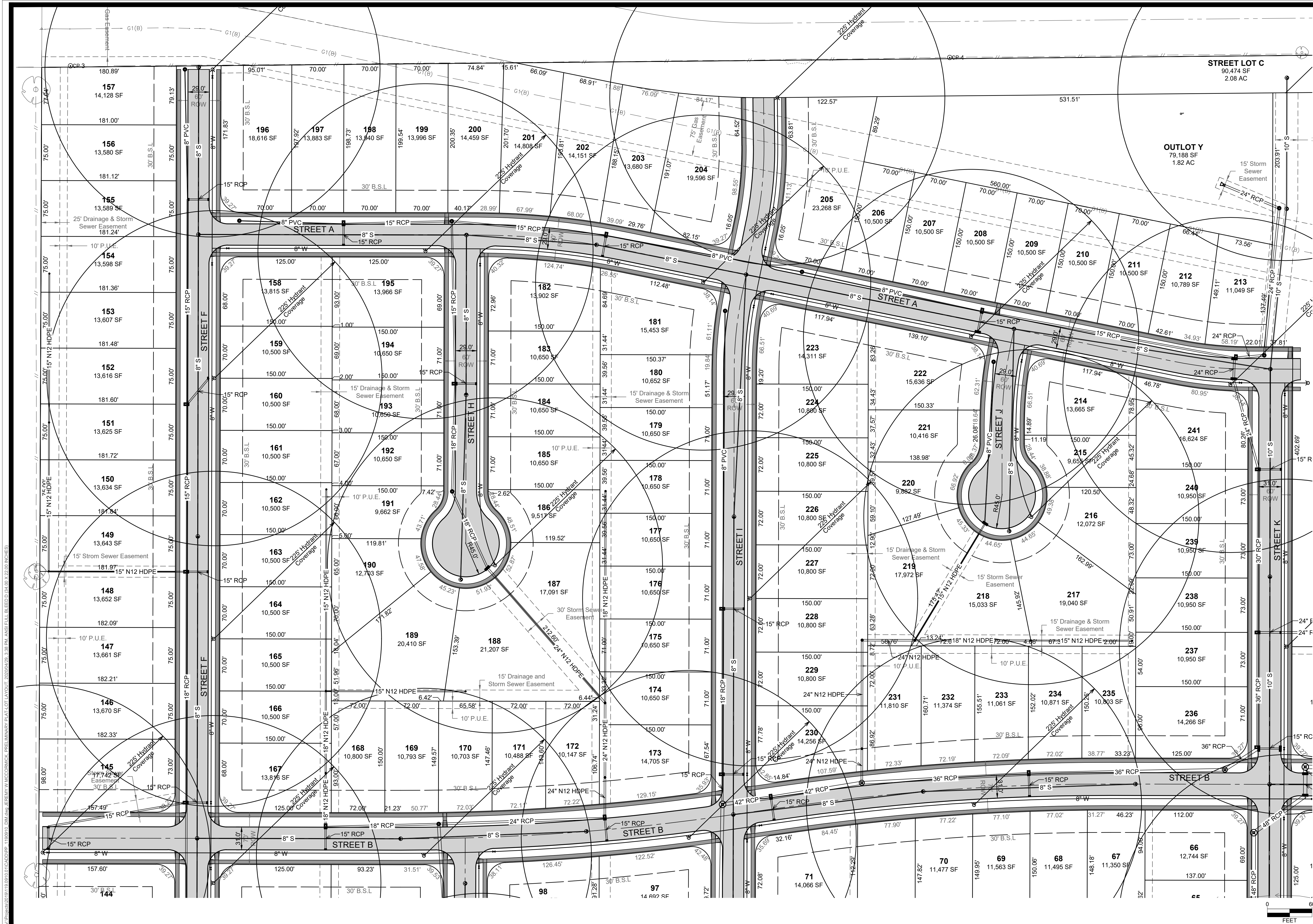
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023

ANKENY, IOWA 50023

515-964-2020 | www.snyder-associates.com

[illegible]

Sheet C200

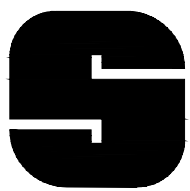
[illegible]

SANKEY SUMMIT PHASE 2

PRELIMINARY PLAT-LOT LAYOUT

BONDURANT, IOWA

SNYDER & ASSOCIATES, INC.

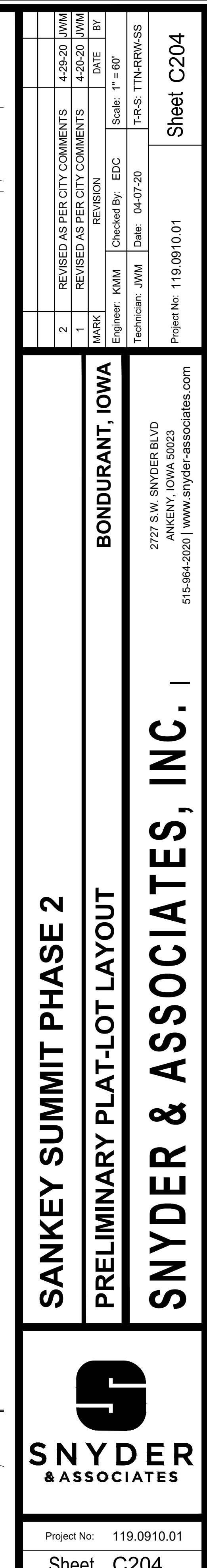


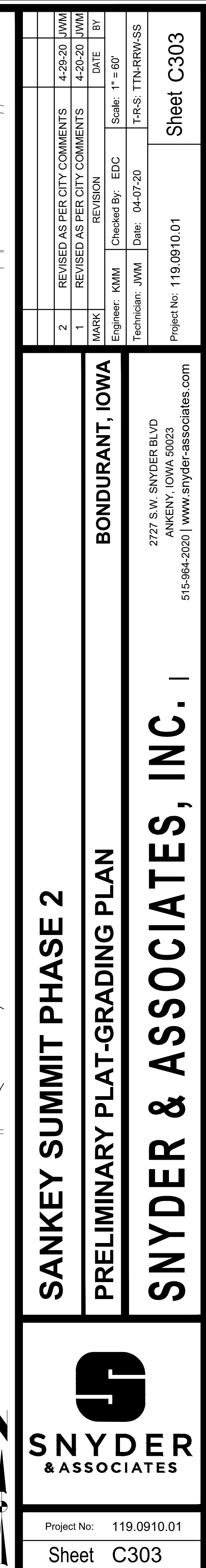
SNYDER
& ASSOCIATES

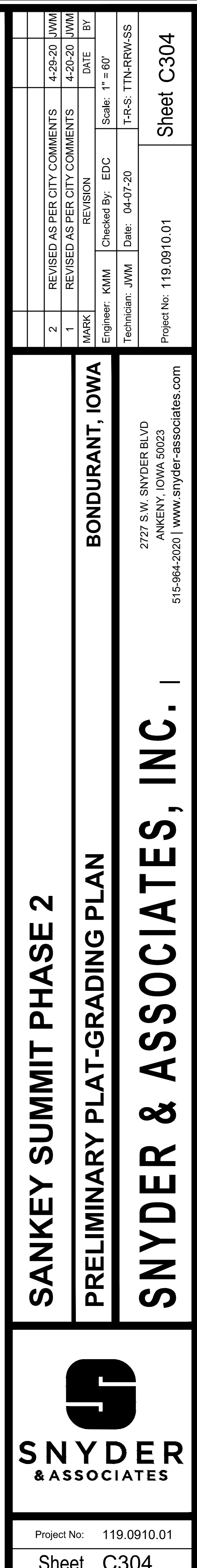
Project No: 119.0910.01

Sheet C202









178.07 C-1 TRANSITIONAL COMMERCIAL. The “C-1” District is intended and designed to provide space for limited professional, retail, civic, and service activities which serve adjacent residential areas with reasonable proximity for the satisfaction of daily consumer needs. C-1 Districts should generally include 5-15 acres.

1. Principal Permitted Uses. Only the uses of structures or land listed in this section shall be permitted in the “C-1” District.

- A. Residential uses, if attached to a permitted commercial use. Residential units not permitted on first floor of structure.
- B. Hospitals, clinics, group medical centers, or the office of a doctor, dentist, osteopath, or similar profession.
- C. Business and professional offices including the following: law, engineering, real estate, insurance, and similar uses.
- D. Funeral homes or mortuaries.
- E. Personal service businesses such as beauty and barber shops, shoe repair, and similar uses.
- F. Professional offices.
- G. Churches, cathedrals, temples, and similar places of worship.
- H. Museums, libraries, parks and playgrounds, community centers and similar uses operated by the City.
- I. Public and parochial schools, elementary and secondary, and other educational institutions.
- J. Retail business or service establishments such as the following:
 - (1) Clothes cleaning and laundry pickup stations, or like business.
 - (2) Coffee shop, restaurant, delicatessens, bakery, or like business
 - (3) Drug stores, hardware stores, jewelry stores, or like business.
 - (4) Gift shops, or like business.
 - (5) Photographic studios, or like business
 - (6) Post office substations, or like business.
 - (7) Movie rental, or like business.
 - (8) Dance studio, fitness center, or like business.
 - (9) Combinations of the above uses, or like business.

Commented [MM1]: This does not specify which type of residential uses are permitted if they are attached to the commercial use and are not on the first floor; assumed to be all as long as they are attached to the commercial use and not on the first floor.

Commented [MM2]: Term not defined in Code.

Commented [MM3]: I am interpreting this as meaning a Child Care Facility is permitted in the C-1 (and C-2) Districts.

Commented [MM4]: This reads confusing. Is it intending to read “all retail business and service establishments are permitted and here are some examples”, or is it intending to read “only the following 9 types of retail business and service establishments are allowed”? Since this Code is worded such that only those uses specifically listed are permitted, only items 1-9 are permitted.

Commented [MM5]: Not defined

2. Permitted Accessory Uses.

- A. Uses of land and or structures customarily incidental and subordinate to one of the principal permitted uses, unless otherwise excluded.
- B. Signs in accordance with [Chapter 181 of this Code of Ordinances](#).
- C. Temporary buildings for uses incidental to construction work, said buildings shall be removed upon the completion of construction or abandonment of the construction site.
- D. TV Dish Antennas in accordance with [Section 177.11 of the Zoning Code - General Regulations](#).

3. Permitted Conditional Uses.

- A. Home occupations. A [conditional use permit](#) must be applied for and received from the [Board of Adjustment](#) for a home occupation which does not meet the requirements set forth in [Section 177.15 of the Zoning Code - General Regulations](#).
- B. Wind Energy Conversion Systems (WECS), see [Section 177.14 of the Zoning Code – General Regulations](#).
- C. Indoor Storage Facilities
- D. Drive-in and Drive-through Facilities

4. Bulk Regulations. The following minimum requirements shall be observed subject to the modifications contained in [Section 177.07](#).

- A. Minimum lot area. 9,000 square feet.
- B. Maximum Density. 10 units per acre for residential uses.
- C. Maximum Commercial Square Footage. Office, commercial, or retail uses shall be limited to 10,000 square feet in any one space. No single building shall be greater than 30,000 square feet.
- D. Lot width: Commercial uses – No minimum; commercial with attached dwelling units – 85 feet; corner lots – 85 feet; No public sanitary sewer – 100 feet.
- E. Front yard. 30 feet.
- F. Side yards. 11 feet on each side for principal building; 4 feet for [accessory buildings](#).
- G. Rear yard. 40 feet, and 3 feet for [accessory buildings](#).
- H. Maximum Height. Principal building - 35 feet; [accessory building](#) - 14 feet.
- I. Maximum number of stories. Principal building – 2 stories; [accessory building](#) - 1 story.

Summary of C-1 Bulk Regulations:

(A) Minimum Lot Area	9,000 sq. ft.
(B) Maximum Density	10 units per acre for residential uses
(C) Maximum Commercial Square Footage	10,000 square feet per individual space 30,000 per building
(D) Lot Width	Commercial: No Minimum (<i>Unless a corner lot</i>) Commercial with dwelling units: 85 ft. Corner Lot: 85 ft. Without Public sanitary sewer: 100 ft.
(E) Front Yard Setback	30 ft.
(F) Side Yard Setbacks	Principal building: 11 ft. / side. Accessory building : 4 ft.
(G) Rear Yard Setback	Principal building: 40 ft. Accessory building : 3 ft.
(H) Maximum Height	Principal building: 35 ft. Accessory building : 14 ft.
(I) Maximum Stories	Principal building: 2 Stories Accessory building : 1 story

5. Performance Standards.

- A. Where property zoned for “C-1” is adjacent to any property zoned for residential use, in addition to the screening requirements of 179.02.4, a 15’-wide buffer yard shall be provided whereby no part of any required buffer yard shall be used for parking, storage, loading, active recreation, locating refuse containers, or similar activity which may create a nuisance.

