

**Due to the COVID-19 concerns and social distancing recommendations, a virtual meeting is being offered. Participants wishing to speak on a topic should message the meeting moderator. All participants are asked to mute their individual computers at times when they are not speaking to minimize background noise. Join: <https://us02web.zoom.us/j/82944063081>*

**NOTICE OF A REGULAR MEETING
BONDURANT PLANNING AND ZONING COMMISSION
AUGUST 26, 2021**

NOTICE IS HEREBY GIVEN that a Regular Meeting of the City Council will be held at 6:00 PM on August 26, 2021, in the Bondurant City Center, 200 Second Street, Northeast, Bondurant, Polk County, Iowa. Said meeting is open and the public is encouraged to attend.

AGENDA

1. Call to Order
2. Roll Call
3. Perfecting and Approval of the Agenda
4. Approval of Minutes
 - a. July 22, 2021
5. Guests requesting to address the Planning and Zoning Commission
6. Action Items
 - a. Return to Table: PZ-210722-18: Considering recommended approval of the Top Farms rezoning from the Agricultural (A-1) District to the Planned Unit Development (R-5) District on property currently owned by Top Farms LLLP north of Park Side Plat 2 and adjacent to Highway 65; and recommended approval of the Future Land Use Map amendment from Single-Family Detached to Multi-Family and Commercial in areas shown on the PUD Conceptual Plan.
 - b. PZ-210826-20: Considering recommended approval of the SKOL Trucking site plan at 2415 Robinson Avenue NE
7. Discussion Items -
8. Reports / Comments and appropriate action thereon:
 - a. Commission Members
 - b. Commission Chair
 - c. Planning & Community Development Director
 - d. City Administrator
 - e. City Council Liaison
9. Adjournment

Bondurant Planning and Zoning Commission
Minutes
July 22, 2021

1. Call to Order
Commission Chair Cuellar called the meeting to order at 6:00 p.m. and declared a quorum.
2. Roll Call

Present:	Commission Member Torey Cuellar, Commission Member Karen Keera, Commission Member Kristin Brostrom, Commission Member Brian Clayton, Commission Member Andy Mains, Commission Member Wes Hoyer
Absent:	None
City Officials Present:	City Administrator Marketa Oliver, Planning & Community Development Director Maggie Murray, City Council Liaison Bob Pepper
3. Perfecting and Approval of the Agenda
Motion by Commission Member Mains, seconded by Commission Member Keeran, to approve the agenda as is. Vote on Motion 6-0. Motion carried.
4. Approval of Minutes
Motion by Commission Member Mains, seconded by Commission Member Clayton, to approve the July 8, 2021 Planning & Zoning Commission meeting minutes. Vote on Motion 6-0. Motion carried.
 - a. July 8, 2021
5. Guests requesting to address the Planning and Zoning Commission
None
6. Action Items
 - a. RESOLUTION NO. PZ-210722-15: Considering recommended approval of the Black Oak Farm Plat 1 Preliminary Plat (Unincorporated Polk County)
Terry Coady, Snyder & Associates, presented the Black Oak Farm Plat 1 Preliminary Plat for the split proposed in unincorporated Polk County within two miles of Bondurant.

Maggie Murray noted that staff is recommending approval, subject to the following Subdivision Code clarification items as listed on the P&Z recommendation resolution:

1. That the preliminary plat shall be updated to show a minimum 40'-wide half right-of-way along NE 88th Street.
2. That approval of the preliminary plat includes waiver of Section 180.05.2 of the Subdivision Code relative to maximum block length requirements along NE 100th Avenue.

Motion by Commission Member Mains, seconded by Commission Member Brostrom, for recommended approval of the Black Oak Farms Preliminary Plat, P&Z Resolution PZ-210722-15 subject to the following Subdivision Code clarification items, as presented in the packet:

1. That the preliminary plat shall be updated to show a minimum 40'-wide half right-of-way along NE 88th Street.
2. That approval of the preliminary plat includes waiver of Section 180.05.2 of the Subdivision Code relative to maximum block length requirements along NE 100th Avenue.

Roll Call: Ayes: Commission Member Clayton, Commission Member Cuellar, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom. Nays: None. Absent: None. Motion carried 6-0.

- b. RESOLUTION NO. PZ-210722-16: Considering recommended approval of the Dollar General plat of survey at 501 Hawthorne Crossing Drive SE (Parcel 2021-82).

Maggie Murray presented the staff report. This split will create a 1.21-acre parcel on Outlot W of the Hawthorne Crossing Subdivision. This split being reviewed is also associated with the Dollar General site plan being reviewed as part of the next agenda item. Staff recommends approval of the Dollar General plat of survey.

Motion by Commission Member Keeran, seconded by Commission Member Brostrom, for recommended approval of the Dollar General Plat of Survey, P&Z-210722-16. Roll Call: Ayes: Commission Member Clayton, Commission Member Cuellar, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom. Nays: None. Absent: None. Motion carried 6-0.

- c. RESOLUTION NO. PZ-210722-17: Considering recommended approval of the Dollar General site plan at 501 Hawthorne Crossing Drive SE. Rusty Doss, Overland Engineering LLC, presented the site plan.

Commission Member Keeran asked for clarification on the driveway

entrances proposed. Doss explained the two driveway entrances proposed off of Hawthorne Crossing Drive SE.

Commission Member Mains asked about any screening requirements along Highway 65? Murray explained that there are no overhead garage doors or loading space areas proposed along this corridor, so no screening is required.

Doss noted the entire site will be sodded.

Commission Member Mains asked to see the elevations proposed. Murray noted that the three street-facing facades will be made up of brick and split faced block, while the non-street facing façade will be made of up stucco coated siding. These materials meeting the primary and secondary building material requirements.

Commission Member Hoyer asked for clarification on the Fire Department's status of review? Murray explained that the Fire Department did review an initial version of the site plan and noted no concerns but that she will follow-up with the Department prior to Council's consideration.

Murray noted staff is recommending approval, subject to the following Zoning Code clarification item:

1. That if a dedicated left turn lane is constructed on Hawthorne Crossing Drive SE at Highway 65, the northernmost driveway may be converted to a right-in, right-out driveway.

Motion by Commission Member Hoyer, seconded by Brostrom, for recommended approval of the Dollar General site plan, P&Z-210722-17, subject to the following Zoning Code clarification item:

1. 1. That if a dedicated left turn lane is constructed on Hawthorne Crossing Drive SE at Highway 65, the northernmost driveway may be converted to a right-in, right-out driveway.

Roll Call: Ayes: Commission Member Clayton, Commission Member Cuellar, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom. Nays: None. Absent: None. Motion carried 6-0.

- d. PUBLIC HEARING - Request for rezoning from the Agricultural (A-1) District to the Planned Unit Development (R-5) District on property currently owned by Top Farms LLLP north of Park Side Plat 2 and adjacent to Highway 65; and request for Future Land Use Map

amendment from Single-Family Residential to Multi-Family and Commercial on areas as shown on the PUD Conceptual Plan.

Motion by Commission Member Keeran, seconded by Commission Member mains, to close the regular meeting and enter into the public hearing regarding the request for rezoning from Agricultural (A-1) to the Planned Unit Development (R-5) District on property currently owned by Top Farms LLLP north of Park Side Plat 2 and adjacent to Highway 65; and request for Future Land Use Map amendment from Single-Family Residential to Multi-Family and Commercial on areas as shown on the PUD Conceptual Plan. Vote on Motion 6-0. Motion carried.

Emily Harding, Civil Design Advantage, presented the PUD Conceptual Plan.

Murray asked how many lots will meet the equivalent of the City's R-2 District requirements? Steve Moseley, Hubbell Land Development, explained that if they were required to meet the 65'-wide lot width requirements of the R-2 District for 30% of the single-family detached lots, they would lose approximately four lots. Moseley noted this site is restricted in that they are working around a major gas main easement.

A discussion was had regarding side yard setbacks. The Conceptual Plan currently proposes 5' side yard setbacks for all lots.

Commission Member Brostrom asked if window wells are allowed within a required side yard setback area? Murray explained that yes, our Code allows for encroachment of window wells into the required side yard setback and that if this is something the Commission wants to require, it should be noted on the PUD Conceptual Plan.

Commission Member Clayton noted that he struggles sometimes with R-5 requests when a developer uses this to not meet traditional lot requirements. Commission Member Clayton noted that as currently shown, he would vote for denial.

Commission Member Clayton asked if the property owner to the west has reviewed this Conceptual Plan? Murray noted that this week she received a call from Robin with Emerald Acres LLC (owner) and that her only question at this point was that the housing would not be manufactured/mobile housing. Moseley confirmed that it would not be.

Commission Member Clayton asked for clarification on the anticipated valuation of the homes proposed? Moseley noted the average valuation, when factoring both the narrow and wider lots, will be \$350,000. Commission Member Clayton asked for clarification on anticipated valuation of the narrower lots? Moseley noted the average valuation of

the narrower lots will be \$275,000-\$300,000.

Commission Member Clayton noted the community is lacking single-family homes prices less than \$200,000. He noted that this concept proposes narrower lots and that this is not what the City wants.

Commission Member Keeran noted that a smaller lot should be a smaller home to make the home more affordable and to create a greater distance between the house.

Commission Member Clayton asked for clarification on the parkland shown on the Conceptual Plan? Murray noted that the parkland as currently shown does not meet the Subdivision Code's requirements. Notes on this have been provided in the staff report. The developer will need to evaluate this further. If they are not meeting minimum public parkland acreage requirements, a fee in lieu of dedication is acceptable per the Subdivision Code. Commission Member Clayton noted the City is open to the fee in lieu option.

Commission Member Clayton asked how the ponds will offload? Harding explained.

Commission Member Mains noted that he struggles with this in that this concept mainly shows narrower lots. Moseley explained that the location along Highway 65 and NE 86th Avenue dictates the layout proposed. The narrower lots are proposed along these corridors and the higher value lots are further into the neighborhood. Moseley also noted the gas main easement really sets the street layout proposed.

City Council Liaison Pepper asked for clarification on the valuation of the anticipated homes prices for the narrow lots? Moseley stated between \$275,000-\$300,000.

Murray noted that the Conceptual Plan will need to be updated to provide further information on the multi-family area proposed.

Commission Member Brostrom noted that the homes on corner lots should have two front yard setbacks.

A discussion was had regarding deck encroachments. Murray explained that if this area was subject to traditional residential setback requirements, uncovered decks are allowed to encroach into a rear yard area while covered decks are not.

Commission Member Clayton asked if these yard areas will have rear yard stormwater drainage easements? Murray cautioned that if

proposing deck encroachments, the decks will need to stay out of the rear yard drainage easement areas.

Murray asked for a break out of how many lots are proposed as being narrow? Moseley noted that as currently proposed, 55% of the lots will be 50'-wide.

Harding handed out a setback comparison exhibit.

Commission Member Clayton asked for the developer's timeline? Moseley noted an anticipated 5-8 year build out. Moseley added that Hubbell could also eventually be interested in constructing out a golf course community in Bondurant.

Commission Member Keeran asked for clarification on anticipated ownership? Moseley noted that Hubbell would construct out all of the public infrastructure and then could look to sell the lots for development.

Moseley noted that Hubbell would be okay with tabling this evening and that they they will work on an updated Conceptual Plan where 30% of the lots will be at least 65'-wide.

Motion by Commission Member Keeran, seconded by Commission Member Clayton, to close the public hearing and enter back into the regular meeting. Vote on Motion 6-0. Motion carried.

- e. RESOLUTION NO. PZ-210722-18: Considering recommended approval of the Top Farms rezoning and Future Land Use Map amendment request as described in Agenda Item 6.d.

Motion by Commission Member Clayton, seconded by Commission Member Mains, to table this item until the PUD Conceptual Plan has been updated. Roll Call: Ayes: Commission Member Clayton, Commission Member Cuellar, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom. Nays: None. Absent: None. Motion to table carried 6-0.

Murray asked for clarification from the Commission on expectations on updates. The following items should be taken into account as part of an updated Conceptual Plan:

- 30% of the lots to 65'-wide or wider.
- 30' front yard setbacks to apply to the 65'-wide area. 65'-wide area also subject to traditional side yard setbacks(15' combined between 2 side yards, with 7' minimum on one side when 2-story, 5' minimum on one side when ranch). Rear yard setbacks should also be increased from

what is currently shown on the Conceptual Plan.

- Window wells cannot encroach into side yard setbacks when side yard setback is only 5'.

- Uncovered decks may encroach into the required rear yard setback, while covered decks must meet rear yard setback requirements.

- Corner lots must have two front yard setback areas.

- Concept to be updated to show that detention pond areas will be privately owned and maintained. If public parkland is proposed, concept to be updated to show the Subdivision Code will be met. The other option exists to pay a fee in lieu.

- Area B should be updated to address staff's comments in agenda statement.

- f. RESOLUTION NO. PZ-210722-19: Considering recommended approval of the RAMMS Construction site plan at 1120 2nd Street NE.

Murray presented the agenda statement. RAMMS Construction at 1120 2nd Street NE is proposing a 4,000 SF addition onto the rear of their building. This project was granted a variance from the City's Board of Adjustment to allow for a 10' encroachment into the required 20' side yard setback along the west property line.

Commission Member Clayton asked for clarification on if the Board can review a request prior to the Commission's review? Murray explained that yes, the Board is authorized to grant approval/denial on setback requests. A decision by the Board likely impacts a site layout, so this is why such a request may go to the Board first.

Commission Member Hoyer asked if the residential use to the west has been notified? Oliver noted that yes, as part of the Board of Adjustment review process, the neighbor to the west was sent a letter.

A discussion was had regarding screening. Murray noted that the Board of Adjustment required rear north property line screening as part of their approval. The Commission noted that the screening proposed does not show the entire extent along the north property line. Murray noted that she will

Cuellar asked for clarification on outdoor screening requirements and that this area should be subject to the City's requirements. Murray explained the idea that if screening is required, it may be pre-existing, non-conforming but that she will confirm.

Murray noted that staff recommends approval of the RAMMS Construction site plan, subject to the following Zoning Code clarification item:

1. That should any City Code comments/concerns be relayed by City

Engineering, Public Works, or the Fire Department, the site plan shall be updated to accommodate such feedback.

Murray noted that related to the above, the Fire Department has reviewed and has noted this building must be sprinkled. Also, Public Works has reviewed and has requested further information on stormwater to ensure the neighbor to the west will not be impacted as a result of this project.

Motion by Commission Member Brostrom, seconded by Commission Member Mains, for recommended approval of the RAMMS Construction site plan, PZ-210722-20, subject to the following Zoning Code clarification as noted in the agenda statement:

1. That should any City Code comments/concerns be relayed by City Engineering, Public Works, or the Fire Department, the site plan shall be updated to accommodate such feedback.

Roll Call: Ayes: Commission Member Clayton, Commission Member Cuellar, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom. Nays: None. Absent: None. Motion carried 6-0.

7. Reports / Comments and appropriate action thereon:

a. Commission Members

Commission Member Brostrom - none.

Commission Member Hoyer - noted that he heard there was a series of car break ins recently and asked about any public outreach? Oliver noted the Sheriff's Department is aware of the issues.

Commission Member Keeran - none.

Commission Member Clayton - asked about the status of Midstates Precast Concrete and their site plan issues? Murray explained they were given two years to comply. Oliver noted she will follow-up on this.

Commission Member Mains - none.

b. Commission Chair

Commission Chair Cuellar - none.

c. City Administrator

Oliver - none.

d. Planning & Community Development Director

Murray noted that staff has been busy. We've received a record amount of building permits this month.

Murray noted that Council recently adopted the City Park Master Plan.

**Due to the COVID-19 concerns and social distancing recommendations, a virtual meeting was offered.*

She will send out a copy of this approved plan.

e. City Council Liaison

Peffer - noted that Council recently reviewed a draft streets master plan. Oliver noted this draft plan will come to the Commission after some stakeholder feedback is received. Murray explained this streets master plan is being created now so that the consultant creating the comprehensive plan can take this into account.

8. Adjournment

Motion by Commission Member Mains, seconded by Commission Member Clayton, to adjourn. Vote on motion 6-0. Motion carried. Meeting adjourned at 7:30 p.m.



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.a.
For Meeting of 8/26/2021
Resolution

TITLE: Return to Table: PZ-210722-18: Considering recommended approval of the Top Farms rezoning from the Agricultural (A-1) District to the Planned Unit Development (R-5) District on property currently owned by Top Farms LLLP north of Park Side Plat 2 and adjacent to Highway 65; and recommended approval of the Future Land Use Map amendment from Single-Family Detached to Multi-Family and Commercial in areas shown on the PUD Conceptual Plan.

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: Only July 22, 2021 the Planning & Zoning Commission held their required public hearing regarding the following request: request for rezoning from the Agricultural (A-1) District to the Planned Unit Development (R-5) District on property currently owned by Top Farms LLLP north of Park Side Plat 2 and adjacent to Highway 65; and request for Future Land Use Map amendment from Single-Family Residential to Multi-Family Residential and Commercial on areas as shown on the PUD Conceptual Plan. This 81.2-acre area of land is currently owned by Top Farms LLLP (highlighted below). The rezoning application was submitted by Civil Design Advantage (CDA) on behalf of Hubbell Realty Company, developer.



The Planning & Zoning Commission tabled the request subject to the developer submitting an updated PUD Conceptual Plan that addresses the topics of concern noted during the Commission's review. Based on the discussion that occurred during the Commission's discussion, the following feedback was relayed by staff to the developer for Conceptual Plan updating:

1. At a minimum, 30% of the lots must be 65' or wider. *Item addressed on updated Conceptual Plan.*
2. 30' front yard setbacks to apply to the 65'-wide area. 65'-wide area also subject to the traditional side yard setbacks (15' combined between the 2 side yards, with 7' minimum on one side when 2-story and 5' minimum when 1-story). *Item addressed on updated Conceptual Plan.*
3. Window wells cannot encroach into a required side yard setback when the side yard setback is only 5'. *Item addressed on updated Conceptual Plan.*
4. Uncovered decks may encroach into the required rear yard setback, while covered decks must meet minimum rear yard setback requirements. *Item addressed on updated Conceptual Plan.*
5. Corner lots must have two front yard setback areas. *Item addressed on updated Conceptual Plan (by removing a former note).*
6. Conceptual Plan to be updated to show that detention pond areas will be privately owned and maintained. *Item addressed on updated Conceptual Plan*
7. Conceptual Plan to be updated to also show a front yard setback for those lots having a north property line along NE 86th Avenue. *Item addressed on updated Conceptual*

Plan

8. Density should be clarified for Area B by type (and Area C too if developed as multi-family). *Item addressed on updated Conceptual Plan*
9. Allowable height should be clarified for Area B (and Area C too if developed as multi-family). *Item addressed on updated Conceptual Plan*
10. The parking noted in Area B should be updated for consistency with Section 177.09.C of the Zoning Code; this update will help clarify that 1.5 parking spaces must be provided for 1-bedroom units. *Item addressed on updated Conceptual Plan*
11. City staff has maintenance concerns for if two small public park areas are proposed. Developer should consider combining the two public park areas into one larger park in the east park area. *Item addressed on updated Conceptual Plan. The Conceptual Plan shows one public park area consisting of 2.6 acres and having approximately 27% of the park's exterior boundary fronting a public street (Subdivision Code requires a minimum 10% of street frontage). The Conceptual Plan still also notes that payment in lieu of parkland will be paid for any remaining parkland requirement acreage.*

If the Commission makes a rezoning and Future Land Use Map amendment recommendation at their meeting on August 26, 2021, it is anticipated that City Council will hold their required public hearing on this topic during their meeting on Tuesday, September 7, 2021. Being reviewed by the Commission tonight is the rezoning and Future Land Use Map amendment topic only - a detailed preliminary plat will be considered at a later meeting if the R-5 rezoning ordinance is approved for this area.

Below are some summary notes that were also included as part of the July 22, 2021 agenda statement to provide further detail on the development proposed. Updates made since the July 22 agenda statement are noted in **blue**:

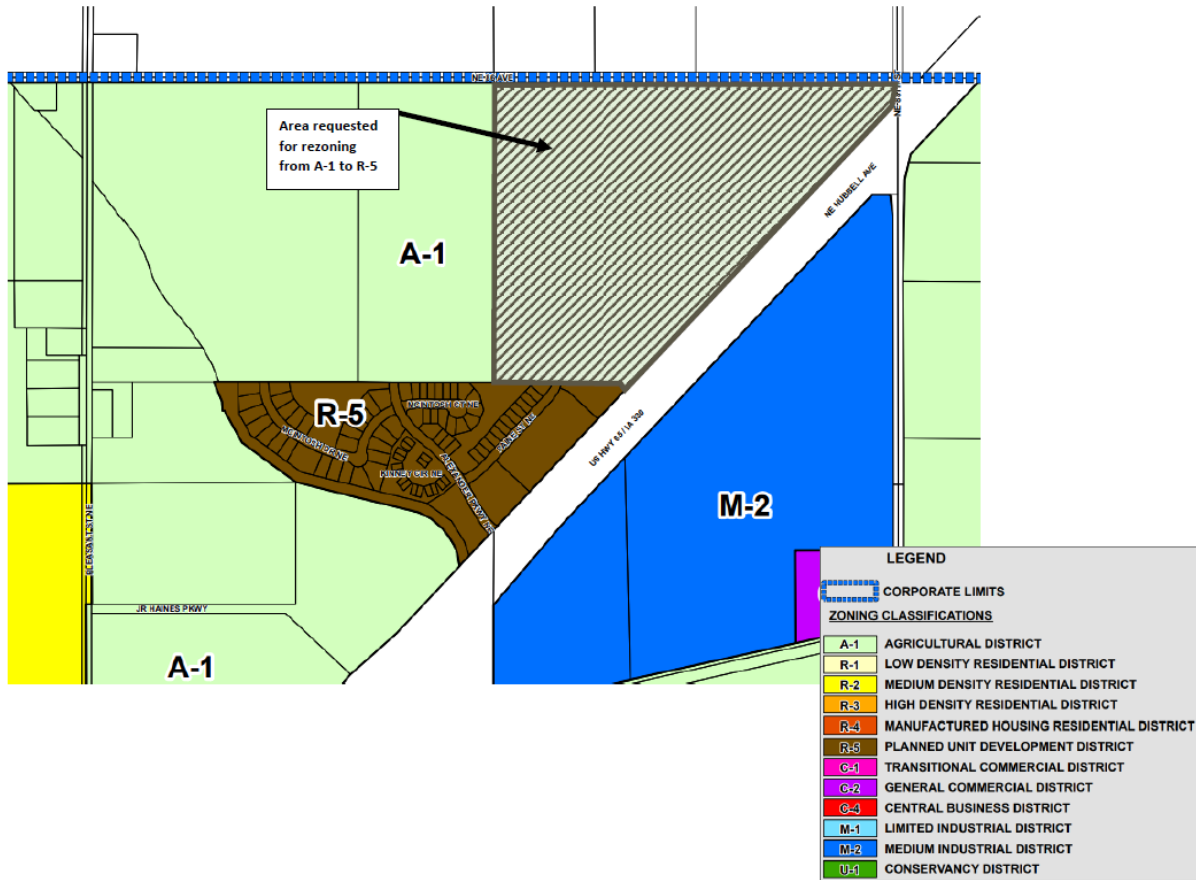
Area A - 180 (was previously 183) single-family detached lots on 54.04 acres (was previously 54.70 acres). Single-family homes are a permitted use of the R-5 District per Section 178.06.1.A. The Conceptual Plan notes that lots in Area A will be 50' to 90' wide (was formerly 80' wide) and will have a minimum lot area of 5,000 SF. The Conceptual Plan notes the following primary structure setbacks for Area A: 30' front (was formerly 25'), 30' rear (was formerly 20'), and 5' side except for those lots that are 65'-wide, the combined side yard setbacks for the two side yards must be 15' with a minimum 7' on one side for 2-story and a 5' on one side for ranch and 1.5 story. A note has also been included on the Conceptual Plan that a minimum of 30% of the Area A lots shall be at least 65'-wide (was formerly 60'-wide).

Area B - proposes townhomes or apartments on a 14.00-acre area (was formerly 13.34 acres). Townhome and multi-family uses are a permitted use of the R-5 District per Section 178.06.1.C of the Zoning Code. No units/per acre notes have been included as part of the submittal Conceptual Plan - however, per Section 178.06.4.G, units per acre shall in no case exceed 20 for this area. The Conceptual Plan has been updated to note the following bulk regulations for Area B: up to 12 units per acre for townhomes and up to 20 units/acre for apartments; these densities stay at and under what is allowed in the R-5 District. The Conceptual Plan notes 25' front and rear yard setbacks for the townhomes and 30' front and 35' rear yard setbacks for apartment buildings.

Area C - proposes commercial or multi-family on a 13.17-acre area. Commercial uses are allowed per Section 178.06.1.H when the Comprehensive Plan is considered - this section also notes that appropriate conditions may be attached to the proposed commercial use area. Area C notes that if commercial is developed, the uses allowed are uses allowed within the General Commercial (C-2) District; this note is consistent with the commercial outlots of Park Side Plat 2

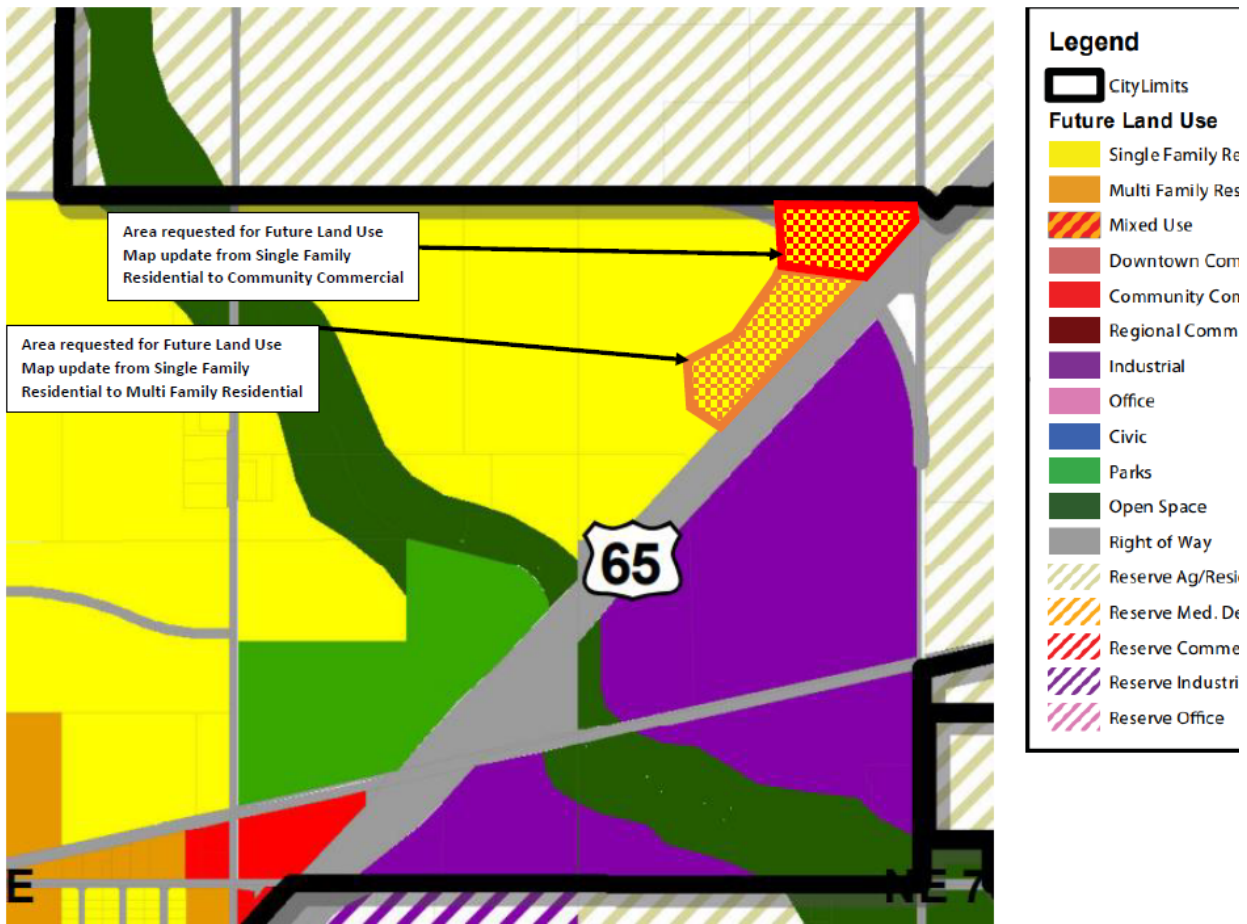
and also Quail Run Phase 2. Area C notes primary structure setbacks of 30' front, 25' rear, and no side yard unless adjacent to a residential use; this is similar to the C-2 District.

Below is a map showing the area requested for rezoning from A-1 to R-5:



As part of this rezoning request, the City must also consider an amendment to the Future Land Use Map included as part of the City's Comprehensive Plan for those portions of development proposed for commercial or multi-family use, as the Future Land Use Map currently guides for single-family residential in this entire Top Farms LLLP area. The area circled in bold red below shows the area requested for Future Land Use Map amendment.

Below is a map showing this Future Land Use Map amendment land in relationship area Future Land Use Map designations.



Analysis:

When considering rezoning requests, the Planning & Zoning Commission and City Council should take into account the following: Comprehensive Plan, Consistency with the Zoning Code, Spot Zoning, and Public Input.

Comprehensive Plan

When a City considers a rezoning ordinance, it must find the rezoning is consistent with its Future Land Use Map. Since the City's Future Land Use Map presently guides for single-family detached within this entire rezoning area, an amendment to the Future Land Use Map for those areas proposed for townhome/multi-family and commercial use is also being considered as part of this process to help ensure the following is being met with this rezoning: that the rezoning will create consistency between the City's Future Land Use Map and Official Zoning Map. The Future Land Use Map amendment request is consistent with the multi-family and commercial uses allowed along the Highway 65 corridor in the Park Side Plat 2 Planned Unit Development immediately south. The uses requested for amendment can also be considered consistent with the following objectives of the Comprehensive Plan's Highway 65 Corridor Growth Area: create focused, condensed areas of commercial development at strategic intersections along Highway 65; and provide a range of housing alternatives along the corridor including high and medium density housing.

Consistency with the Zoning Code

Section 178.06.4 of the Zoning Codes, PUD Bulk, states that, "although a PUD is intended to promote and permit flexibility in design and thereby may involve modifications of conventional regulations or standards, certain requirements which are set for below shall be applied to ensure that the development is compatible with the intent of this ordinance". Below are some Section 178.06.4 summary notes:

- Minimum lot and yard requirements need not apply and Council may require open space or screenings be located along all or a portion of the development boundaries. *A note that the Conceptual Plan states a landscape buffer of trees shall be provided on the lots within Area A that back up to NE 86th Avenue and that a 25'-wide landscape buffer yard must exist along the Highway 65 corridor.*
- Any land gained within the development because of the reduction in lot sizes below minimum Zoning Code requirements shall be placed in common land to be dedicated to the City or retained in private ownership to be managed by an HOA. Common land retained in private ownership for the use of all residents of the development, or to land dedicated to the general public.
- Project phases shall be substantially and functionally self-contained and self-sustaining with regard to access, parking, utilities, required open space, screening, and transitional elements and other support features. The initial phase should not be comprised of the most intensive portions of the PUD, unless the City concurs this is the most feasible means of developing the property in terms of access, sewer service, or similar physical constraints, or will permit earlier development of common amenities.
- Attention shall be given to mitigation of existing or potential land use conflicts through proper orientation, open space, setbacks, landscaping and screening, grading, traffic circulation, and architectural compatibility.
- Except when the City agrees to other arrangements, a PUD shall be comprised of a single owner, or group of owners acting as a partnership or corporation with each agreeing in advance to be bound by the conditions which will be effective in the PUD.
- Section 178.06.4.P also states the following relative to establishing an R-5 designation, "any additional agreements required by the Council at the time of Development Plan approval".

Spot Zoning

To determine whether illegal spot zoning has occurred, the courts consider the rezoning takes into account the following:

1. The characteristics of surrounding property;
2. the community's comprehensive plan;
3. the protection and preservation of public health, justice, morals, order, safety and security, and welfare (police power).

It does not appear that spot zoning will exist if the rezoning from A-1 to R-5 is approved in this area so long as the Future Land Use Map amendment is also considered for approval at this same time. R-5 zoning exists immediately south of the area currently being considered for rezoning.