178.03 R-2 MEDIUM DENSITY RESIDENTIAL. The “R-2” District is intended and designed for certain medium density residential areas of the City now developed with one-family and [two-family dwellings](#), and areas where similar residential development seems likely to occur.

1. Principal Permitted Uses. Only the uses of structures or land listed in this section shall be permitted in the “R-2” District.

- A. Single-family detached dwellings, to include [manufactured homes](#) and [family homes](#). A manufactured home must be located and installed according to the same standards for a foundation system, setback, and minimum square footage which would apply to a site-built, single-family dwelling on the same lot.
- B. Single-family, semi-attached dwellings, as regulated by [Section 177.07.8](#).
- C. Churches, cathedrals, temples, and similar places of worship, provided that all principal buildings be set back a minimum of fifty (50) feet from all property lines.
- D. Parks, playgrounds and similar uses operated by the City.
- E. Golf courses, country clubs, tennis courts and similar recreational uses, provided that any such use be not operated primarily for commercial gain.
- F. Private plant nurseries and [greenhouses](#) not exceeding two hundred forty (240) square feet of floor area and not involving retail or wholesale sales.
- G. Public and parochial schools, elementary and secondary, and other educational institutions, but excluding boarding schools, nursery schools and [child care centers](#), provided that all principal buildings are set back a minimum of fifty (50) feet from all property lines.

2. Permitted Accessory Uses.

- A. Uses of land and or structures customarily incidental and subordinate to one of the principal permitted uses, unless otherwise excluded.
- B. Temporary buildings for uses incidental to construction work, which buildings shall be removed upon the completion or abandonment of the construction work.
- C. Private swimming pools.
- D. TV Dish Antennas in accordance with [Chapter 177.11 of the Zoning Code - General Regulations](#).
- E. Home Occupations, see [Section 177.15 of the Zoning Code – General Regulations](#).
- F. No exterior advertising signs or displays shall be permitted except an indirectly lighted name plate not to exceed two (2) square feet in

Commented [MM1]: I think this is a mistake in Bondurant's code. Manufactured home = mobile home. Modular home does not equal mobile home.

area, attached flat against the building. Furthermore, Signs must be in accordance with [Chapter 181 of the Codes of Ordinances](#).

Commented [MM2]: Is this supposed to be a bullet point item of E?

3. Permitted Conditional Uses.

- A. Communication towers (freestanding type), see [section 177.12 of the Zoning Code – General Regulations](#).
- B. Communication towers (building-supported type), see [Section 177.13 of the Zoning Code – General Regulations](#).
- C. Wind Energy Conversion Systems (WECS), see [section 177.14 of the Zoning Code – General Regulations](#).

4. Bulk Regulations. The following minimum requirements shall be observed, subject to the modifications contained in [Section 177.07](#).

- A. Overall Density within the R-2 District shall not exceed 6 units per net acre of land. Calculation of net acres is based on the gross land area less any lands that are prohibited by law or code from development including wetlands, floodways, arterial or collector street [right-of-way](#), and required park land dedication.
- B. Lot Area: Single-family detached dwelling – 7,500 square feet; Single-family, semi-attached – 5,000 square feet per lot (10,000 square feet combined).
- C. Minimum Floor Area: Ranch style - 950 square feet; two story – 1,000 square feet of livable space; split level style - 875 square feet on two (2) adjacent levels; and split foyer style – 850 square feet on the main floor.
- D. Lot Width: Single-family detached dwelling – 70 feet for interior lot and 80 feet for corner lot; Single-family, semi-attached - 42.5 feet per lot (85 feet combined).
- E. Front Yard: [Dwelling](#) - 30 feet. All other principal uses - 50 feet.
- F. Side Yards: Single-family detached dwelling - 7.5 feet minimum for both side yards unless a structure existing prior to December 19, 2022 has a pre-existing, non-conforming side yard setback of less than 7.5 feet where such structure may be extended to align with the pre-existing, non-conforming side yard setback only but shall not further encroach than what is existing; Single-family, semi-attached – 7.5 minimum for one side yard (where other side yard is the common wall at 0’); 3 feet for any [accessory building](#). All other principal uses - 50 feet.
- G. Rear Yard: [Dwelling](#) - 35 feet and 3 feet for [accessory buildings](#). All other principal uses - 50 feet.
- H. Maximum Height: Principal building - 35 feet; [Accessory building](#) - 12 feet.
- I. Maximum Number of Stories: Principal building – 3 stories; [Accessory building](#) - 1 story.

- J. [Accessory Buildings](#): Maximum area for accessory Garage – 1,000 sq. ft.
Maximum area for Yard shed – 160 sq. ft.
- K. [Basement](#) Required: A [basement](#), containing the square footage of at least 60% of the dwelling's first story square footage at the time of original building permit approval, is required in all single-family detached and single-family, semi-attached dwellings. This section applies to all R-2 District lots within preliminary plats approved after December 19, 2022.

Summary of R-2 Bulk Regulations:

(B) Minimum Lot Area	7,500 sq. ft., single-family detached 5,000 square feet per lot (10,000 square feet combined), single-family, semi-attached
(C) Minimum Floor Area	950 sq. ft., ranch style 1000 sq. ft., two story 875 sq. ft., split level style 850 sq. ft., split foyer style
(D) Lot Width	70 ft. interior lot and 80 ft corner lot, single family detached 42.5 per lot (85 feet combined), single-family, semi-attached
(E) Front Yard	30 ft. for dwellings 50 ft. for any permitted use other than dwellings
(F) Side Yard	7.5 feet minimum for both side yards unless a structure existing prior to December 19, 2022 has a pre-existing, non-conforming side yard setback of less than 7.5 feet where such structure may be extended to align with the pre-existing, non-conforming side yard setback only but shall not further encroach than what is existing, single-family detached 7.5 minimum for one side yard (where other size yard is the common wall at 0'), single-family, semi-attached 3 ft. accessory buildings 50 ft. for any permitted use other than dwellings
(G) Rear Yard	35 ft. for single family 3 ft. accessory buildings 50 ft. for any permitted use other than dwellings
(H) Maximum Height	35 ft. principal buildings 12 ft. accessory buildings
(I) Maximum Stories	3 stories for principal buildings 1 story for accessory buildings
(J) Accessory Buildings	1,000 sq. ft – Maximum Area for Accessory Garage 160 sq. ft. – Maximum Area for Yard Shed

(K) Basements	A basement containing the square footage of at least 60% of the dwelling's first story square footage at the time of original building permit approval is required in all single-family detached and single-family, semi-attached dwellings. This section applies to all R-2 District lots within preliminary plats approved after December 19, 2022.
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5. **Off Street Parking and Loading.** See Sections [177.08](#) and [177.09](#).
6. **Parkland Dedication.** [See Section 180.06.](#)



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.b.
For Meeting of 7/11/2024
Resolution

TITLE: Resolution No. PZ-240711-20: Considering recommended approval of a rezoning from A-1 Agricultural District to Medium Density Residential (R-2) District and Transitional Commercial (C-1) District on Parcels 231/00021-632-000 and 231/00072-330-000.

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: See Item 6.a. above.

FUNDING SOURCE:

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. Recommended approval of Resolution No. PZ-240711-20, regarding recommended approval of the rezoning request.
2. Recommended approval of Resolution No. PZ-240711-20, regarding recommended approval of the rezoning request, subject to Code clarification items being addressed.
3. Recommended denial of Resolution No. PZ-240711-20, regarding recommended approval of the rezoning request
4. Table pending additional information.

Staff recommends approval of Resolution No. PZ-240711-20.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RES. NO. PZ-240711-20

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-240711-20

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST FOR
REZONING FROM THE AGRICULTURAL (A-1) DISTRICT TO THE LIGHT
INDUSTRIAL (M-1) DISTRICT, ON PROPERTY DESCRIBED AS PARCEL ID
170/00001-001-000, PARCEL ID 170/00001-002-000 AND PARCEL ID 170/00001-003-
000.

WHEREAS, on July 11, 2024, the Planning and Zoning Commission held a Public
Hearing to consider a request to rezone property from the Agricultural (A-1) District to the
Medium Density Residential (R-2) District and Transitional Commercial (C-1) District, on
property described as follows:

Parcel 231/00021-632-000

-EX PARCEL 2020-59 BK 17833 PG 898- & -EX S 336F N 1791F E 259.03F- & -EX S
735F- 3 832F NE ¼ LESS RD SEC 25-80-23

Parcel 231/00072-330-000

-EX PARCEL 2020-57 BK 17833 PG 898- & -EX PARCEL 2020-58 BK 17833 PAG 898-
& -EX S 735F- & -EX E 832F- NE ¼ SEC 25-80-23

WHEREAS, the Planning and Zoning Commission has made the following findings:

1. That the rezoning request will create consistency between the City's Future Land
Use Map and Official Zoning Map.
2. That the change in zoning will maintain a consistency with adjacent land uses and
provide a transition for adjacent zoning.
3. That the zoning change will not negatively impact the character of the
neighborhood.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of
the City of Bondurant, Iowa, recommends City Council approval of the rezoning request
from Agricultural (A-1) District to Medium Density Residential (R-2) District and
Transitional Commercial (C-1) District on Parcel ID 231/00021-632-000 and Parcel ID
231/00072-330-000

Moved by _____ Seconded by _____ to adopt.

ATTEST: I, Isaac J. Pezley, Community Development Director, hereby certify that at a
meeting of the Planning and Zoning Commission held on July 11, 2024, among other
proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Mains				
Brostrom				
Clayton				
Pitt				
Torres				
Vore				

Karen Keeran, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.c.
For Meeting of 7/11/2024
Resolution

TITLE: RESOLUTION NO. PZ-240711-21: Considering recommended approval of the site plan at 2502 Robinson Avenue NE.

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City is in receipt of a site plan for review by the Planning & Zoning Commission and City Council for the existing 1.18-acre parcel of land accessed from Robinson Avenue NE and Alexander Parkway NE. The site plan applicant is Aviation Mining Solutions. The site plan was prepared by Pelds Design Services. The applicants are proposing a 5,671 square foot building, and outdoor storage area. This property is zoned as being within the City's Medium Industrial (M-2) District. The use of the property will be manufacture of airplane and or lavatory parts which is an allowable use under Section 178.14.1. The property in question is outlined below in red.



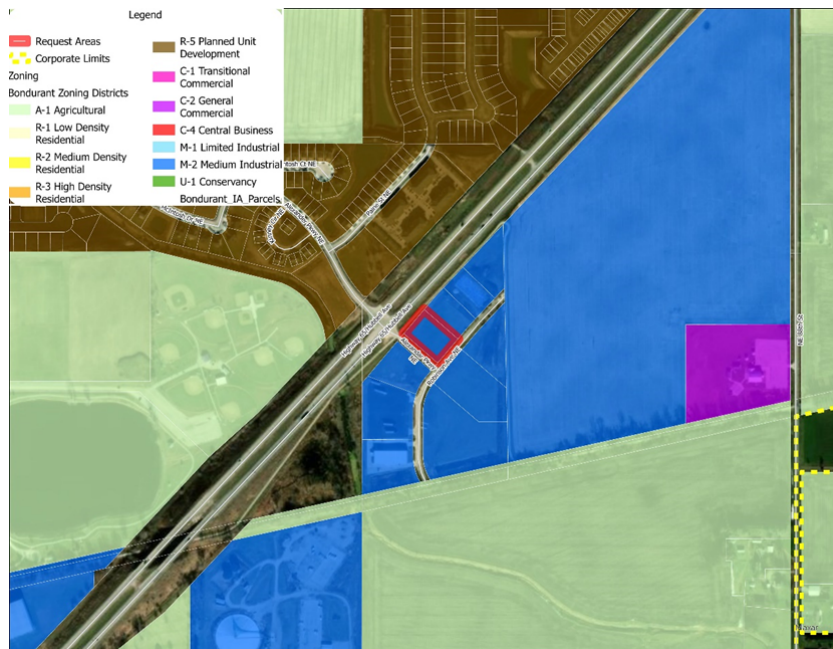
When the Planning & Zoning Commission and City Council review site plans, they review for consistency with the following documents: Comprehensive Plan; Zoning

Code; and Comments from City Officials.

Consistency with the City's Comprehensive Plan: A M-2 development at this location is consistent with the 2022 Comprehensive Plan which guides for Industrial at this location.



Consistency with the City's Zoning Code: Below are notes detailing how the Zoning Code is met for this request or what additional information is needed to ensure the Code will be met for this development.



General Use & Bulk Standards

- The site plan labels the required setbacks at this location - a 30' front yard setback along Robinson Avenue NE and Alexander Parkway NE, a 40' rear yard setback along the northern property line and 20' side yard setback along the northeastern property line.
- The site plan shows outdoor storage area. Staff has requested additional information regarding square footage of the proposed outdoor storage area. Surface materials for the outdoor storage area will require to be updated.