Public Input

As required by the City's Zoning Ordinance, letters were sent to property owners within 200' of the proposed rezoning area notifying them of the requested rezoning. *At the time of writing this report, staff has received a call from one neighbor. The call received was from Emerald Acres LLC, owner of land just west. Emerald Acres wanted clarification that no manufactured housing was proposed - staff confirmed that no manufactured housing is proposed as part of the Top Farms PUD Conceptual Plan.*

FUNDING SOURCE: N/A for rezonings and future land use map updates.

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

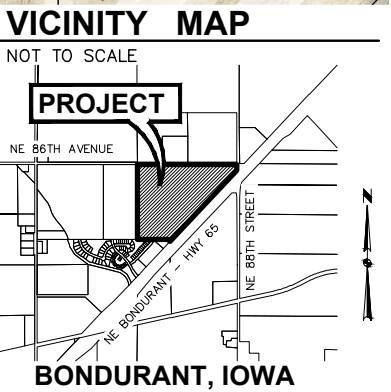
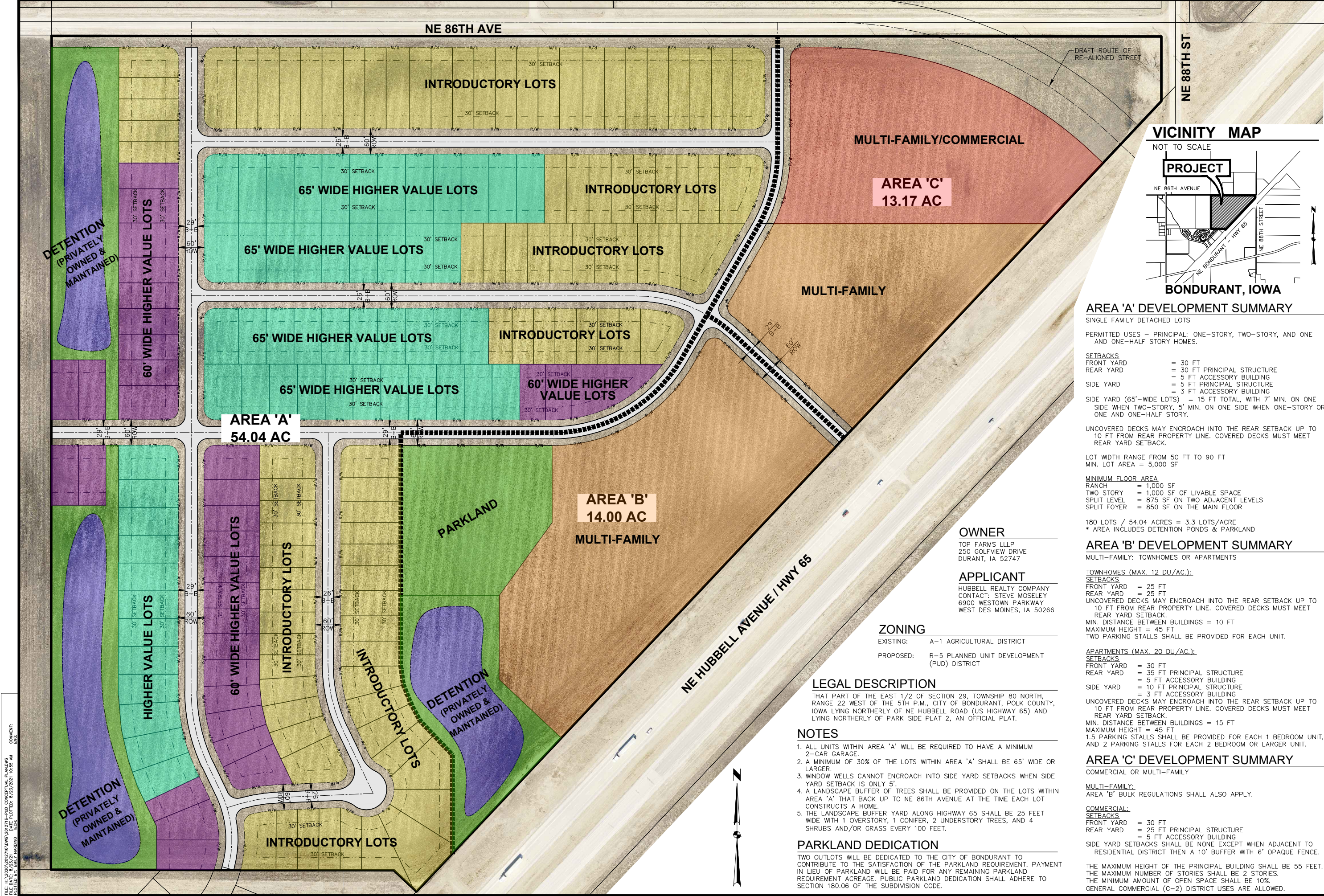
1. Recommended approval of the request for rezoning from the Agricultural (A-1) District to the Planned Unit Development (R-5) District on property currently owned by Top Farms LLLP north of Park Side Plat 2 and adjacent to Highway 65 and recommended approval of the Future Land Use Map amendment from Single-Family Residential to Multi-Family Residential and Commercial on areas as shown on the PUD Conceptual Plan.
2. Recommended approval of the request for rezoning from the Agricultural (A-1) District to the Planned Unit Development (R-5) District on property currently owned by Top Farms LLLP north of Park Side Plat 2 and adjacent to Highway 65 and recommended approval of the Future Land Use Map amendment from Single-Family Residential to Multi-Family Residential and Commercial on areas as shown on the PUD Conceptual Plan, subject to Zoning Code clarification items being met.
3. Recommended denial of the request for rezoning from Agricultural (A-1) District to the Planned Unit Development (R-5) District on property currently owned by Top Farms LLLP north of Park Side Plat 2 and adjacent to Highway 65 and recommended denial of the Future Land Use Map amendment from Single-Family Residential to Multi-Family Residential and Commercial on areas as shown on the PUD Conceptual Plan.
4. Table pending additional information.

Staff recommends approval of the attached P&Z recommendation resolution.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. Top Farms PUD Conceptual Plan 2021-08-23
2. RES. PZ-210722-18 - Top Farms Rezoning, Future Land Use Map Amendment



AREA 'A' DEVELOPMENT SUMMARY

SINGLE FAMILY DETACHED LOTS

PERMITTED USES – PRINCIPAL: ONE-STORY, TWO-STORY, AND ONE AND ONE-HALF STORY HOMES.

SETBACKS:
FRONT YARD = 30 FT
REAR YARD = 30 FT PRINCIPAL STRUCTURE
= 5 FT ACCESSORY BUILDING
SIDE YARD = 5 FT PRINCIPAL STRUCTURE
= 3 FT ACCESSORY BUILDING

SIDE YARD (65'-WIDE LOTS) = 15 FT TOTAL, WITH 7' MIN. ON ONE SIDE WHEN TWO-STORY, 5' MIN. ON ONE SIDE WHEN ONE-STORY OR ONE AND ONE-HALF STORY.

UNCOVERED DECKS MAY ENCROACH INTO THE REAR SETBACK UP TO 10 FT FROM REAR PROPERTY LINE. COVERED DECKS MUST MEET REAR YARD SETBACK.

LOT WIDTH RANGE FROM 50 FT TO 90 FT
MIN. LOT AREA = 5,000 SF

MINIMUM FLOOR AREA:
RANCH = 1,000 SF
TWO STORY = 1,000 SF OF LIVABLE SPACE
SPLIT LEVEL = 875 SF ON TWO ADJACENT LEVELS
SPLIT FOYER = 850 SF ON THE MAIN FLOOR

180 LOTS / 54.04 ACRES = 3.3 LOTS/ACRE
* AREA INCLUDES DETENTION PONDS & PARKLAND

AREA 'B' DEVELOPMENT SUMMARY

MULTI-FAMILY: TOWNHOMES OR APARTMENTS

TOWNHOMES (MAX. 12 DU/AC.):
SETBACKS:
FRONT YARD = 25 FT
REAR YARD = 25 FT
UNCOVERED DECKS MAY ENCROACH INTO THE REAR SETBACK UP TO 10 FT FROM REAR PROPERTY LINE. COVERED DECKS MUST MEET REAR YARD SETBACK.
MIN. DISTANCE BETWEEN BUILDINGS = 10 FT
MAXIMUM HEIGHT = 45 FT
TWO PARKING STALLS SHALL BE PROVIDED FOR EACH UNIT.

APARTMENTS (MAX. 20 DU/AC.):

SETBACKS:
FRONT YARD = 30 FT
REAR YARD = 35 FT PRINCIPAL STRUCTURE
= 5 FT ACCESSORY BUILDING
SIDE YARD = 10 FT PRINCIPAL STRUCTURE
= 3 FT ACCESSORY BUILDING
UNCOVERED DECKS MAY ENCROACH INTO THE REAR SETBACK UP TO 10 FT FROM REAR PROPERTY LINE. COVERED DECKS MUST MEET REAR YARD SETBACK.
MIN. DISTANCE BETWEEN BUILDINGS = 15 FT
MAXIMUM HEIGHT = 45 FT
1.5 PARKING STALLS SHALL BE PROVIDED FOR EACH 1 BEDROOM UNIT, AND 2 PARKING STALLS FOR EACH 2 BEDROOM OR LARGER UNIT.

AREA 'C' DEVELOPMENT SUMMARY

COMMERCIAL OR MULTI-FAMILY

MULTI-FAMILY:
AREA 'B' BULK REGULATIONS SHALL ALSO APPLY.

COMMERCIAL:
SETBACKS:
FRONT YARD = 30 FT
REAR YARD = 25 FT PRINCIPAL STRUCTURE
= 5 FT ACCESSORY BUILDING
SIDE YARD SETBACKS SHALL BE NONE EXCEPT WHEN ADJACENT TO RESIDENTIAL DISTRICT THEN A 10' BUFFER WITH 6' OPAQUE FENCE.

THE MAXIMUM HEIGHT OF THE PRINCIPAL BUILDING SHALL BE 55 FEET.
THE MAXIMUM NUMBER OF STORIES SHALL BE 2 STORIES.
THE MINIMUM AMOUNT OF OPEN SPACE SHALL BE 10%.
GENERAL COMMERCIAL (C-2) DISTRICT USES ARE ALLOWED.

OWNER
TOP FARMS LLLP
250 GOLFVIEW DRIVE
DURANT, IA 52747

APPLICANT
HUBBELL REALTY COMPANY
CONTACT: STEVE MOSELEY
6900 WESTOWN PARKWAY
WEST DES MOINES, IA 50266

ZONING
EXISTING: A-1 AGRICULTURAL DISTRICT
PROPOSED: R-5 PLANNED UNIT DEVELOPMENT (PUD) DISTRICT

LEGAL DESCRIPTION
THAT PART OF THE EAST 1/2 OF SECTION 29, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA LYING NORTHERLY OF NE HUBBELL ROAD (US HIGHWAY 65) AND LYING NORTHERLY OF PARK SIDE PLAT 2, AN OFFICIAL PLAT.

- NOTES**
1. ALL UNITS WITHIN AREA 'A' WILL BE REQUIRED TO HAVE A MINIMUM 2-CAR GARAGE.
 2. A MINIMUM OF 30% OF THE LOTS WITHIN AREA 'A' SHALL BE 65' WIDE OR LARGER.
 3. WINDOW WELLS CANNOT ENCROACH INTO SIDE YARD SETBACKS WHEN SIDE YARD SETBACK IS ONLY 5'.
 4. A LANDSCAPE BUFFER OF TREES SHALL BE PROVIDED ON THE LOTS WITHIN AREA 'A' THAT BACK UP TO NE 86TH AVENUE AT THE TIME EACH LOT CONSTRUCTS A HOME.
 5. THE LANDSCAPE BUFFER YARD ALONG HIGHWAY 65 SHALL BE 25 FEET WIDE WITH 1 OVERSTORY, 1 CONIFER, 2 UNDERSTORY TREES, AND 4 SHRUBS AND/OR GRASS EVERY 100 FEET.

PARKLAND DEDICATION
TWO OUTLOTS WILL BE DEDICATED TO THE CITY OF BONDURANT TO CONTRIBUTE TO THE SATISFACTION OF THE PARKLAND REQUIREMENT. PAYMENT IN LIEU OF PARKLAND WILL BE PAID FOR ANY REMAINING PARKLAND REQUIREMENT ACREAGE. PUBLIC PARKLAND DEDICATION SHALL ADHERE TO SECTION 180.06 OF THE SUBDIVISION CODE.

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-210722-18

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST FOR REZONING FROM THE AGRICULTURAL (A-1) DISTRICT TO THE PLANNED UNIT DEVELOPMENT (R-5) DISTRICT ON PROPERTY CURRENTLY OWNED BY TOP FARMS LLLP NORTH OF PARK SIDE PLAT 2 AND ADJACENT TO HIGHWAY 65; AND RECOMMENDED APPROVAL OF THE FUTURE LAND USE MAP AMENDMENT FROM SINGLE-FAMILY DETACHED TO MULTI-FAMILY AND COMMERCIAL IN AREAS SHOWN ON THE PUD CONCEPTUAL PLAN

WHEREAS, on July 22, 2021 the Planning and Zoning Commission held a Public Hearing to consider a request to update the City's Future Land Use Map from Single-Family Residential to Multi-Family and Commercial as shown on the Top Farms PUD Conceptual Plan; AND

WHEREAS, this Public Hearing also included the topic of the request to rezone property described as follows from the City's Agricultural (A-1) District to the Planned Unit Development (R-5) District; AND

THAT PART OF THE EAST ½ OF SECTION 29, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA LYING NORTHERLY OF NE HUBBELL ROAD (US HIGHWAY 65) AND LYING NORTHERLY OF PARK SIDE PLAT 2, AN OFFICIAL PLAT.

WHEREAS, the Planning and Zoning Commission has made the following findings:

1. That the rezoning request will create consistency between the City's Future Land Use Map and Official Zoning Map.
2. That the change in zoning will maintain a consistency with adjacent land uses and provide a transition for adjacent zoning.
3. That the zoning change will not negatively impact the character of the neighborhood.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the Future Land Use Map amendment request from Single-Family Residential to Multi-Family and Commercial in areas as shown on the PUD Conceptual Plan.

NOW, THEREFORE, BE IT FURTHER BE RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the rezoning request from Agricultural (A-1) to Planned Unit Development (R-5).

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, hereby certify that at a meeting of the Planning and Zoning Commission held on August 26, 2021, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

Action	Yay	Nay	Abstain	Absent
Hoyer				
Clayton				
Mains				
Keeran				
Cuellar				
Cameron				
Bostrom				

Torey Cuellar, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.b.
For Meeting of 8/26/2021
Resolution

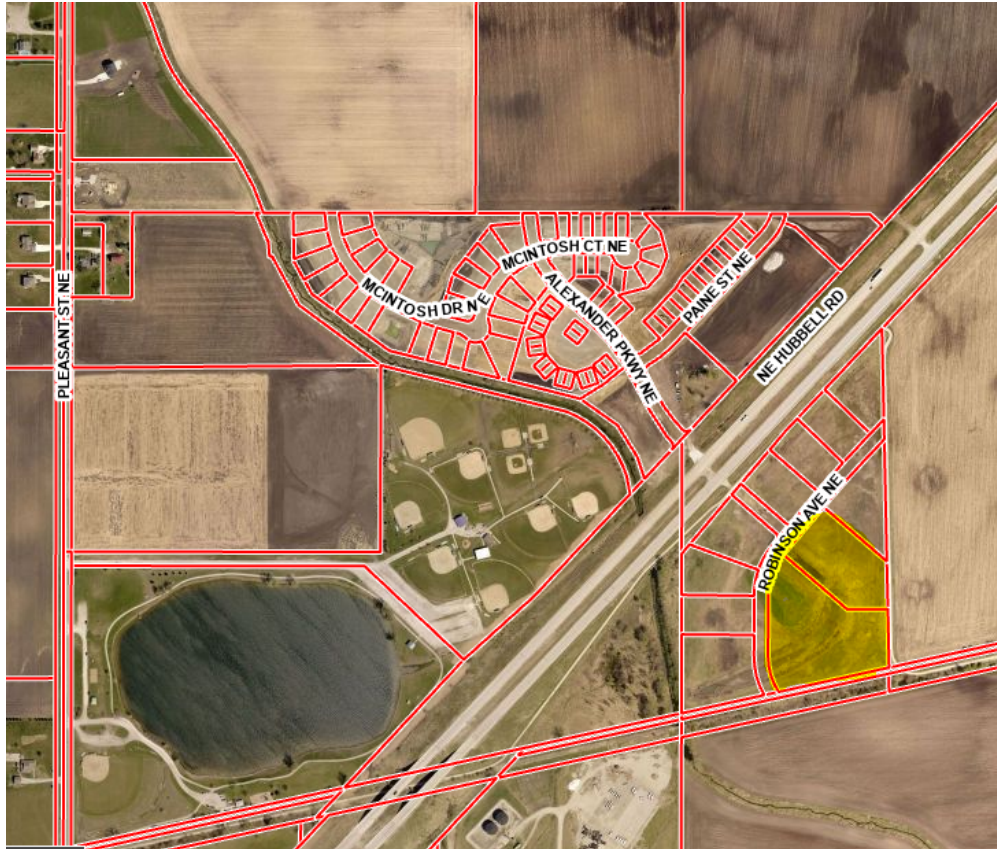
TITLE: PZ-210826-20: Considering recommended approval of the SKOL Trucking site plan at 2415 Robinson Avenue NE

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: Brief History

The City is in receipt of a site plan for review by the Planning & Zoning Commission and City Council for the proposed SKOL Trucking site at 2415 Robinson Avenue NE in the area highlighted on the map below. This site is comprised of Lots 9 & 10 of the Bondurant Industrial Park Final Plat. SKOL Trucking is proposing construction of a 20,000 SF structure at this location. This property is zoned as being within the City's Medium Industrial (M-2) District. The first page of the site plan notes the following uses proposed: office space, shop space, and warehouse space. According to SKOL Trucking's website, here is a summary of the services their business offers: dump truck hauling services, side dumps hauling services, ready-mix trucks are dispatched from their batch plant; and low boy hauling. The SKOL Trucking use is a permitted use per Section 178.14.1.B.D of the Zoning Code, which allows for the following type of use: carting, express, hauling, or storage yards or like business.



When the Planning & Zoning Commission and City Council reviews site plans, they review for consistency with the following documents: Comprehensive Plan; Zoning Code; and Comments from City Officials.

Analysis:

Consistency with the City's Comprehensive Plan

Since the SKOL Trucking use is a by-right permitted use of the M-2 District, no rezoning is proposed. This industrial use is consistent with the City's Future Land Use Map which guides for industrial use within the Bondurant Industrial Park area.

Consistency with the City's Zoning Code

Below are notes detailing how the Zoning Code is met for this request or what additional information is needed to ensure the Code will be met for this development.

• General Commercial Use & Bulk

- A carting, express, hauling, or storage yards or like business is a permitted use of the M-2 District per Section 178.14.1.B.D of the Zoning Code.
- The site plan shows the following minimum M-2 yard setback requirements as being met for this development: 30' front, 20' side, and 40' rear.
- The proposed 1-story building at 25' tall stays under the maximum M-2 building height requirements of Section 178.14.4.F and G.
- The site plan shows a 1.75-acre processing area; further information has been requested on this.

- **Parking/Drive Areas**

- The site plan shows the parking/drive area will be paved as required by Section 177.10.2 of the Zoning Code. As noted, further information has been requested on the proposed processing portion of the site.
- The cover page does not provide a summary of minimum parking stall counts required for this SKOL Trucking use. Per Section 177.09.21 of the Zoning Code, a warehousing use requires at least 1 parking space on the lot per each employee. Site plan to be updated to show that minimum parking stall count requirements will be met.
- Minimum off-street loading space requirements as required by Section 177.08 of the Zoning Code are met with the three off-street loading spaces shown on the site plan.
- Three curb cuts are proposed along Robinson Avenue NE.
- The site plan shows parking spaces will be provided with raised curbing or equivalent, as is required by Section 177.10.8.

- **Stormwater, Utilities, & Natural Features**

- A stormwater management report was submitted and is currently being reviewed by the City Engineer.
- The site plan shows the existing 80' private overland flowage and stormwater easement area along this site's east property line and also the 90'-wide private overland flowage and storm easement area along this site's south property line.
- Page C6 contains the required utility plan. This utility page shows a connection out to the public water main and also a connection out to the public sanitary sewer main of Robinson Avenue NE.
- This site is not situated within FEMA's 100-year floodplain area.
- This site is not situated within the City's Stream Buffer Ordinance area.

- **Landscaping Plan**

- Page C4 contains the required landscaping plan. Notes on this:
 - It appears the noted street frontage of 664' is incorrect. Site plan to be updated to note a corrected street frontage and general tree count requirement so that 1 tree per 50' of street frontage is met.
 - Site plan to be updated to show/note that all trees within the required 30' front yard setback area will be planted at least 4' away from the front property line, as is required by Section 182.05.E.
 - This site shows 57 parking spaces. $57/18 =$ at least 4 interior trees required. The landscaping plan shows 4 interior trees proposed.
 - The landscaping plan notes that deciduous shade and ornamental trees are proposed. The breakdown of trees proposed meets the type requirements as listed in Section 182.05.D.1.
 - The landscaping plan notes that the trees will be a minimum of 1 3/4 inch caliper in size at time of planting, as is required by Section 182.04 of the Zoning Code.

- Further information has been requested so that the site plan shows/notes that 5% of the parking lot area will be interior greenspace, as is required by Section 177.10.7.A.