Parking/Drive Areas

- Access to the site is proposed from Robinson Avenue NE and Alexander Parkway NE. Public Works and Engineering are still reviewing if this is acceptable.
- The site plan shows 5,671 square feet of warehouse space. The site plan shows 6 parking spaces, 1 being a handicap parking stall. The site plan states the site requires 1 space per 200 square feet of gross floor area. Based on the use of the property, staff believes the site requires 1 parking space per employee. Staff has requested additional information to clear up this issue.
- The site plan shows the parking/drive/loading area as being at least 10' from right-of-way lines.
- The site plan shows all parking/drive/loading areas as 6" P.C.C. which meets code requirements.

- The site plan shows parking spaces will be provided with raised curbing or equivalent, as is required by Section 177.10.8. on page 11 of the submitted site plan.

Stormwater, Utilities & Natural Features

- A stormwater management report has been submitted for review by the City Engineer. The City Engineer is still reviewing the applicant's comments and has not provided staff with any comments.
- This property is located within the Urban Service Area Sanitary Sewer Connection Fee District. An invoice has been sent to the applicant
- This property is located within the Park Side Water Connection Fee District. An invoice has been sent to the applicant.
- This site is not situated within FEMA's 100-year floodplain.
- This site is not situated within the City's Stream Buffer Ordinance area.

ARCHITECTURAL STANDARDS

- Architectural elevations have not been submitted to staff at this time.

Other Site Plan Features

- A landscaping plan has been submitted to staff and meets the requirements of Section 182.

Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. Public Works - reviewed and no comments have been received at this time.
2. Engineering – reviewed and no comments have been received at this time.

Fire Department - reviewed and no comments have been received at this time

FUNDING SOURCE:

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. Recommended approval of RESOLUTION NO. PZ-240711-21.

2. Recommended approval of RESOLUTION NO. PZ-240711-21, subject to certain Zoning Code clarification items being addressed.
3. Recommended denial of RESOLUTION NO. PZ-240711-21.
4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. Site Plan
2. Resolution No. PZ-240711-21
3. Architectural Design Elevation

GENERAL NOTES

- THE CITY OF BONDURANT MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- ALL PROPOSED MATERIALS AND STRUCTURES SHALL BE APPROVED BY THE CITY OF BONDURANT AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST SUDAS STANDARDS. ALL PROVIDED SUDAS DETAILS ARE FOR REFERENCE ONLY AND THE LATEST VERSIONS SHALL BE IMPLEMENTED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- PELDS DESIGN SERVICES SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- IF A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNER'S REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF BONDURANT.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES OR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ALL CONSTRUCTION WITHIN THE PUBLIC R.O.W/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF BONDURANT.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BONDURANT TO SCHEDULE ANY REQUIRED INSPECTIONS AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS
- IN THE EVENT OF ANY CONFLICTING NOTES BETWEEN THE COVER SHEET AND ALL OTHER SHEETS, THE NOTES ON THE COVER SHEET SHALL SUPERCEDE ALL OTHERS
- IN THE EVENT OF ANY CONFLICTING INFORMATION BETWEEN THE LABEL, ELECTRONIC CAD FILE, AND THE ELECTRONIC SURFACE, THE DESIGN ENGINEER SHALL BE CONTACTED FOR CLARIFICATION

SURVEY NOTES

- SURVEY WORK WAS COMPLETED BY PELDS DESIGN SERVICES IN APRIL 2024. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

STAKING NOTES

- IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
- IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
- STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

DEMO NOTES

- SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
- PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
- PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
- PROPERLY DISCONNECT ALL PUBLIC AND PRIVATE UTILITIES, AS NECESSARY.
- COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE AND PROPERLY DISPOSE OF SIDEWALKS, STEPS, DRIVEWAYS, AND STRUCTURES (INCLUDING BOTH ABOVE GROUND AND BELOW GROUND ELEMENTS).
- COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE FUEL TANKS, SEPTIC TANKS, CISTERNS, AND ANY OTHER UNDERGROUND FACILITIES; AND TO PROPERLY DISPOSE OF ANY LIQUIDS OR PRODUCTS CONTAINED WITHIN THESE ITEMS.
- PLACE BACKFILL MATERIAL IN HOLES AND DEPRESSIONS, GRADE THE SITE, AND ESTABLISH GROUND COVER.
- PROTECT EXISTING FIRE HYDRANTS, STREET LIGHTS, TRAFFIC SIGNALS, UTILITY POLES, FIRE ALARM BOXES, WIRE CABLES, UNDERGROUND UTILITIES, AND OTHER APPURTENANCES IN THE VICINITY OF THE DEMOLITION SITE
- COMPLY WITH NOISE POLLUTION REQUIREMENTS AND ANY WORKING HOUR RESTRICTIONS OF THE JURISDICTION.
- MAINTAIN OR RE-ESTABLISH ALL TILES, ROADWAY SUBDRAINS, CULVERTS, OR OTHER DRAINAGE FACILITIES NOT IDENTIFIED IN THE CONTRACT DOCUMENTS FOR REMOVAL.
- IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR EACH SITE PRIOR TO INITIATING DEMOLITION BY PLACING ALL REQUIRED DEVICES; INCLUDE MEASURES TO PREVENT TRACKING OF MUD ONTO ADJACENT STREETS OR ALLEYS.
- COMPLY WITH ALL APPLICABLE AIR POLLUTION REQUIREMENTS OF THE JURISDICTION. USE WATER OR APPROPRIATE CHEMICALS FOR CONTROL OF DUST IN THE DEMOLITION AREA, ON HAULING EQUIPMENT, ON ADJACENT ROADWAYS, AND WHEN GRADING THE SITE.
- TAKE STEPS TO PREVENT THE GENERATION OF LITTER DURING DEMOLITION AND COLLECT ALL LITTER FROM THE DEMOLITION AREA AT THE END OF EACH WORKING DAY. LOAD TRUCKS TO PREVENT LEAKAGE OR BLOWING OF DEBRIS.
- REMOVE ALL CONCRETE, ASPHALT, OR MASONRY SLABS AND APPURTENANCES.
- REMOVE AND DISPOSE OF ALL BRUSH, SHRUBS, TREES, LOGS, DOWNED TIMBER, AND OTHER YARD WASTE ON THE SITE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. DO NOT MIX WITH DEMOLITION MATERIAL. REMOVE STUMPS TO A MINIMUM OF 2 FEET BELOW FINISH GRADE. PROTECT ANY TREES OR OTHER VEGETATION NOT DESIGNATED FOR REMOVAL BY PLACING A FENCE AT THE DRIP LINE ENCOMPASSING THE ENTIRE TREE AND KEEPING ALL OPERATIONS OUTSIDE OF THE FENCED IN AREA, INCLUDING STORAGE OF EQUIPMENT OR MATERIALS. AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY, REPLACE ANY TREES THAT ARE DESIGNATED FOR PROTECTION BUT ARE DAMAGED BEYOND TREATMENT. THE ENGINEER WILL DETERMINE SIZE AND SPECIES OF THE REPLACEMENT TREE.
- SAW-CUT ALL HARD SURFACING AT LOCATION OF REMOVAL LIMITS.
- WHERE SELECTIVE DEMOLITION IS SHOWN AT PAVED AREAS, DEMOLISH THE EXISTING PAVING BACK TO AN EXISTING CONTROL JOINT NEAR THE LOCATION SHOWN.

WETLAND NOTES

- PELDS DESIGN SERVICES DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

DISCLAIMER

- THIS DRAWING IS BEING MADE AVAILABLE BY PELDS DESIGN SERVICES (P.D.S.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH P.D.S.'S AGREEMENT FOR PROFESSIONAL SERVICES. P.D.S. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.
- P.D.S. DISCLAIMS ANY AND ALL LIABILITY OR RESPONSIBILITY FOR INFORMATION THAT DOES NOT BEAR THE ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL IN CHARGE.

CIVIL ENGINEERING NOTES
FOR
PEMB OFFICE & WAREHOUSE
BONDURANT INDUSTRIAL PARK, LOT 4
BONDURANT, IOWA

UTILITY NOTES

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- PIPE LENGTHS CALLED OUT ON PLANS DO NOT INCLUDE FLARED END SECTION, WHERE APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RELOCATE EXISTING UTILITIES AS NECESSARY, SHOWN OR NOT SHOWN.
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY ON ALL SIZE, DEPTHS, AND MATERIALS OF ALL PROPOSED UTILITIES.
- THE CONTRACTOR MUST PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES IF REQUIRED BY CITY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
- CONTRACTOR IS TO COMPLY WITH THE LATEST SUDAS SPECIFICATIONS FOR MAINTENANCE, INSTALLATION, AND TESTING FOR CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- ALL STRUCTURE SIZES CALLED OUT ON PLANS ARE MINIMUM INSIDE WALL DIMENSIONS.
- ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
- ALL STRUCTURES CALLED OUT AS "MODIFIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURE STABILITY. MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPER STRUCTURES. ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID

ELECTRICAL SERVICE NOTES

- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS
- TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

SANITARY SERVICE NOTES

- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2% FOR A 4" PIPE AND 1% FOR A 6" PIPE. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATER MAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.

STORM WATER SERVICE NOTES

- ALL STORM SEWER IN THE ROW SHALL BE RCP (CLASS III RCP), UNLESS OTHERWISE SPECIFIED.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL SUMP SERVICE LINES SHALL HAVE TRACE WIRE

WATER SERVICE NOTES

- WATER SERVICE SHALL BE TYPE K COPPER, DIP OR HDPE, DEPENDING ON SIZE AND JURISDICTIONAL REQUIREMENTS. IF CONTAMINATED OR "HOT" SOILS, ENSURE APPROPRIATE PIPE IS BEING UTILIZED. SIZE OF WATER MAIN AS SHOWN ON PLANS.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION.
- ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BENDS, SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER UNLESS NOTED OTHERWISE.

EXISTING UTILITIES NOTE

- THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION: IOWA ONE-CALL (1-800-292-8989).

UTILITY CONFLICT NOTES

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION THAT ARE EITHER CALLED OUT ON THE PLANS OR NOT CALLED OUT.
- CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
- FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY PELDS DESIGN SERVICES PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

SPECIFICATIONS NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF BONDURANT SUPPLEMENTAL SPECIFICATIONS.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND THE CITY OF BONDURANT REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT, THE CITY OF BONDURANT STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF THE ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.

REQUIRED AS-BUILT NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO, IF REQUIRED BY CITY.
- CONTRACTOR SHALL CONTACT PELDS DESIGN SERVICES TO PERFORM SAID AS-BUILT SURVEYS.
- IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

PAVING NOTES

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL ROW AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF BONDURANT SPECIFICATIONS AND THE LATEST VERSION OF SUDAS.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- DETECTABLE WARNING PANEL(S) CALLED OUT ON PLANS SHALL BE PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- SIDEWALKS SHALL HAVE EXPANSION JOINTS AT 100 FOOT INTERVALS AS REQUIRED BY CITY CODE
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

PAVEMENT SAWCUT NOTES

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L-1' OR 'L-2' JOINTS AND HAVE STEEL. INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' OR TYPE 'K' JOINTS. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

SOIL NOTES

- STRIP AND STOCKPILE THE TOP 8 INCHES OF SOIL ON ALL DISTURBED AREAS. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING.
- SOD REQUIREMENT PER SUDAS: IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED, A SODBED SHOULD BE CONSTRUCTED BY SPREADING A MINIMUM OF 6 INCHES OF TOPSOIL PRIOR TO SODDING. DEEPER TOPSOIL DEPTHS (8 TO 12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- PERMANENT SEED REQUIREMENT PER SUDAS: IN ORDER TO PROVIDE AN ADEQUATE GROWING MEDIUM, A MINIMUM OF 8 INCHES OF TOPSOIL SHOULD BE PLACED OVER THE DISTURBED AREA PRIOR TO SEEDING. DEEPER TOPSOIL DEPTHS (8-12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
- TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL SOILS INFORMATION INCLUDING BUT NOT LIMITED TO SUBGRADE INFORMATION, FOOTING DESIGN, AND ANY POSSIBLE OVER EXCAVATION DUE TO POOR SOILS. PAVEMENT SECTIONS ON THE PLANS GOVERN OVER PAVEMENT THICKNESS IN THE SOILS REPORT.

GRADING NOTES

- AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 12 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RE-COMPACTED WITH ON-SITE FILL MATERIALS.
- ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
- FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FT, AND PAVED AREAS SHALL BE WITHIN 0.10 FT OF THE PROPOSED GRADES SHOWN ON THE PLAN
- MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
- THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
- MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.

LANDSCAPING NOTES

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SEED OR SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES. SEED ALL DISTURBED AREAS OFF-SITE
- STAKE SOD ON ALL SLOPES 4:1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH OR BRICK CHIPS OR WASHED STONE AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- PROVIDE 6MIL MINIMUM PLASTIC BELOW ROCK/BRICK.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- CONTRACTOR SHALL DESIGN AND PROVIDE IRRIGATION SYSTEM. COORDINATION WITH ARCHITECT REQUIRED.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.



PELDS Design Services

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PEMB OFFICE & WAREHOUSE
BONDURANT INDUSTRIAL PARK, LOT 4
BONDURANT, IOWA

PRELIMINARY

DATE: 06.06.2024

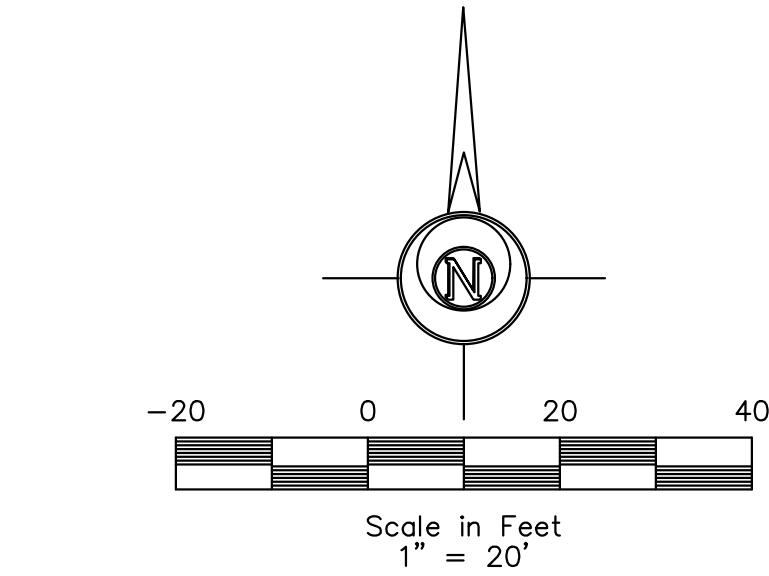
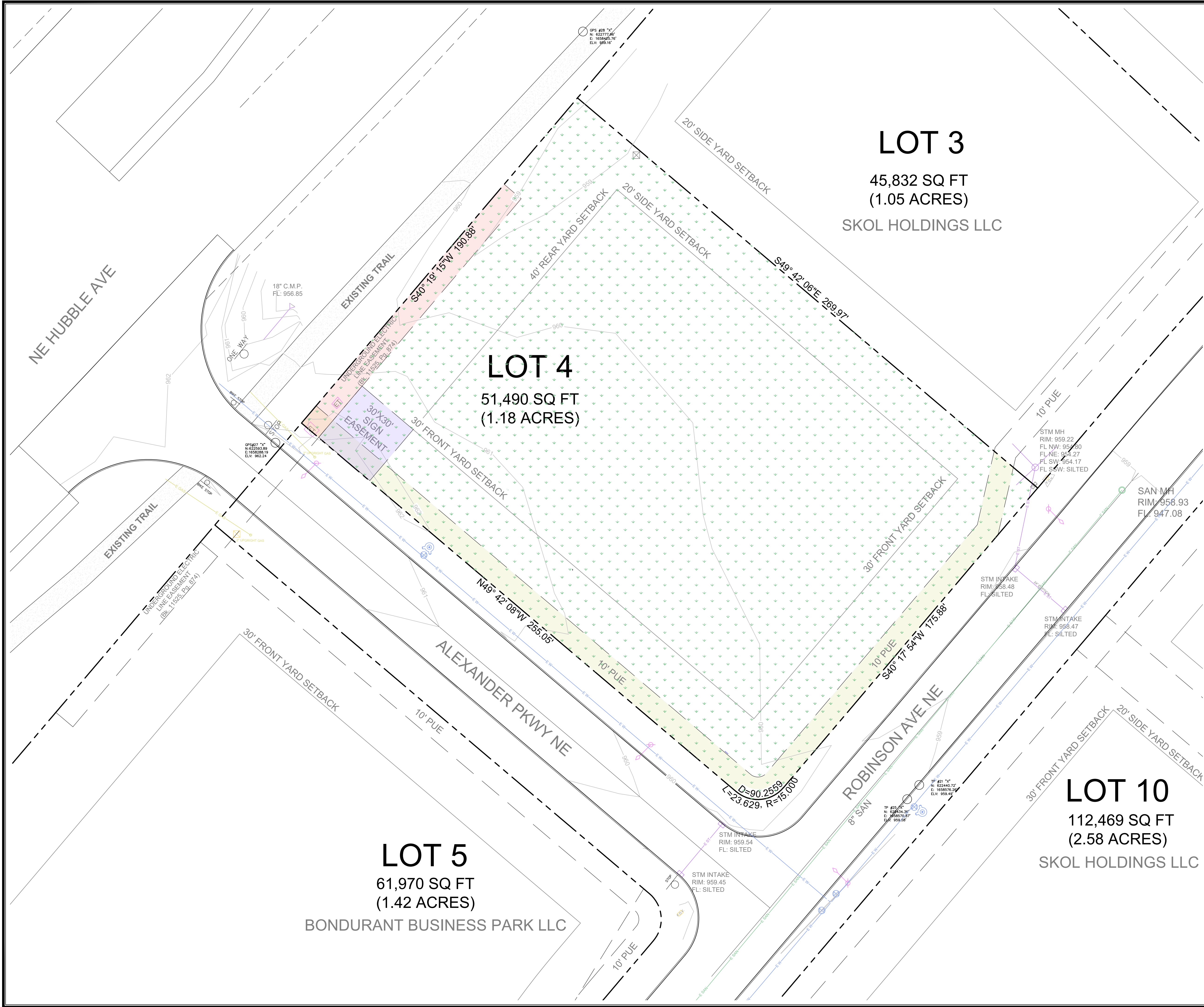
BY: L. BURKE

SCALE:

DATE: 24-023

PROJECT: 2024 Projects\24-023 BIP Lot 4 Site & Building Plans\Engineering\Site Plans\Sheet Set

C-002 - NOTE SHEET



- EXISTING P.U.E.
- EXISTING SIGN EASEMENT
- EXISTING UNDERGROUND ELECTRIC EASEMENT
- EXISTING SOD/GRASS LIMITS
- EXISTING TRAIL

LEGEND:

- | | | | |
|---------------|-----------------------------|---|----------------------------|
| +/- | MORE OR LESS | ⊙ | ELEC. MANHOLE |
| F.F. | FINISHED FLOOR | ⊙ | SANITARY SEWER MANHOLE |
| 123.45G | GUTTER ELEVATION | ⊙ | STORM SEWER MANHOLE |
| 123.45TC | TOP OF CURB ELEVATION | ⊙ | TRAFFIC MANHOLE |
| 123.45/123.45 | EXISTING/PROPOSED ELEVATION | ⊙ | CLEANOUT |
| FL | FLOWLINE ELEVATION | ⊙ | DOWNSPOUT |
| ⊙ | CONTROL POINT | ⊙ | AREA INTAKE |
| ⊙ | CALCULATED CORNER | ⊙ | SINGLE INTAKE |
| ● | FOUND CORNER | ⊙ | THROAT INTAKE |
| ⊙ | CALCULATED SECTION CORNER | ⊙ | FLARED END SECTION |
| ⊙ | FOUND SECTION CORNER | ⊙ | GAS VALVE |
| ⊙ | PARKING SPACE | ⊙ | FIRE HYDRANT |
| ⊙ | SIGN | ⊙ | WATER VALVE |
| ⊙ | STREET LIGHT | ⊙ | P XX PROPOSED UTILITY LINE |
| ⊙ | POWER POLE | ⊙ | E XX EXISTING UTILITY LINE |
| ⊙ | LIGHT POLE | ⊙ | CATV CABLE TELEVISION |
| ⊙ | AREA LIGHT | ⊙ | FO FIBER OPTIC |
| ⊙ | GUY ANCHOR | ⊙ | GAS LINE |
| ⊙ | UTILITY PEDESTAL | ⊙ | OHE OVERHEAD ELEC. |
| ⊙ | ELEC. TRANSFORMER | ⊙ | OHT OVERHEAD TEL. |
| ⊙ | ELEC. METER | ⊙ | SS SANITARY SEWER |
| ⊙ | ELEC. BOX | ⊙ | ST STORM SEWER |
| ⊙ | ELEC. VAULT | ⊙ | UGE UNDERGROUND ELEC. |
| ⊙ | FIBER OPTIC VAULT | ⊙ | UGT UNDERGROUND TEL. |
| ⊙ | GAS METER | ⊙ | W WATER |
| ⊙ | CABLE TV JUNCTION BOX | ⊙ | — FENCE LINE |
| ⊙ | WATER METER | | |

P
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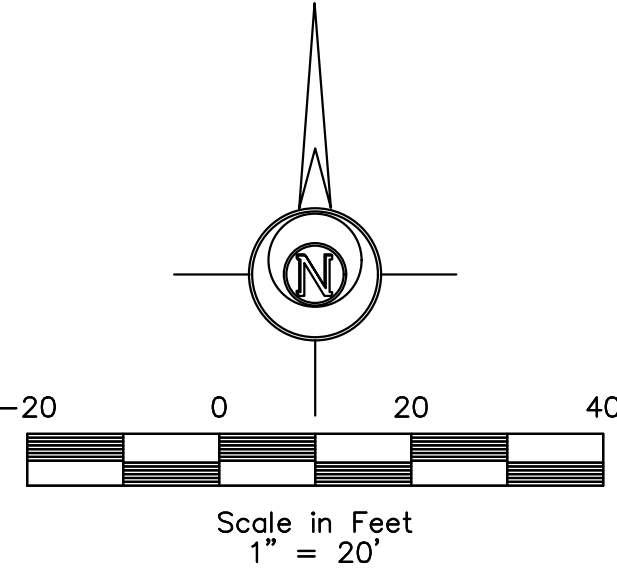
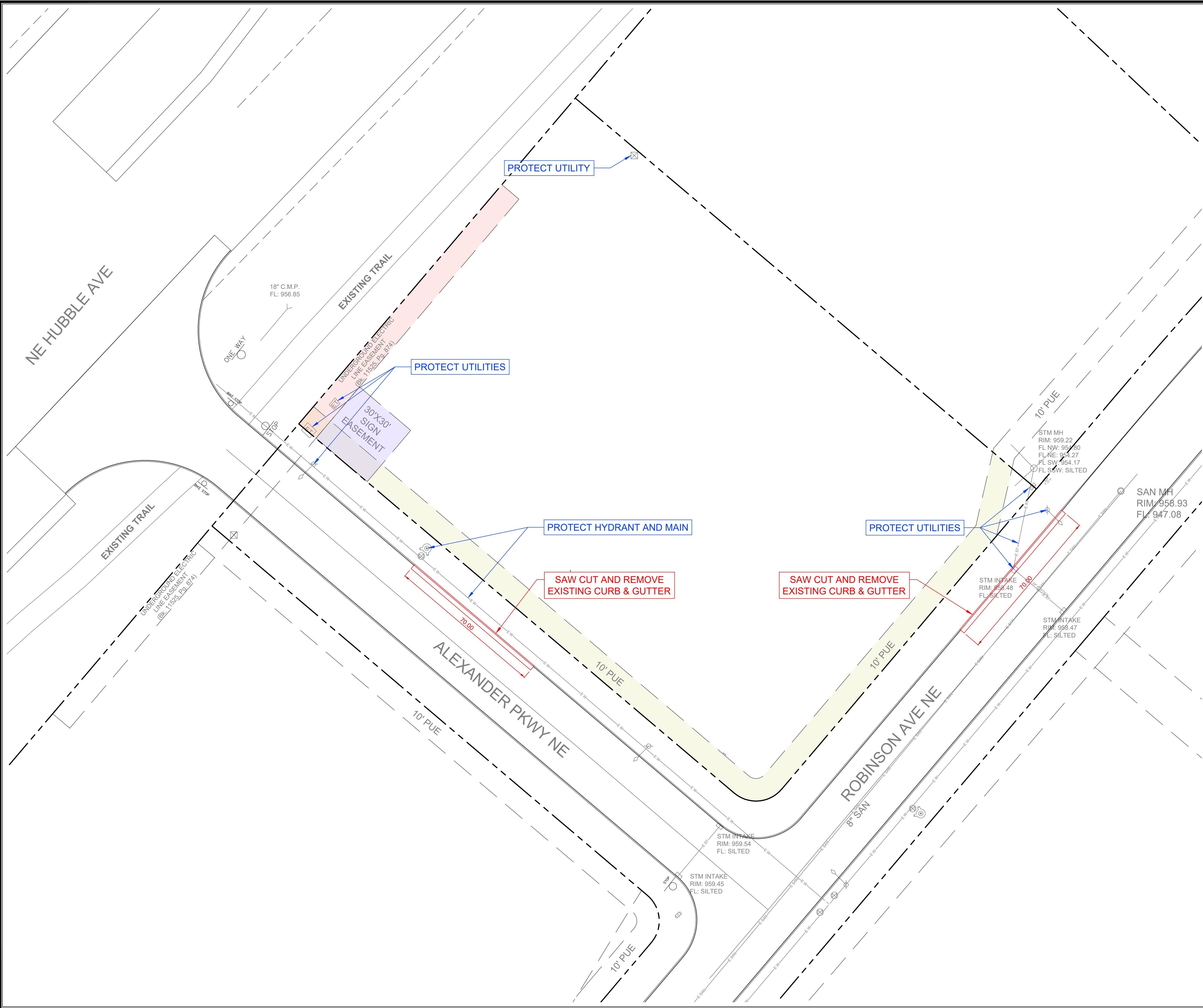
TITLE:
**PEMB OFFICE & WAREHOUSE
BONDURANT INDUSTRIAL PARK, LOT 4
BONDURANT, IOWA**