- **Architectural Elevations**

- Elevations have been received and are attached as part of this agenda statement. Such elevations must be in color as required by Section 179.01.2.I of the Zoning Code. Other notes on building design/material requirements:
 - General requirements as regulated by Section 179.01.2.I.1 -
 - Section 179.01.2.I.2.a - buildings shall be designed such that there is adequate treatment or screening of negative aspects (loading areas, loading docks, HVAC mechanical units, non-residential overhead doors, etc.) from the public right-of-way and adjoining properties. *The loading dock and loading space areas will be situated east of the building away from the Robinson Avenue NE right-of-way. The Chichaqua Valley Trail does currently exist just east of this property's east property line - further information has been requested from the site plan engineer on how screening will be met relative to this topic.*
 - Section 179.01.2.I.1.a - buildings shall be designed to not expose loading docks or loading areas to the public unless screening is proposed. *The loading dock and loading space areas will be situated east of the building away from the Robinson Avenue NE right-of-way. The Chichaqua Valley Trail does currently exist just east of this property's east property line - further information has been requested from the site plan engineer on how screening will be met relative to this topic.*
 - Section 179.01.2.I.1.b requires that roof mounted mechanical units shall be screened from view of public right-of-way. *Further information on this has been requested from the site plan engineer on how this roof screening requirement will be met.*
 - Further information has been requested by the site plan engineer on how far away the building will be situated from the Highway 65 right-of-way line. If within 500', the building is subject to Overlay District material/design requirements. If further away than 500', then this building is subject to general Industrial District building design/material requirements. An analysis of building design/material requirements will be conducted once this clarification has been provided.

- **Other Site Plan Features**

- No detached monument signage is proposed as part of this site's development. If such signage is proposed in the future, the sign installer must obtain the required sign permit prior to installation.

- A note has been relayed to the site plan engineer that parking lot lighting must be directed away from any adjacent residential properties, if applicable.
- If an exterior dumpster is proposed, site plan to be updated to show its location.
- Similar to the first development site within the Bondurant Industrial Park at 2404 Robinson Avenue NE, no public sidewalks are shown at this SKOL Trucking site at 2415 Robinson Avenue NE. The City may in the future require installation on public sidewalks within this area as authorized by Chapter 136 of the City Code.

Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. Public Works - John Horton, Public Works Director, reviewed and noted that further clarification is requested relative to the proposed outdoor processing area.
2. Engineering - Bob Veenstra, City Engineer, is still reviewing the submitted site plan and stormwater management report. The resolution takes his pending review into account.
3. Fire Department - Fire Chief Aaron Kreuder reviewed and noted no fire code comments/concerns.

FUNDING SOURCE: N/A for site plan reviews.

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. Recommended approval of the SKOL Trucking site plan at 2415 Robinson Avenue NE.
2. Recommended approval of the SKOL Trucking site plan at 2415 Robinson Avenue NE, subject to Zoning Code clarification items being met.
3. Recommended denial of the SKOL Trucking site plan at 2415 Robinson Avenue NE.
4. Table pending additional information.

Staff recommends approval of the attached P&Z resolution regarding recommended approval of the SKOL Trucking site plan at 2415 Robinson Avenue NE. The attached resolution notes the following Zoning Code clarification items:

1. Site plan application fee must be paid prior to Council's consideration.
2. Utility connection fee district fees must be paid prior to building permit issuance.
3. Site plan to be updated to note this site's address of 2415 Robinson Avenue NE.
4. Clarification to be provided on SF of building proposed (site plan notes 15,000 SF but shows 20,000 SF).
5. Site plan must label all surface materials. Clarification has been requested relative to the labeled processing area.
6. Street frontage calculations to be corrected.
7. Interior greenspace % must be listed on site plan.
8. Elevations must be in color.
9. Clarification to be provided on whether or not building falls within 500' of Highway 65 public right-of-way. This information will determine building design/material requirements at this location.

10. Directions noted on elevations to be corrected so they are consistent with the orientation of the building shown on the site plan.
11. Clarification requested on if any roof mechanicals are proposed. If so, must be screened per the Zoning Code's screening requirements.
12. Clarification requested on if an exterior dumpster is proposed.
13. Clarification requested on how adequate screening will be provided between the loading areas of this SKOL Trucking use and the CVT trail portion just east.
14. If applicable, all parking lot lighting shall be directed away from any adjacent residential uses.
15. Clarification to be provided showing that all trees will be planted at least 4' away from the front property line area.
16. Any additional review comments provided by the City Engineer must also be addressed.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. 21-051 - Skol Trucking Site Plan
2. Skol Trucking Elevations
3. RESOLUTION NO. PZ-210826-20 - SKOL Trucking Site Plan

SITE ADDRESS
xxxx ROBINSON AVENUE SE
BONDURANT, IOWA 50035

SITE USE
VACANT LOT

ZONING
EXISTING: M-2 INDUSTRIAL DISTRICT
PROPOSED: N/A
ADJACENT ZONING:
NORTH: R.O.W.
EAST: M-2
SOUTH: A-1 AGRICULTURAL DISTRICT
WEST: R.O.W.

SETBACKS
FRONT: 30 FEET, FROM EXISTING OR PROPOSED RIGHT-OF-WAY LINE
SIDE: 20 FEET, 25 FT, IF ADJACENT TO STREET, "R" OR "C-1" DISTRICT
REAR: 40 FEET, UNLESS LOT IS ADJACENT TO A RAILROAD RIGHT-OF-WAY, THEN NOT REQUIRED

BUILDINGS
EXISTING: N/A
PROPOSED: ~ 100' x 150' - 15,000 SQ.FT.

BUILDING USES
OFFICE SPACE, SHOP SPACE, AND WAREHOUSE SPACE

BUILDING HEIGHT
MAX BUILDING HEIGHT: 80 FT. WITH AN ADDITIONAL 12 FEET (1 STORY) OF HEIGHTS PERMITTED FOR EVERY 10 FEET OF ADDITIONAL BUILDING SETBACK FOR AN OVERALL MAXIMUM OF NO MORE THAN AN AVERAGE OF 104 FEET BUILDING HEIGHT FROM FINISHED FLOOR.

PROPOSED HEIGHT: 25 FT

MAX FLOOR AREA RATIO
NONE

PAVING
APPROACHES: 8" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***
TRUCK ROUTES: 8" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***
PARKING LOT: 6" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***

***6" CRUSHED ROCK SUBBASE THAT COMPLIES WITH AASHTO M147 GRADE C OR GRADE D AND SUBGRADE THAT IS COMPACTED TO 95% STANDARD PROCTOR DENSITY. GEOTECHNICAL REPORT UNAVAILABLE AT THE TIME OF CIVIL SET PREPARATION. VERIFY SUBBASE DEPTH WITH ENGINEER PRIOR TO CONSTRUCTION.

SITE AREA
7.10 ACRES (309,330 SQ.FT.)

OPEN SPACE
EXISTING: 100% (309,330 SQ.FT.)
REQUIRED: 10% (30,933 SQ.FT.)
PROPOSED: 37.9% (117,184 SQ.FT.)

IMPERVIOUS SPACE
EXISTING: 0% (0 SQ.FT.)
PROPOSED: 62.1% (192,146 SQ.FT.)

PARKING
33 SPACES (INCLUDING 2 HANDICAP PARKING STALLS)
24 LARGE VEHICLE SPACES
4 SEMI-TRAILER SPACES

SIGN
NO SIGN PROPOSED AT THIS TIME

DISTURBED AREAS
ESTIMATED: 245,646 SQ. FT.
ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED.
THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS REQUIRED.

FLOODPLAIN
PER FEMA MAP #19153C0235F, THE SITE IS LOCATED IN ZONE X, THERE ARE AREAS OF MINIMUM FLOOD HAZARD, A PORTION OF THE SITE IS IN ZONE "A" FLOOD AREAS WITHOUT BASE FLOOD ELEVATION

FAA
PER FAA NOTICE CRITERIA TOOL, SITE DOES NOT EXCEED NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE CRANE HEIGHT) AND THEREFORE FILING WITH THE FAA IS NOT REQUIRED
AERONAUTICAL NUMBERS: IN PROGRESS

SITE IMPROVEMENTS FOR SKOL TRUCKING xxxx ROBINSON AVENUE SE BONDURANT, IOWA

VICINITY MAP



SHEET INDEX

- C1 - COVER SHEET
- C2 - NOTE SHEET
- C3 - TOPO SHEET
- C4 - SITE SHEET
- C5 - GRADING SHEET
- C6 - UTILITY SHEET

IOWA ONECALL CONTACT LIST:

(BON)BONDURANT, CITY OF	Patrick Collison	5159716856	pcollison@cityofbondurant.com
(BON)BONDURANT, CITY OF	Patrick Collison	5159716856	pcollison@cityofbondurant.com
(M52E)MIDAMER-ELEC	Craig Ranfeld	5152526632	MECDSDesignLocates@midamerican.com
(M57E)MIDAMER-ELEC	JAMIE NEER	5152526972	MECDSDDESIGNLOCATES@MIDAMERICAN.COM
(SPR)SOUTHEAST POLK RURAL WATER DIS	Ed Clark	5153236244	onecallmaps@dmww.com
(WCG)CENTURYLINK	Tech On Duty	8773668344	Nationalrelo@Centurylink.com
(M52G)MIDAMER-GAS	Craig Ranfeld	5152526632	MECDSDDesignLocates@midamerican.com

LEGEND:

F.F. FINISHED FLOOR
+/- MORE OR LESS
123.45G GUTTER ELEVATION
123.45TC TOP OF CURB ELEVATION
123.45/ 123.45 EXISTING/ PROPOSED ELEVATION
FL FLOWLINE ELEVATION
CONTROL POINT
CALCULATED CORNER
FOUND CORNER

▲ CALCULATED SECTION CORNER
▽ FOUND SECTION CORNER
□ PARKING SPACE
SIGN
STREET LIGHT
POWER POLE
LIGHT POLE
AREA LIGHT
ELEC. TRANSFORMER
ELEC. METER
ELEC. BOX

EV ELEC. MANHOLE
ELEC. VAULT
GUY ANCHOR
TEL. JUNCTION BOX
CABLE TV JUNCTION BOX
GAS VALVE
GAS METER
SANITARY SEWER MANHOLE
STORM SEWER MANHOLE
CLEANOUT
DOWNSPOUT

SINGLE INTAKE
AREA INTAKE
THROAT INTAKE
FLARED END SECTION
VALVE
FIRE HYDRANT
WATER METER
WATER VALVE
WATER TEE
PROPOSED UTILITY LINE
EXISTING UTILITY LINE

CATV CABLE TELEVISION
FO FIBER OPTIC
G GAS LINE
OHE OVERHEAD ELEC.
OHT OVERHEAD TEL.
SAN SANITARY SEWER
ST STORM SEWER
UGE UNDERGROUND ELEC.
UGT UNDERGROUND TEL.
W WATER
FENCE LINE

LEGAL DESCRIPTION:

LOTS 9 AND 10 IN BONDURANT INDUSTRIAL PLAT, ALL BEING IN AND FORMING A PART OF THE CITY OF BONDURANT, POLK COUNTY, IA.

DEVELOPER

BONDURANT BUSINESS PARK LLC
2450 73RD STREET
URBANDALE, IOWA 50322
PROJECT CONTACT: JAMIE MYERS
PHONE: (515) 440-1111
EMAIL: JAMIE@PARAMOUNT-MIDWEST.COM

ENGINEER/ LAND SURVEYOR

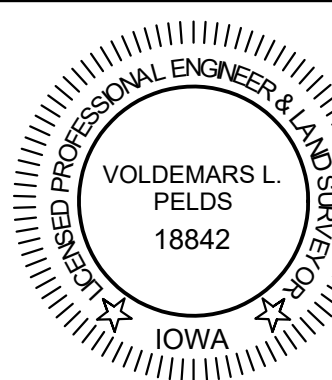
PELDS DESIGN SERVICES
2323 DIXON ST
DES MOINES, IOWA 50316
PROJECT CONTACT: ELARA JONDLE
PHONE: (515) 265-8196
EMAIL: ELARA@PELDS.COM

CITY CONTACT

CITY OF BONDURANT
200 2ND STREET BOX 37
BONDURANT, IOWA 50035
PROJECT CONTACT: MAGGIE MURRAY
PHONE: (515) 630-6985
EMAIL: PLANNING@CITYOFBONDURANT.COM

ARCHITECT

PELDS DESIGN SERVICES
2323 DIXON STREET
DES MOINES, IOWA 50316
PROJECT CONTACT: DANIEL WILLRICH
PHONE: (515) 265-8196
EMAIL: DANIEL@PELDS.COM



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

VOLDEBARNS L. PELDS, P.E. IA LIC. NO. 18842 DATE
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021
ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE): C1-C6



Architecture | Engineering | Surveying
2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

REVISIONS:

TITLE: SKOL TRUCKING xxxx ROBINSON AVENUE SE BONDURANT, IOWA			REVISIONS: PRELIMINARY	
BENCHMARK:				
COPYRIGHT DATE: -----	DRAWN BY: N. DAY	SCALE: -----	DATE: 7.29.2021	DRAWING NO: 20-051
FILE PATH: J:\2021 Projects\21-051 - Skol Trucking\Engineering\Site Plan\Sheet Set			C1 - Cover Sheet	

GENERAL NOTES

- THE CITY OF BONDURANT MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- ALL PROPOSED MATERIALS AND STRUCTURES SHALL BE APPROVED BY THE CITY OF BONDURANT AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- PELDS DESIGN SERVICES SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- IF A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNER'S REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF BONDURANT.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES OR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ALL CONSTRUCTION WITHIN THE PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF BONDURANT.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BONDURANT TO SCHEDULE ANY REQUIRED INSPECTIONS AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS
- IN THE EVENT OF ANY CONFLICTING NOTES BETWEEN THE COVER SHEET AND ALL OTHER SHEETS, THE NOTES ON THE COVER SHEET SHALL SUPERCEDE ALL OTHERS
- IN THE EVENT OF ANY CONFLICTING INFORMATION BETWEEN THE LABEL, ELECTRONIC CAD FILE, AND THE ELECTRONIC SURFACE, THE DESIGN ENGINEER SHALL BE CONTACTED FOR CLARIFICATION

SURVEY NOTES

- SURVEY WORK WAS COMPLETED BY PELDS DESIGN SERVICES IN JANUARY 2021. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

STAKING NOTES

- IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
- IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
- STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

DEMO NOTES

- SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
- PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
- PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
- PROPERLY DISCONNECT ALL PUBLIC AND PRIVATE UTILITIES, AS NECESSARY.
- COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE AND PROPERLY DISPOSE OF SIDEWALKS, STEPS, DRIVEWAYS, AND STRUCTURES (INCLUDING BOTH ABOVE GROUND AND BELOW GROUND ELEMENTS).
- COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE FUEL TANKS, SEPTIC TANKS, CISTERNS, AND ANY OTHER UNDERGROUND FACILITIES; AND TO PROPERLY DISPOSE OF ANY LIQUIDS OR PRODUCTS CONTAINED WITHIN THESE ITEMS.
- PLACE BACKFILL MATERIAL IN HOLES AND DEPRESSIONS, GRADE THE SITE, AND ESTABLISH GROUND COVER.
- PROTECT EXISTING FIRE HYDRANTS, STREET LIGHTS, TRAFFIC SIGNALS, UTILITY POLES, FIRE ALARM BOXES, WIRE CABLES, UNDERGROUND UTILITIES, AND OTHER APPURTENANCES IN THE VICINITY OF THE DEMOLITION SITE
- COMPLY WITH NOISE POLLUTION REQUIREMENTS AND ANY WORKING HOUR RESTRICTIONS OF THE JURISDICTION.
- MAINTAIN OR RE-ESTABLISH ALL TILES, ROADWAY SUBDRAINS, CULVERTS, OR OTHER DRAINAGE FACILITIES NOT IDENTIFIED IN THE CONTRACT DOCUMENTS FOR REMOVAL.
- IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR EACH SITE PRIOR TO INITIATING DEMOLITION BY PLACING ALL REQUIRED DEVICES; INCLUDE MEASURES TO PREVENT TRACKING OF MUD ONTO ADJACENT STREETS OR ALLEYS.
- COMPLY WITH ALL APPLICABLE AIR POLLUTION REQUIREMENTS OF THE JURISDICTION. USE WATER OR APPROPRIATE CHEMICALS FOR CONTROL OF DUST IN THE DEMOLITION AREA, ON HAULING EQUIPMENT, ON ADJACENT ROADWAYS, AND WHEN GRADING THE SITE.
- TAKE STEPS TO PREVENT THE GENERATION OF LITTER DURING DEMOLITION AND COLLECT ALL LITTER FROM THE DEMOLITION AREA AT THE END OF EACH WORKING DAY. LOAD TRUCKS TO PREVENT LEAKAGE OR BLOWING OF DEBRIS.
- REMOVE ALL CONCRETE, ASPHALT, OR MASONRY SLABS AND APPURTENANCES.
- REMOVE AND DISPOSE OF ALL BRUSH, SHRUBS, TREES, LOGS, DOWNED TIMBER, AND OTHER YARD WASTE ON THE SITE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. DO NOT MIX WITH DEMOLITION MATERIAL. REMOVE STUMPS TO A MINIMUM OF 2 FEET BELOW FINISH GRADE. PROTECT ANY TREES OR OTHER VEGETATION NOT DESIGNATED FOR REMOVAL BY PLACING A FENCE AT THE DRIP LINE ENCOMPASSING THE ENTIRE TREE AND KEEPING ALL OPERATIONS OUTSIDE OF THE FENCED IN AREA, INCLUDING STORAGE OF EQUIPMENT OR MATERIALS. AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY, REPLACE ANY TREES THAT ARE DESIGNATED FOR PROTECTION BUT ARE DAMAGED BEYOND TREATMENT. THE ENGINEER WILL DETERMINE SIZE AND SPECIES OF THE REPLACEMENT TREE.
- SAW-CUT ALL HARD SURFACING AT LOCATION OF REMOVAL LIMITS.
- WHERE SELECTIVE DEMOLITION IS SHOWN AT PAVED AREAS, DEMOLISH THE EXISTING PAVING BACK TO AN EXISTING CONTROL JOINT NEAR THE LOCATION SHOWN.

WETLAND NOTES

- PELDS DESIGN SERVICES DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

DISCLAIMER

- THIS DRAWING IS BEING MADE AVAILABLE BY PELDS DESIGN SERVICES (P.D.S.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH P.D.S.'S AGREEMENT FOR PROFESSIONAL SERVICES. P.D.S. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.
- P.D.S. DISCLAIMS ANY AND ALL LIABILITY OR RESPONSIBILITY FOR INFORMATION THAT DOES NOT BEAR THE ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL IN CHARGE.

CIVIL ENGINEERING NOTES
FOR
SKOL TRUCKING
XXXX ROBINSON AVENUE SE
BONDURANT, IOWA

UTILITY NOTES

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- PIPE LENGTHS CALLED OUT ON PLANS DO NOT INCLUDE FLARED END SECTION, WHERE APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RELOCATE EXISTING UTILITIES AS NECESSARY, SHOWN OR NOT SHOWN.
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY ON ALL SIZE, DEPTHS, AND MATERIALS OF ALL PROPOSED UTILITIES.
- THE CONTRACTOR MUST PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES IF REQUIRED BY CITY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
- CONTRACTOR IS TO COMPLY WITH THE LATEST SUDAS SPECIFICATIONS FOR MAINTENANCE, INSTALLATION, AND TESTING FOR CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- ALL STRUCTURE SIZES CALLED OUT ON PLANS ARE MINIMUM INSIDE WALL DIMENSIONS.
- ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
- ALL STRUCTURES CALLED OUT AS "MODIFIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURE STABILITY. MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPER STRUCTURES. ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID

ELECTRICAL SERVICE NOTES

- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS
- TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

SANITARY SERVICE NOTES

- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2% FOR A 4" PIPE AND 1% FOR A 6" PIPE. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATER MAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.

STORM WATER SERVICE NOTES

- ALL STORM SEWER IN THE ROW SHALL BE RCP (CLASS III RCP), UNLESS OTHERWISE SPECIFIED.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL SUMP SERVICE LINES SHALL HAVE TRACE WIRE

WATER SERVICE NOTES

- WATER SERVICE SHALL BE TYPE K COPPER, DIP OR HDPE, DEPENDING ON SIZE AND JURISDICTIONAL REQUIREMENTS. IF CONTAMINATED OR "HOT" SOILS, ENSURE APPROPRIATE PIPE IS BEING UTILIZED. SIZE OF WATER MAIN AS SHOWN ON PLANS.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION.
- ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BENDS, SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER UNLESS NOTED OTHERWISE.

EXISTING UTILITIES NOTE

- THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION: IOWA ONE-CALL (1-800-292-8989).

UTILITY CONFLICT NOTES

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION THAT ARE EITHER CALLED OUT ON THE PLANS OR NOT CALLED OUT.
- CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
- FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY PELDS DESIGN SERVICES PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

SPECIFICATIONS NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF BONDURANT SUPPLEMENTAL SPECIFICATIONS.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND THE CITY OF BONDURANT REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT, THE CITY OF BONDURANT STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF THE ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.