BENCHMARK: REVISIONS:
PRELIMINARY

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FILE PATH:
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C-003 - TOPO SHEET



- EXISTING P.U.E.
- EXISTING SIGN EASEMENT
- EXISTING UNDERGROUND ELECTRIC EASEMENT

LEGEND:

+/-	MORE OR LESS	⊙	ELEC. MANHOLE
F.F.	FINISHED FLOOR	⊙	SANITARY SEWER MANHOLE
123.45G	GUTTER ELEVATION	⊙	STORM SEWER MANHOLE
123.45TC	TOP OF CURB ELEVATION	⊙	TRAFFIC MANHOLE
123.45/123.45	EXISTING/PROPOSED ELEVATION	⊙	CLEANOUT
FL	FLOWLINE ELEVATION	⊙	DOWNSPOUT
⊙	CONTROL POINT	⊙	AREA INTAKE
⊙	CALCULATED CORNER	⊙	SINGLE INTAKE
●	FOUND CORNER	⊙	THROAT INTAKE
⊙	CALCULATED SECTION CORNER	⊙	FLARED END SECTION
⊙	FOUND SECTION CORNER	⊙	GAS VALVE
⊙	PARKING SPACE	⊙	FIRE HYDRANT
⊙	SIGN	⊙	WATER VALVE
⊙	STREET LIGHT	⊙	P XX — PROPOSED UTILITY LINE
⊙	POWER POLE	⊙	E XX — EXISTING UTILITY LINE
⊙	LIGHT POLE	⊙	CATV — CABLE TELEVISION
⊙	AREA LIGHT	⊙	FO — FIBER OPTIC
⊙	GUY ANCHOR	⊙	GAS — GAS LINE
⊙	UTILITY PEDESTAL	⊙	OHE — OVERHEAD ELEC.
⊙	ELEC. TRANSFORMER	⊙	OHT — OVERHEAD TEL.
⊙	ELEC. METER	⊙	SAN — SANITARY SEWER
⊙	ELEC. BOX	⊙	ST — STORM SEWER
⊙	ELEC. VAULT	⊙	UGE — UNDERGROUND ELEC.
⊙	FIBER OPTIC VAULT	⊙	UGT — UNDERGROUND TEL.
⊙	GAS METER	⊙	W — WATER
⊙	CABLE TV JUNCTION BOX	⊙	— FENCE LINE
⊙	WATER METER		

Architecture | Engineering | Surveying
2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515.265.8196

TITLE:
**PEMB OFFICE & WAREHOUSE
BONDURANT INDUSTRIAL PARK, LOT 4
BONDURANT, IOWA**

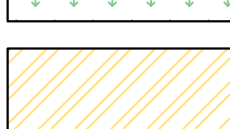
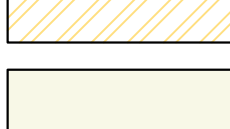
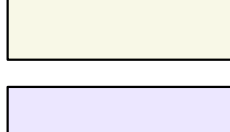
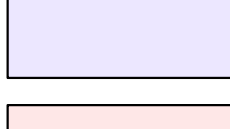
BENCHMARK:
DATE:
DRAWN BY:
SCALE:
1"=20'

REVISIONS:
DATE:
24-023

FILE PATH:
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PRELIMINARY
C-100 - DEMO SHEET

ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF BONDURANT APPROVAL AND SPECIFICATIONS

	PROPOSED SIDEWALK 558 SQ. FT.
	PROPOSED 6" P.C.C. 19,009 SQ. FT.
	PROPOSED SEED/SOD LIMITS 27,208 SQ. FT.
	PROPOSED BUILDING 6,000 SQ. FT.
	EXISTING P.U.E.
	EXISTING SIGN EASEMENT
	EXISTING UNDERGROUND ELECTRIC EASEMENT

+/-	MORE OR LESS	①	ELEC. MANHOLE
F.F.	FINISHED FLOOR	②	SANITARY SEWER MANHOLE
123.45C	GUTTER ELEVATION	③	STORM SEWER MANHOLE
123.45TC	TOP OF CURB ELEVATION	④	TRAFFIC MANHOLE
123.45/123.45	EXISTING/ PROPOSED ELEVATION	⑤	CLEANOUT
FL	FLOWLINE ELEVATION	⑥	DOWNSPOUT
⊙	CONTROL POINT	⑦	AREA INTAKE
●	CALCULATED CORNER	⑧	SINGLE INTAKE
△	FOUND CORNER	⑨	THROAT INTAKE
▲	CALCULATED SECTION CORNER	⑩	FLARED END SECTION
▷	FOUND SECTION CORNER	⑪	GAS VALVE
▷	PARKING SPACE	⑫	FIRE HYDRANT
—	SIGN	⑬	WATER VALVE
⊙	STREET LIGHT	— P XX	PROPOSED UTILITY LINE
⊙	POWER POLE	— E XX	EXISTING UTILITY LINE
⊙	LIGHT POLE	— CATV	CABLE TELEVISION
⊙	AREA LIGHT	— FO	FIBER OPTIC
⊙	GUY ANCHOR	— GAS	GAS LINE
⊙	UTILITY PEDESTAL	— OHE	OVERHEAD ELEC.
ET	ELEC. TRANSFORMER	— OHT	OVERHEAD TEL.
EM	ELEC. METER	— SAN	SANITARY SEWER
EB	ELEC. BOX	— ST	STORM SEWER
EV	ELEC. VAULT	— UGE	UNDERGROUND ELEC.
FOV	FIBER OPTIC VAULT	— UGT	UNDERGROUND TEL.
GM	GAS METER	— W	WATER
TV	CABLE TV JUNCTION BOX	— — — — —	FENCE LINE
WM	WATER METER		



TITLE	PEMB OFFICE & WAREHOUSE BONDURANT INDUSTRIAL PARK, LOT 4 BONDURANT, IOWA
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BENCHMARK:			REVISIONS: PRELIMINARY		
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FILE PATH	J:\2024 Projects\24-023 BIP Lot 4 Site & Building Plans\Engineering\Site Plan\Sheet Set	C-101 - LAYOUT SHEET
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NE HUBBLE AVE

LOT 3

45,832 SQ FT
(1.05 ACRES)

SKOL HOLDINGS LLC

LOT 4

51,490 SQ FT
(1.18 ACRES)

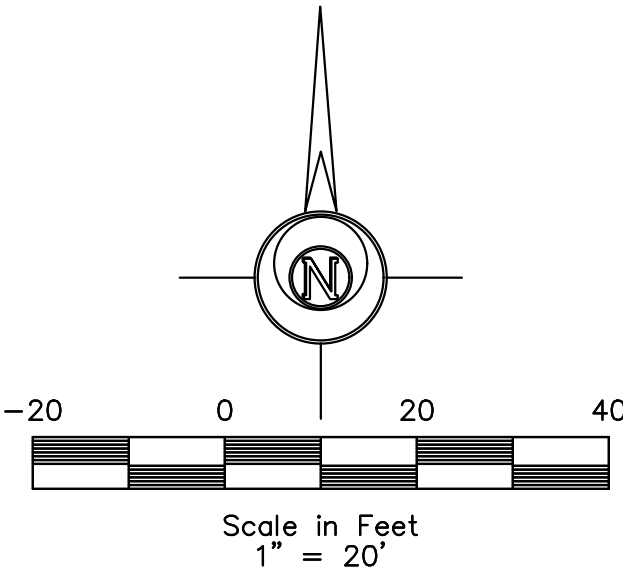
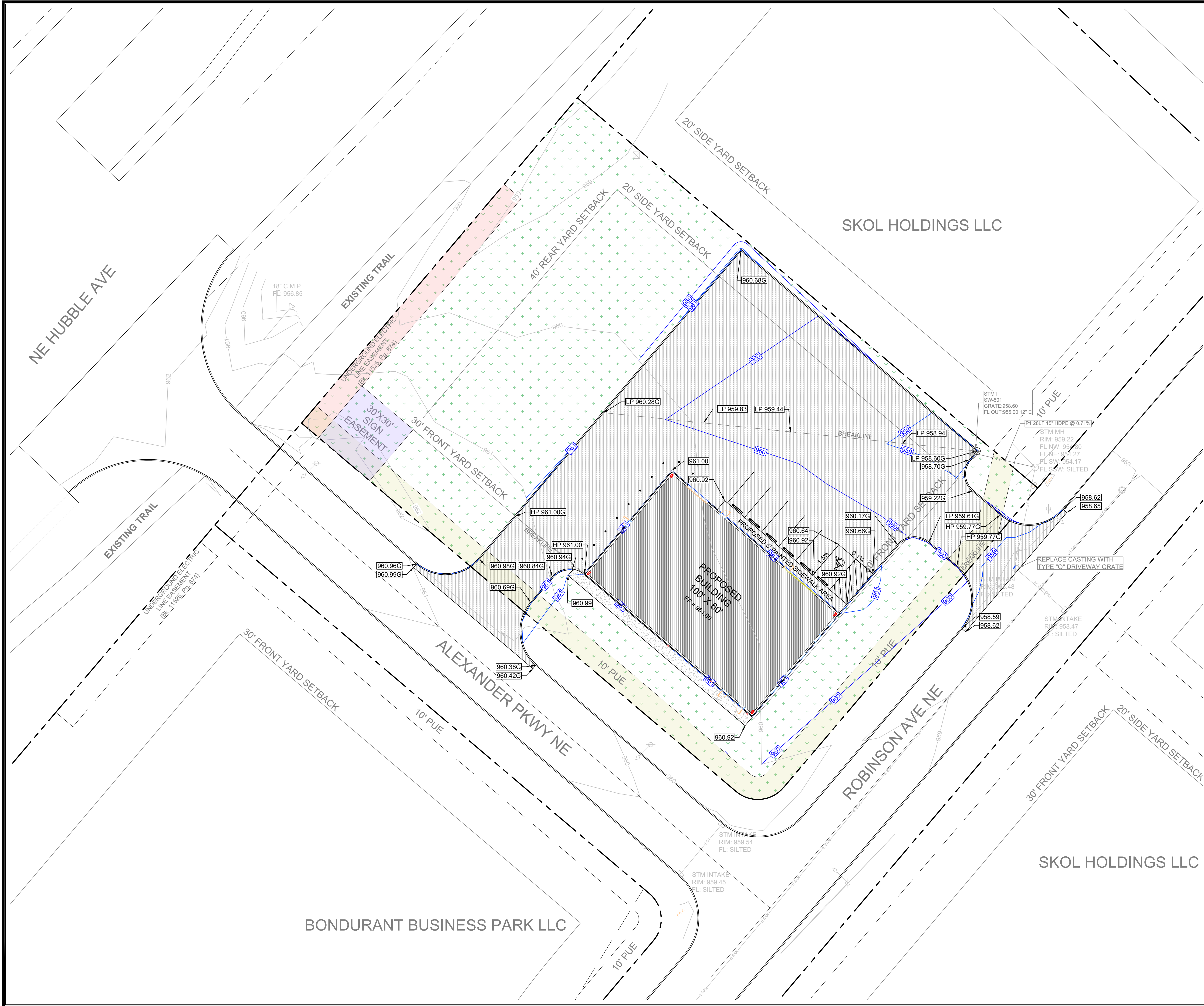
LOT 5

61,970 SQ FT
(1.42 ACRES)

BONDURANT BUSINESS PARK LLC

LOT 10

112,469 SQ FT
(2.58 ACRES)
SKOL HOLDINGS LLC



- PROPOSED SIDEWALK
558 SQ. FT.
- PROPOSED 6" P.C.C.
19,009 SQ. FT.
- PROPOSED SEED/SOD LIMITS
27,208 SQ. FT.
- PROPOSED BUILDING
6,000 SQ. FT.
- EXISTING P.U.E.
- EXISTING SIGN EASEMENT
- EXISTING UNDERGROUND ELECTRIC
EASEMENT

LEGEND:

- | | | | |
|---------------|-----------------------------|---|------------------------------|
| +/- | MORE OR LESS | ⊙ | ELEC. MANHOLE |
| F.F. | FINISHED FLOOR | ⊙ | SANITARY SEWER MANHOLE |
| 123.45G | GUTTER ELEVATION | ⊙ | STORM SEWER MANHOLE |
| 123.45TC | TOP OF CURB ELEVATION | ⊙ | TRAFFIC MANHOLE |
| 123.45/123.45 | EXISTING/PROPOSED ELEVATION | ⊙ | CLEANOUT |
| FL | FLOWLINE ELEVATION | ⊙ | DOWNSPOUT |
| ⊙ | CONTROL POINT | ⊙ | AREA INTAKE |
| ⊙ | CALCULATED CORNER | ⊙ | SINGLE INTAKE |
| ● | FOUND CORNER | ⊙ | THROAT INTAKE |
| ⊙ | CALCULATED SECTION CORNER | ⊙ | FLARED END SECTION |
| ⊙ | FOUND SECTION CORNER | ⊙ | GAS VALVE |
| ⊙ | PARKING SPACE | ⊙ | FIRE HYDRANT |
| ⊙ | SIGN | ⊙ | WATER VALVE |
| ⊙ | STREET LIGHT | ⊙ | P XX — PROPOSED UTILITY LINE |
| ⊙ | POWER POLE | ⊙ | E XX — EXISTING UTILITY LINE |
| ⊙ | LIGHT POLE | ⊙ | CATV — CABLE TELEVISION |
| ⊙ | AREA LIGHT | ⊙ | FO — FIBER OPTIC |
| ⊙ | GUY ANCHOR | ⊙ | GAS — GAS LINE |
| ⊙ | UTILITY PEDESTAL | ⊙ | OHE — OVERHEAD ELEC. |
| ⊙ | ELEC. TRANSFORMER | ⊙ | OHT — OVERHEAD TEL. |
| ⊙ | ELEC. METER | ⊙ | SAN — SANITARY SEWER |
| ⊙ | ELEC. BOX | ⊙ | ST — STORM SEWER |
| ⊙ | ELEC. VAULT | ⊙ | UGE — UNDERGROUND ELEC. |
| ⊙ | FIBER OPTIC VAULT | ⊙ | UGT — UNDERGROUND TEL. |
| ⊙ | GAS METER | ⊙ | W — WATER |
| ⊙ | CABLE TV JUNCTION BOX | ⊙ | — FENCE LINE |
| ⊙ | WATER METER | | |

P**ELDS** DESIGN SERVICES

Architecture | Engineering | Surveying
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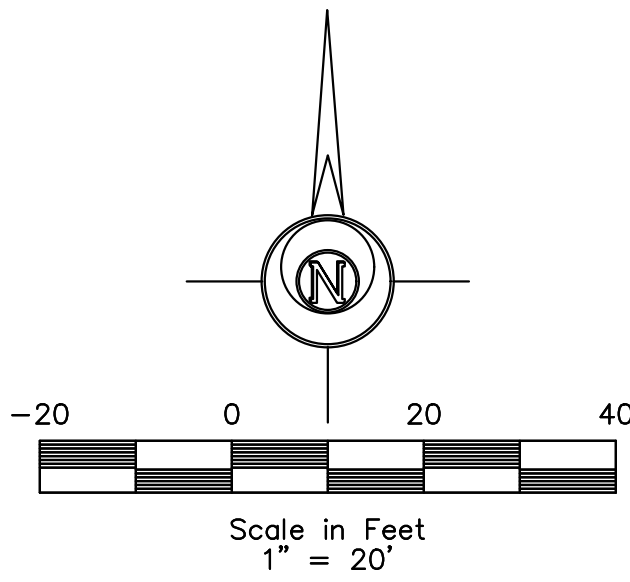
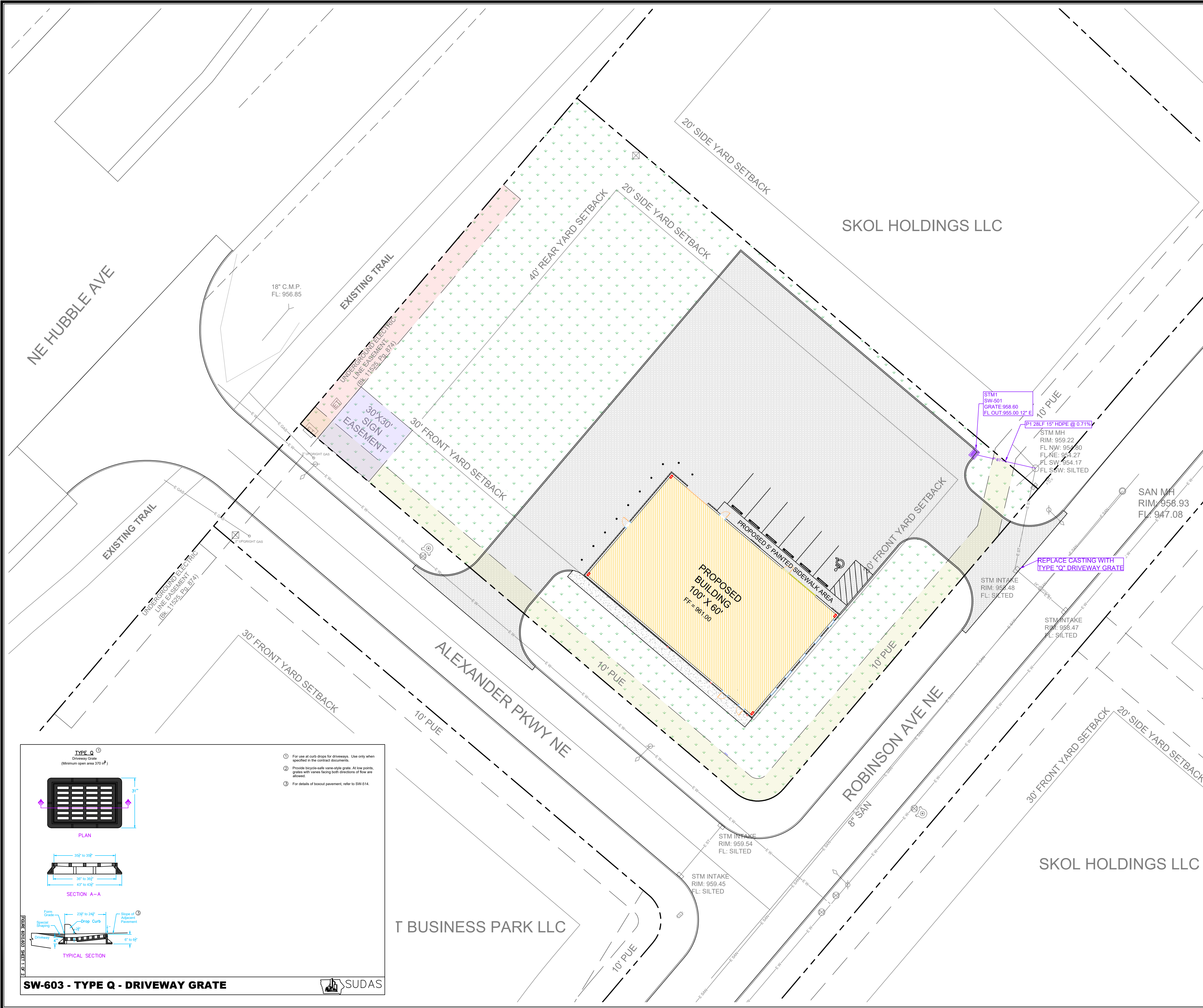
TITLE:
**PEMB OFFICE & WAREHOUSE
BONDURANT INDUSTRIAL PARK, LOT 4
BONDURANT, IOWA**

REVISIONS:
PRELIMINARY

COPYRIGHT DATE: ----	DRAWN BY: L. BURKE	SCALE: 1"=20'	LATEST REVISION: 06.06.2024	DRAWING NO.: 24-023
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FILE PATH:
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C-201 - GRADING SHEET



- PROPOSED SIDEWALK
558 SQ. FT.
- PROPOSED 6" P.C.C.
19,009 SQ. FT.
- PROPOSED SEED/SOD LIMITS
27,208 SQ. FT.
- PROPOSED BUILDING
6,000 SQ. FT.
- EXISTING P.U.E.
- EXISTING SIGN EASEMENT
- EXISTING UNDERGROUND ELECTRIC
EASEMENT

LEGEND:

- | | | | |
|---------------|-----------------------------|---|----------------------------|
| +/- | MORE OR LESS | ⊙ | ELEC. MANHOLE |
| F.F. | FINISHED FLOOR | ⊙ | SANITARY SEWER MANHOLE |
| 123.45G | GUTTER ELEVATION | ⊙ | STORM SEWER MANHOLE |
| 123.45TC | TOP OF CURB ELEVATION | ⊙ | TRAFFIC MANHOLE |
| 123.45/123.45 | EXISTING/PROPOSED ELEVATION | ⊙ | CLEANOUT |
| FL | FLOWLINE ELEVATION | ⊙ | DOWNSPOUT |
| ⊙ | CONTROL POINT | ⊙ | AREA INTAKE |
| ⊙ | CALCULATED CORNER | ⊙ | SINGLE INTAKE |
| ● | FOUND CORNER | ⊙ | THROAT INTAKE |
| ⊙ | CALCULATED SECTION CORNER | ⊙ | FLARED END SECTION |
| ⊙ | FOUND SECTION CORNER | ⊙ | GAS VALVE |
| ⊙ | PARKING SPACE | ⊙ | FIRE HYDRANT |
| ⊙ | SIGN | ⊙ | WATER VALVE |
| ⊙ | STREET LIGHT | ⊙ | P XX PROPOSED UTILITY LINE |
| ⊙ | POWER POLE | ⊙ | E XX EXISTING UTILITY LINE |
| ⊙ | LIGHT POLE | ⊙ | CATV CABLE TELEVISION |
| ⊙ | AREA LIGHT | ⊙ | FO FIBER OPTIC |
| ⊙ | GUY ANCHOR | ⊙ | GAS LINE |
| ⊙ | UTILITY PEDESTAL | ⊙ | OHE OVERHEAD ELEC. |
| ⊙ | ELEC. TRANSFORMER | ⊙ | OHT OVERHEAD TEL. |
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| ⊙ | ELEC. BOX | ⊙ | ST STORM SEWER |
| ⊙ | ELEC. VAULT | ⊙ | UGE UNDERGROUND ELEC. |
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| ⊙ | GAS METER | ⊙ | W WATER |
| ⊙ | CABLE TV JUNCTION BOX | ⊙ | ⊙ FENCE LINE |
| ⊙ | WATER METER | | |



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TITLE:

PEMB OFFICE & WAREHOUSE

BONDURANT INDUSTRIAL PARK, LOT 4

BONDURANT, IOWA

BENCHMARK:

DATE: 06.06.2024

DRAWN BY: L. BURKE

SCALE: 1"=20'

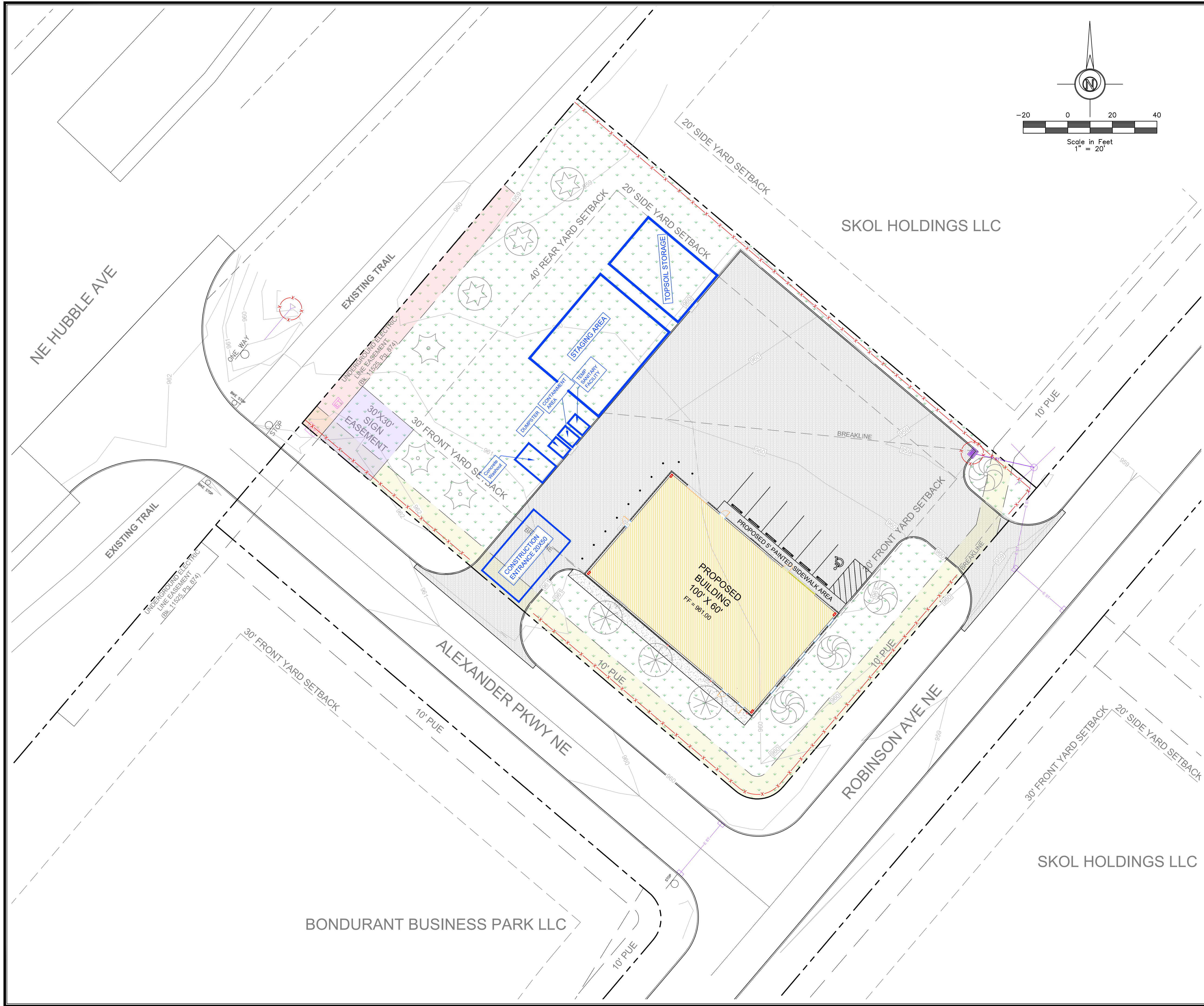
LATEST REVISION:

06.06.2024

DRAWING NO: 24-023

PRELIMINARY

C-301 - UTILITY SHEET



- SWPPP NOTES:**
1. LOCATION OF STAGING AREAS TO CONTAIN: JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE WASHOUT AREA, CONTROL RUNOFF WITH DIVERSION BERMS OR SILT FENCE AND DIRECT TO SEDIMENT BASIN WHERE POSSIBLE.
 2. ALL INTERIOR & PERIMETER SILT FENCE NOT SHOWN. SEE EROSION CONTROL PLAN.
 3. MULCH OR SOD ALL DISTURBED AREAS NOT PAVED OR DEVELOPED.
 4. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PHASING & SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING, NOTING & IMPLEMENTING.
 5. A MINIMUM 6" LAYER OF TOPSOIL SHALL BE RESPREAD FROM THE STOCKPILE ONSITE TO SODDED PERVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION. SEEDED AREAS TO RECEIVE A MINIMUM 8" OF TOPSOIL.
 6. ALL BARE AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR MORE REQUIRE IMMEDIATE STABILIZATION MEASURES (TEMPORARY SEEDING OR MULCHING)
 7. ALL SLOPES 4:1 OR GREATER REQUIRE SEEDING AND MATTING

- x — x — x — FILTER SOCK
- PROPOSED SIDEWALK
558 SQ. FT.
 - PROPOSED 6" P.C.C.
19,009 SQ. FT.
 - PROPOSED SEED/SOD LIMITS
27,208 SQ. FT.
 - PROPOSED BUILDING
6,000 SQ. FT.
 - EXISTING P.U.E.
 - EXISTING SIGN EASEMENT
 - EXISTING UNDERGROUND ELEC
EASEMENT

LEGEND:

- | | | | |
|---------------|-----------------------------|---|------------------------------|
| +/- | MORE OR LESS | ⊙ | ELEC. MANHOLE |
| F.F. | FINISHED FLOOR | ⊙ | SANITARY SEWER MANHOLE |
| 123.45G | GUTTER ELEVATION | ⊙ | STORM SEWER MANHOLE |
| 123.45TC | TOP OF CURB ELEVATION | ⊙ | TRAFFIC MANHOLE |
| 123.45/123.45 | EXISTING/PROPOSED ELEVATION | ⊙ | CLEANOUT |
| FL | FLOWLINE ELEVATION | ⊙ | DOWNSPOUT |
| ⊙ | CONTROL POINT | ⊙ | AREA INTAKE |
| ⊙ | CALCULATED CORNER | ⊙ | SINGLE INTAKE |
| ● | FOUND CORNER | ⊙ | THROAT INTAKE |
| ⊙ | CALCULATED SECTION CORNER | ⊙ | FLARED END SECTION |
| ⊙ | FOUND SECTION CORNER | ⊙ | GAS VALVE |
| ⊙ | PARKING SPACE | ⊙ | FIRE HYDRANT |
| ⊙ | SIGN | ⊙ | WATER VALVE |
| ⊙ | STREET LIGHT | ⊙ | P XX — PROPOSED UTILITY LINE |
| ⊙ | POWER POLE | ⊙ | E XX — EXISTING UTILITY LINE |
| ⊙ | LIGHT POLE | ⊙ | CATV — CABLE TELEVISION |
| ⊙ | AREA LIGHT | ⊙ | FO — FIBER OPTIC |
| ⊙ | GUY ANCHOR | ⊙ | GAS — GAS LINE |
| ⊙ | UTILITY PEDESTAL | ⊙ | OHE — OVERHEAD ELEC. |
| ⊙ | ELEC. TRANSFORMER | ⊙ | OHT — OVERHEAD TEL. |
| ⊙ | ELEC. METER | ⊙ | SAN — SANITARY SEWER |
| ⊙ | ELEC. BOX | ⊙ | ST — STORM SEWER |
| ⊙ | ELEC. VAULT | ⊙ | UGE — UNDERGROUND ELEC. |
| ⊙ | FIBER OPTIC VAULT | ⊙ | UGT — UNDERGROUND TEL. |
| ⊙ | GAS METER | ⊙ | W — WATER |
| ⊙ | CABLE TV JUNCTION BOX | ⊙ | — — — — — FENCE LINE |
| ⊙ | WATER METER | | |



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PEMB OFFICE & WAREHOUSE

BONDURANT INDUSTRIAL PARK, LOT 4

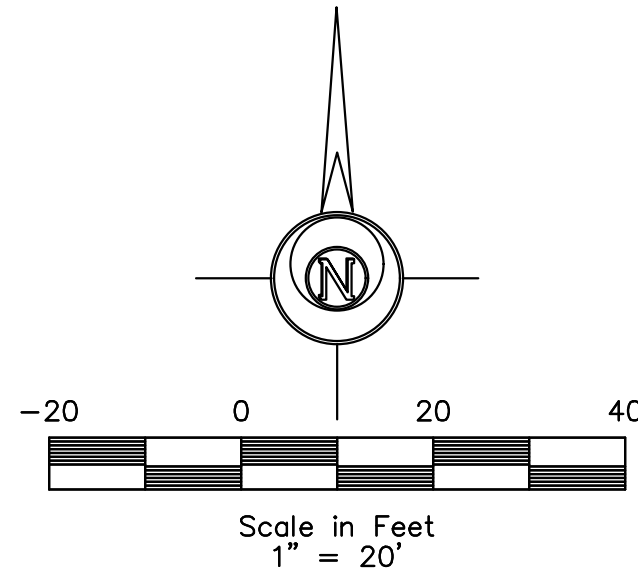
BONDURANT, IOWA

PRELIMINARY

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C-401 - EROSION CONTROL SHEET



LANDSCAPING SCHEDULE:

SYMBOL	#	COMMON NAME PLANTING SIZE (BOTANICAL NAME)	MATURE SIZE (HEIGHT & SPREAD)
	4	RED OAK TREE (QUERCUS RUBRA)	MIN 1.75" CALIPER B&B 50'-75' & 50'-75'
	3	CHINESE ELM TREE (ULMUS PARVIFOLIA)	MIN 1.75" CALIPER B&B 40'-50' & 25'-40'
	3	KATSURA TREE (CERCIDIPHYLLUM JAPONICUM)	MIN 1.75" CALIPER B&B 40'-60' & 20'-30'
	3	AMERICAN SMOKE TREE (COTINUS OBOVATUS)	MIN 1.75" CALIPER B&B 20'-30' & 20'-30'

LANDSCAPING REQUIREMENTS:

GROUND COVER
AT LEAST 90% OF REQUIRED OPEN SPACE AREA SHALL BE LANDSCAPED AND MAINTAINED WITH LIVING GROUND COVER.

OPEN SPACE
EXISTING: 100% (51,490 SQ. FT.)
REQUIRED: 10% (5,149 SQ. FT.)
PROPOSED: 54% (27,731 SQ.FT.)

GENERAL TREE REQUIREMENTS
GENERAL TREES SHALL BE REQUIRED AT THE RATE OF ONE TREE PER FIFTY (50) FEET OF STREET FRONTAGE OR ONE TREE PER SIX (6) PARKING, LOADING AND STACKING SPACES PROVIDED ON SITE, WHICHEVER IS GREATER.

GENERAL TREE PLACEMENT
OF THE TOTAL NUMBER OF GENERAL TREES REQUIRED, A MINIMUM OF ONE TREE PER FIFTY (50) FEET OF STREET FRONTAGE SHALL BE PLANTED IN THE REQUIRED FRONT YARD SETBACK. GENERAL TREES SHALL ALSO BE LOCATED NO CLOSER THAN FOUR (4) FEET TO THE PUBLIC RIGHT-OF-WAY.

PROPOSED: 13 DECIDUOUS SHADE TREES.

- PROPOSED SIDEWALK
558 SQ. FT.
-

LEGEND:

+/- F.F.	MORE OR LESS FINISHED FLOOR		ELEC. MANHOLE
123.45G	GUTTER ELEVATION		SANITARY SEWER MANHOLE
123.45TC	TOP OF CURB ELEVATION		STORM SEWER MANHOLE
123.45/123.45	EXISTING/ PROPOSED ELEVATION		TRAFFIC MANHOLE
FL	FLOWLINE ELEVATION		CLEANOUT
	CONTROL POINT		DOWNSPOUT
	CALCULATED CORNER		AREA INTAKE
	FOUND CORNER		SINGLE INTAKE
	CALCULATED SECTION CORNER		THROAT INTAKE
	FOUND SECTION CORNER		FLARED END SECTION
	PARKING SPACE		GAS VALVE
	SIGN		FIRE HYDRANT
	STREET LIGHT		WATER VALVE
	POWER POLE		P XX PROPOSED UTILITY LINE
	LIGHT POLE		E XX EXISTING UTILITY LINE
	AREA LIGHT		CATV CABLE TELEVISION
	GUY ANCHOR		FO FIBER OPTIC
	UTILITY PEDESTAL		GAS LINE
	ELEC. TRANSFORMER		OHE OVERHEAD ELEC.
	ELEC. METER		OHT OVERHEAD TEL.
	ELEC. BOX		SAN SANITARY SEWER
	ELEC. VAULT		ST STORM SEWER
	FIBER OPTIC VAULT		UGE UNDERGROUND ELEC.
	GAS METER		UGT UNDERGROUND TEL.
	CABLE TV JUNCTION BOX		W WATER
	WATER METER		FENCE LINE

PELDS DESIGN SERVICES

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PEMB OFFICE & WAREHOUSE
BONDURANT INDUSTRIAL PARK, LOT 4
BONDURANT, IOWA

PRELIMINARY

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PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-240711-21

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE SITE PLAN FOR
2502 ROBINSON AVENUE.

WHEREAS, Pelds Design Services, on behalf of the property owner Aviation Mining Solutions, has submitted the site plan for 2502 Robinson Avenue described as follows;
AND

LOT 4 BONDURANT INDUSTRIAL PARK.

WHEREAS, the zoning for the property is Medium Industrial (M-2) and manufacture of airplane and/or lavatory products or like business use is a permitted use per Sections 178.14.1. of the Zoning Code;

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted site plan for 2502 Robinson Avenue subject to the following City Code/Policy clarification recommendation items;

1. Address any comments from Veenstra & Kimm and Public Works

Moved by _____, Seconded by _____to adopt.

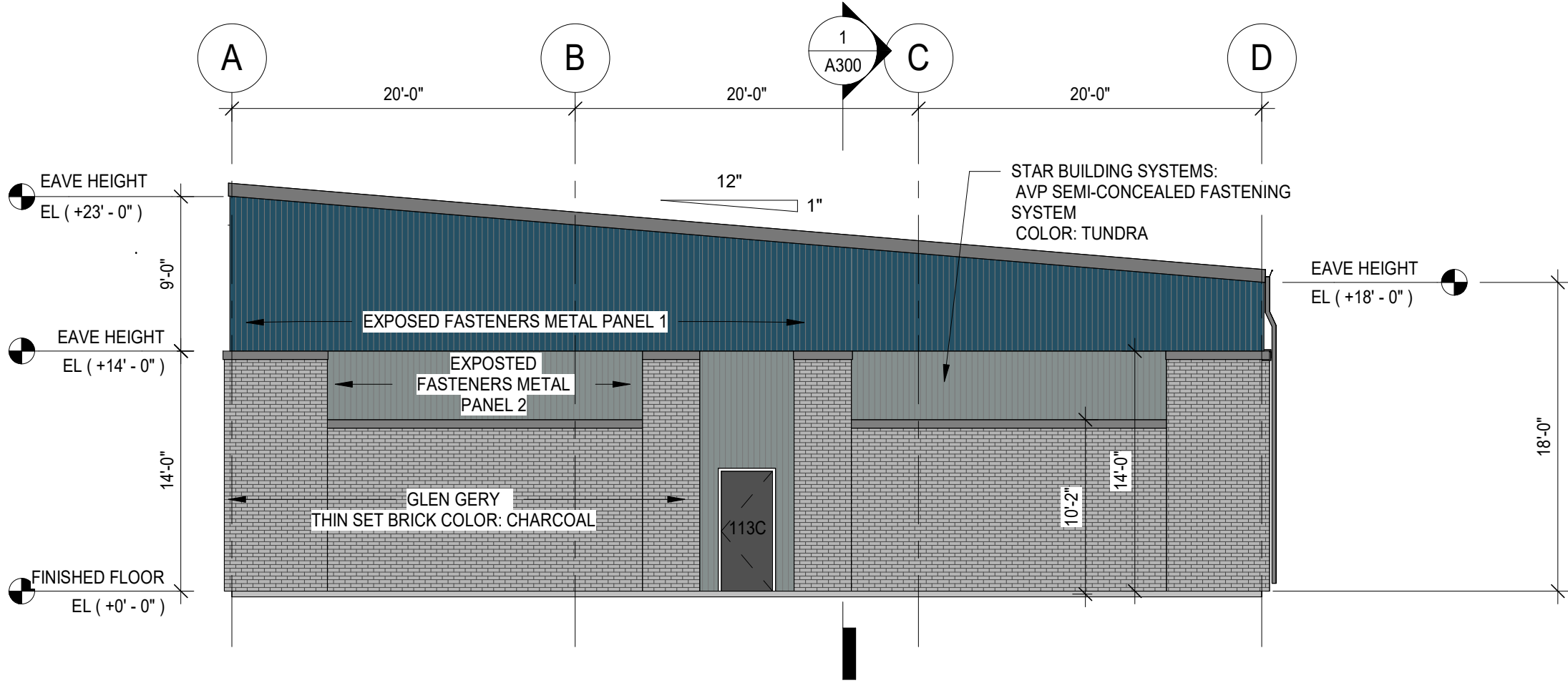
ATTEST: I, Isaac Pezley, City Planner, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on July 11, 2024; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

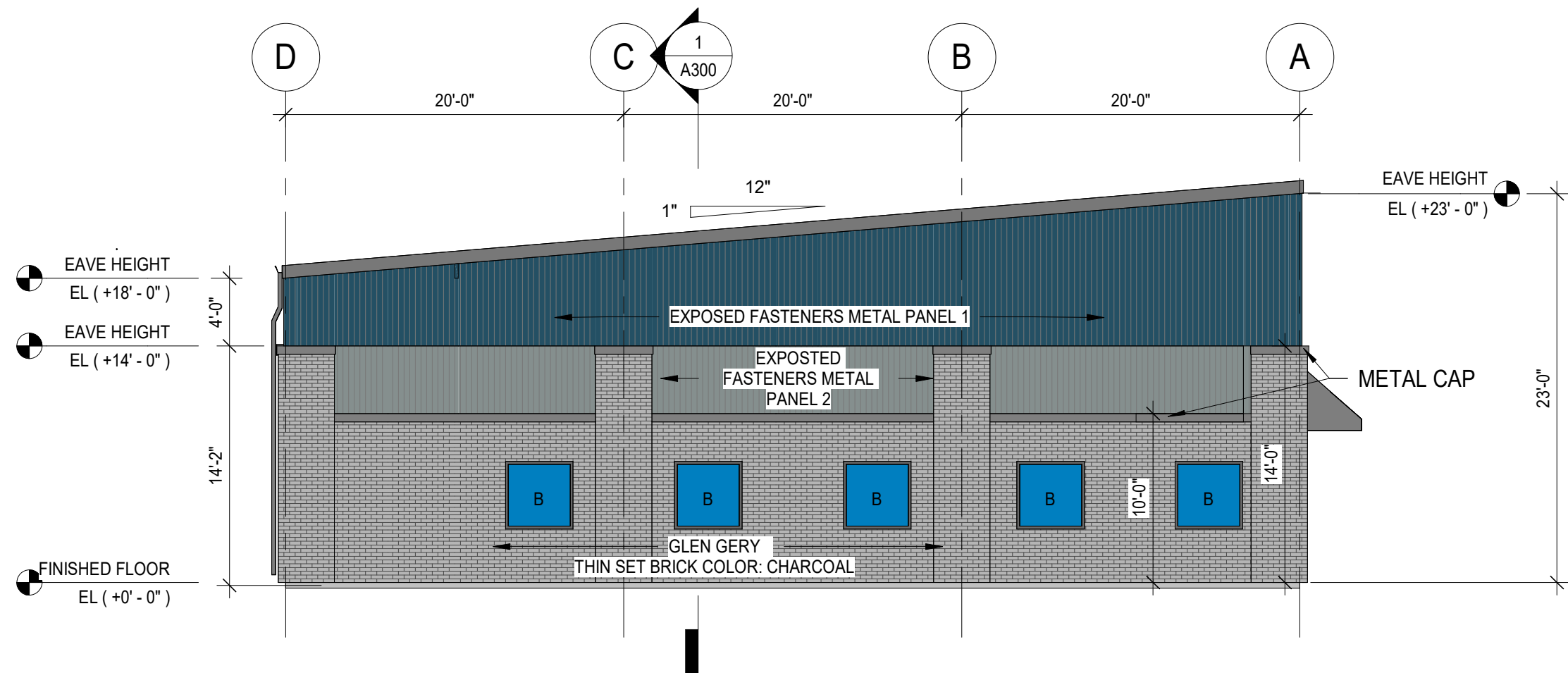
Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Mains				
Brostrom				
Clayton				
Pitt				
Torres				
Vore				

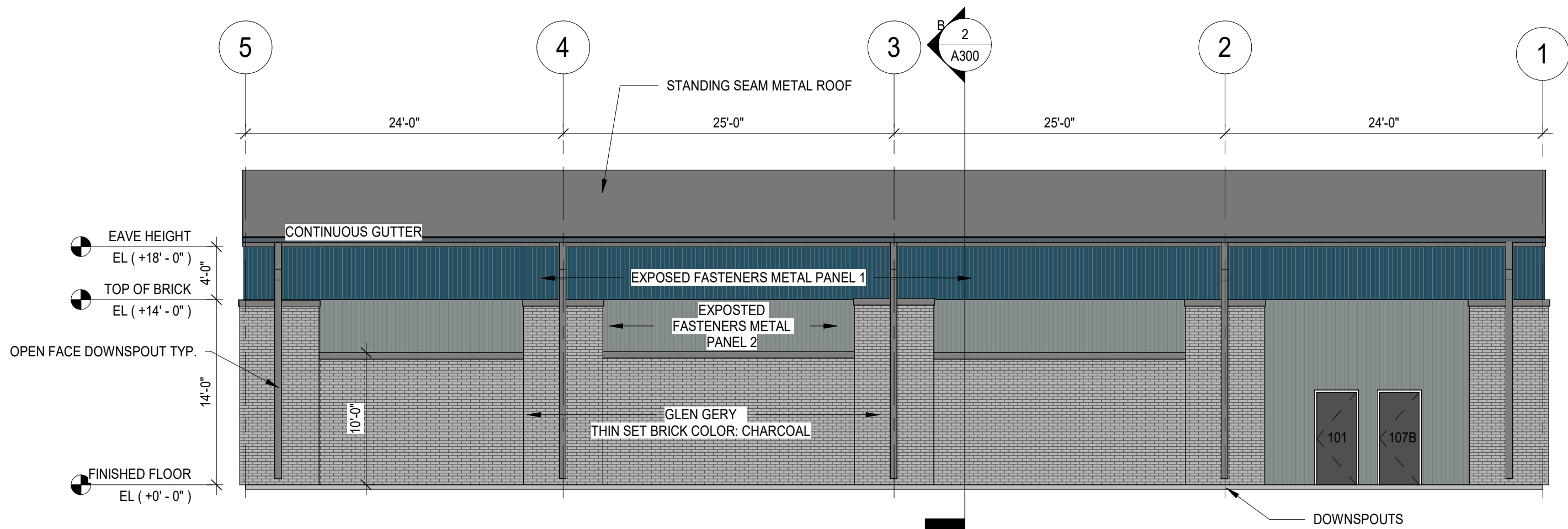
Karen Keeran, Commission Chair



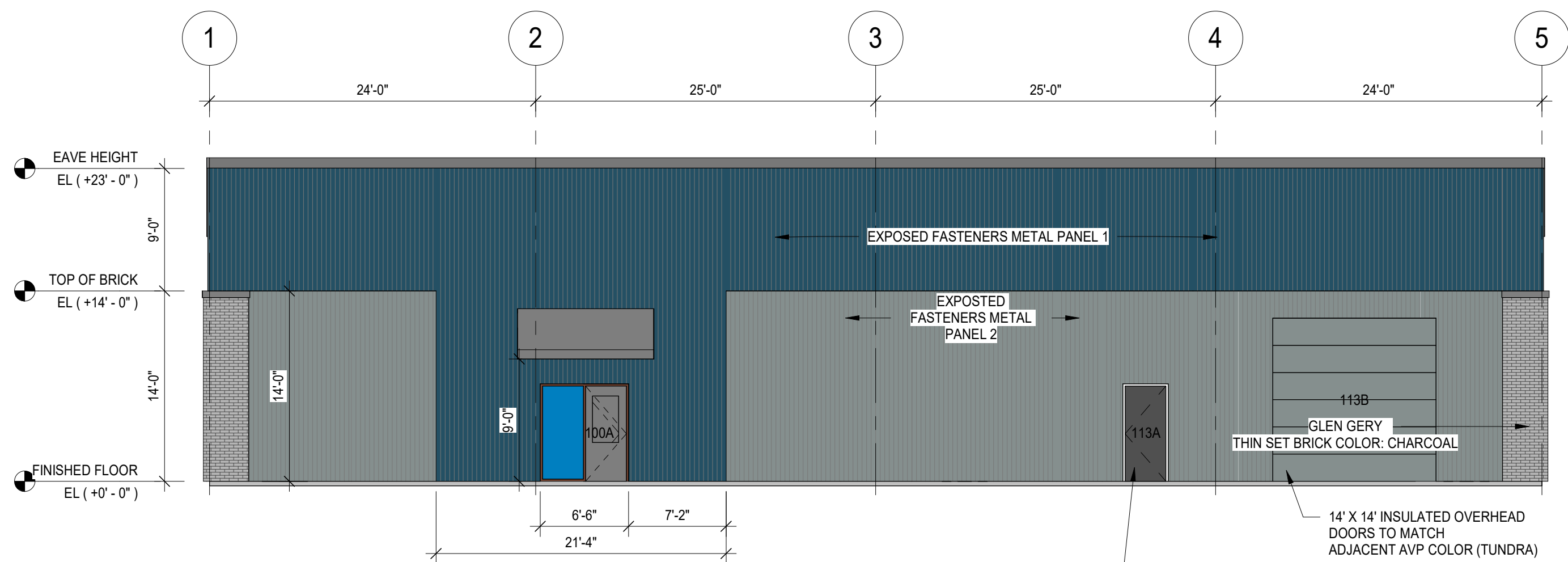
4 NORTHWEST ELEVATION
1/8" = 1'-0"



3 SOUTHEAST ELEVATION
1/8" = 1'-0"



2 SOUTHWEST ELEVATION
1/8" = 1'-0"



1 NORTHEAST ELEVATION
1/8" = 1'-0"

METERIAL CLASSIFICATION

MATERIAL	OVERLAY CLASS	NORTHEAST ELEV%	NORTHWEST ELEV.%	SOUTHEAST FACADE%	SOUTHWEST FACADE%
METAL SIDING PANEL - COLOR 1	SECONDARY	1,007 SF 47.03%	342 SF 28.43%	342 SF 28.03%	380 SF 21.05%
METAL SIDING PANEL - COLOR 2	SECONDARY	799 SF 37.32%	202 SF 16.79%	193 SF 15.82%	386 SF 21.39%
DOORS	SECONDARY	191 SF 8.93%	24 SF 2.00%	0 SF 0.00%	48 SF 2.66%
GLASS	PRIMARY	23 SF 1.07%	0 SF 0.00%	80 SF 6.56%	0 SF 0%
MODULAR BRICK	PRIMARY	90 SF 4.20%	606 SF 50.37%	557 SF 45.66%	917 SF 50.80%
METAL COPING	LIMITED	31 SF 1.45%	29 SF 2.41%	48 SF 3.93%	74 SF 4.10%
TOTAL SF		2,141 SF	1,203 SF	1,220 SF	1,805 SF

PROJECT NAME:
PEMB Office & Warehouse
BONDURANT INDUST. PRK. LOT 4
BONDURANT, IOWA

REVISION		
No	DESC	DATE

CONSTRUCTION DOCUMENTS

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SHEET TITLE:
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A200