REQUIRED AS-BUILT NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO, IF REQUIRED BY CITY.
- CONTRACTOR SHALL CONTACT PELDS DESIGN SERVICES TO PERFORM SAID AS-BUILT SURVEYS.
- IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

PAVING NOTES

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF BONDURANT SPECIFICATIONS AND THE LATEST VERSION OF SUDAS.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- DETECTABLE WARNING PANEL(S) CALLED OUT ON PLANS SHALL BE PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- SIDEWALKS SHALL HAVE EXPANSION JOINTS AT 100 FOOT INTERVALS AS REQUIRED BY CITY CODE
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

PAVEMENT SAWCUT NOTES

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L-1' OR 'L-2' JOINTS AND HAVE STEEL. INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' OR TYPE 'K' JOINTS. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

SOIL NOTES

- STRIP AND STOCKPILE THE TOP 8 INCHES OF SOIL ON ALL DISTURBED AREAS. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING.
- SOD REQUIREMENT PER SUDAS: IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED, A SODBED SHOULD BE CONSTRUCTED BY SPREADING A MINIMUM OF 6 INCHES OF TOPSOIL PRIOR TO SODDING. DEEPER TOPSOIL DEPTHS (8 TO 12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- PERMANENT SEED REQUIREMENT PER SUDAS: IN ORDER TO PROVIDE AN ADEQUATE GROWING MEDIUM, A MINIMUM OF 8 INCHES OF TOPSOIL SHOULD BE PLACED OVER THE DISTURBED AREA PRIOR TO SEEDING. DEEPER TOPSOIL DEPTHS (8-12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
- TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL SOILS INFORMATION INCLUDING BUT NOT LIMITED TO SUBGRADE INFORMATION, FOOTING DESIGN, AND ANY POSSIBLE OVER EXCAVATION DUE TO POOR SOILS. PAVEMENT SECTIONS ON THE PLANS GOVERN OVER PAVEMENT THICKNESS IN THE SOILS REPORT.

GRADING NOTES

- AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 12 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RE-COMPACTED WITH ON-SITE FILL MATERIALS.
- ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
- FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FT, AND PAVED AREAS SHALL BE WITHIN 0.10 FT OF THE PROPOSED GRADES SHOWN ON THE PLAN
- MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
- THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
- MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.

LANDSCAPING NOTES

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SEED OR SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES. SEED ALL DISTURBED AREAS OFF-SITE
- STAKE SOD ON ALL SLOPES 4:1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH OR BRICK CHIPS OR WASHED STONE AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- PROVIDE 6MIL MINIMUM PLASTIC BELOW ROCK/BRICK.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- CONTRACTOR SHALL DESIGN AND PROVIDE IRRIGATION SYSTEM. COORDINATION WITH ARCHITECT REQUIRED.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.



PELDS Design Services

Architecture | Engineering | Surveying

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SKOL TRUCKING
XXXX ROBINSON AVENUE SE
BONDURANT, IOWA

PRELIMINARY

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FILE PATH: J:\2021 Projects\21-051 - Skol Trucking\Engineering\Site Plan\Sheet Set

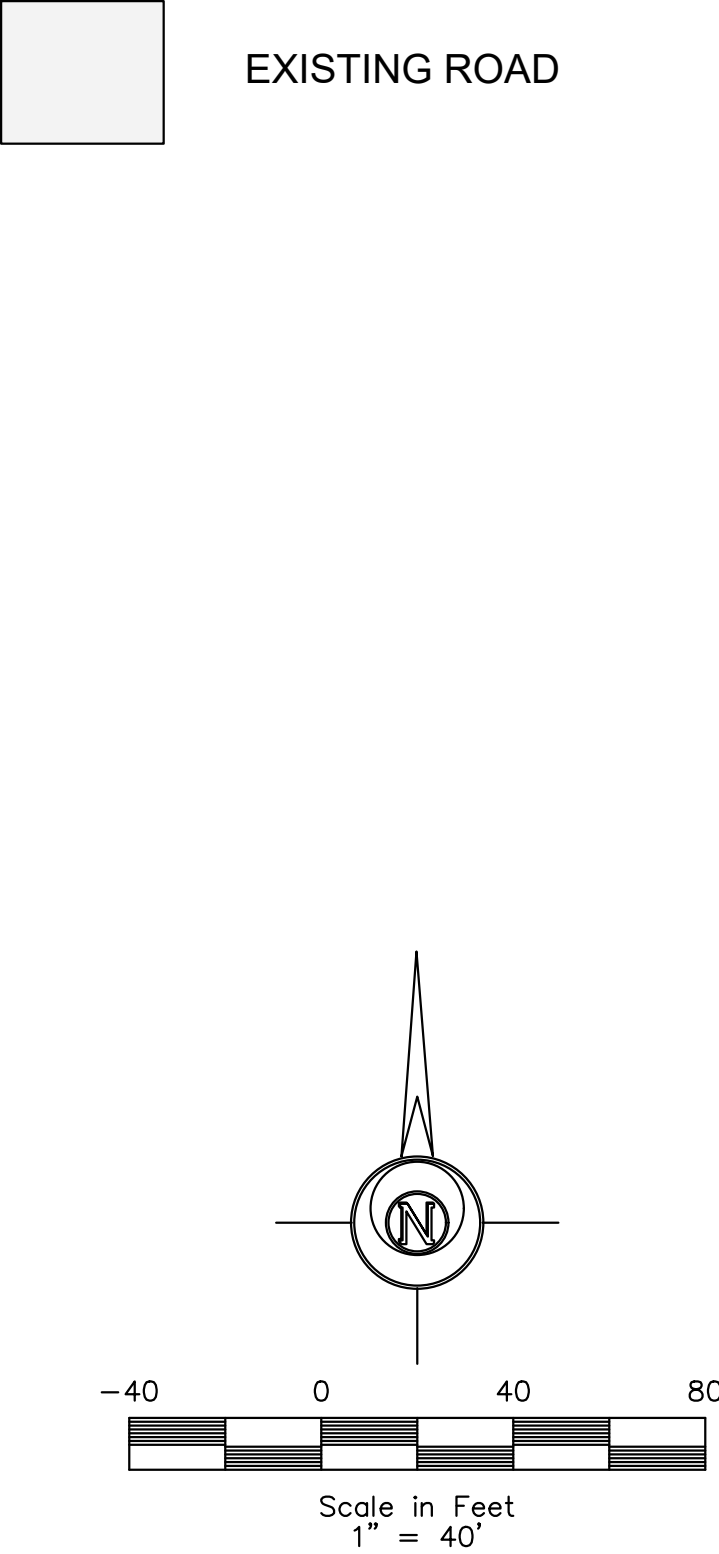
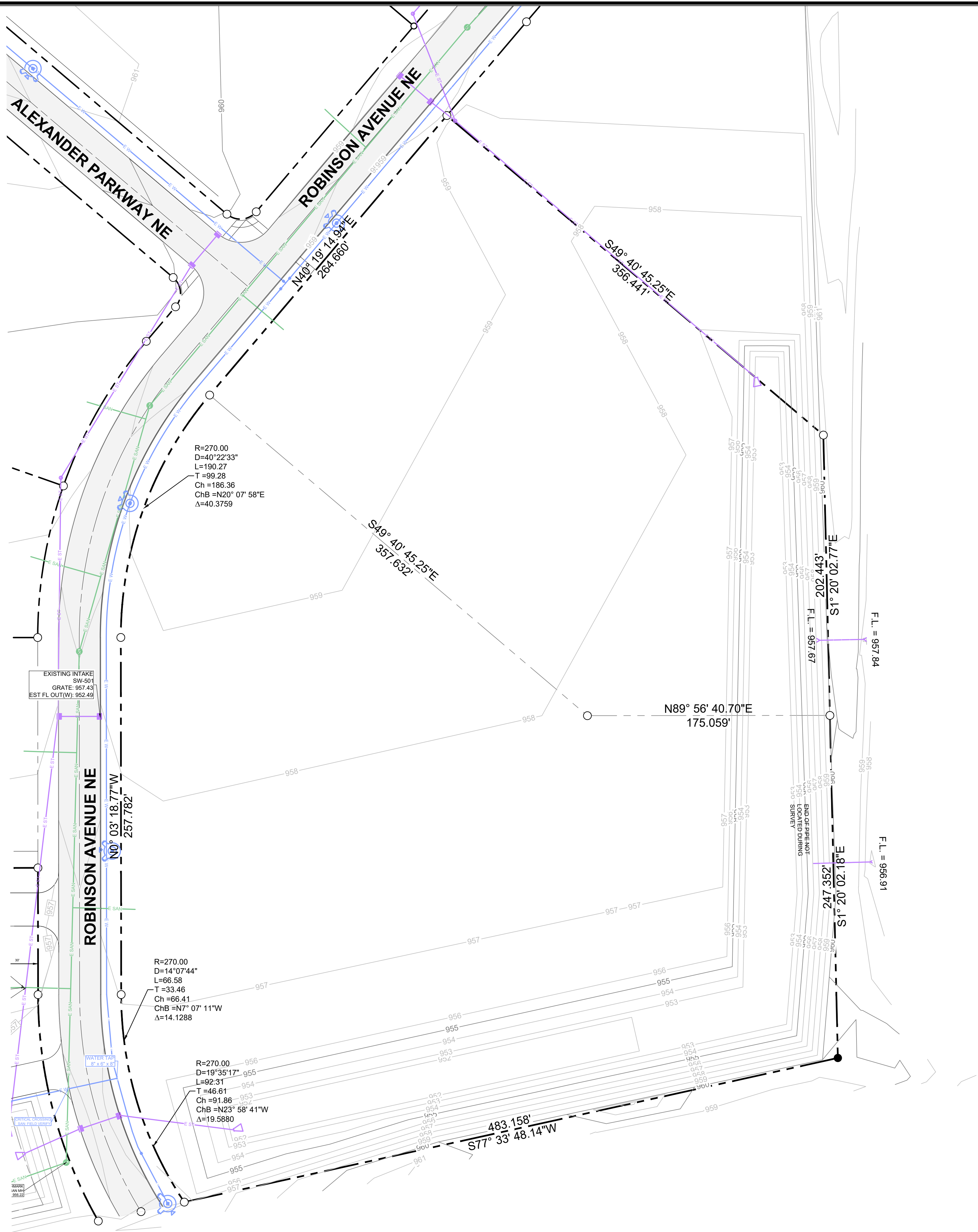
DRAWN BY: N. DAY

SCALE:

LATEST REVISION: 7.29.2021

DRAWING NO: 20-051

C2 - Note Sheet



LEGEND:			
+/-	MORE OR LESS	⊗	ELEC. MANHOLE
F.F.	FINISHED FLOOR	⊙	SANITARY SEWER MANHOLE
123.45G	GUTTER ELEVATION	⊖	STORM SEWER MANHOLE
123.45TC	TOP OF CURB ELEVATION	⊕	TRAFFIC MANHOLE
123.45/123.45	EXISTING/ PROPOSED ELEVATION	⊖	CLEANOUT
FL	FLOWLINE ELEVATION	⊖	DOWNSPOUT
⊙	CONTROL POINT	⊖	AREA INTAKE
⊙	CALCULATED CORNER	⊖	SINGLE INTAKE
●	FOUND CORNER	⊖	THROAT INTAKE
△	CALCULATED SECTION CORNER	⊖	FLARED END SECTION
▲	FOUND SECTION CORNER	⊖	GAS VALVE
⊖	PARKING SPACE	⊖	FIRE HYDRANT
⊖	SIGN	⊖	WATER VALVE
⊖	STREET LIGHT	P XX	PROPOSED UTILITY LINE
⊖	POWER POLE	E XX	EXISTING UTILITY LINE
⊖	LIGHT POLE	CATV	CABLE TELEVISION
⊖	AREA LIGHT	FO	FIBER OPTIC
⊖	GUY ANCHOR	GAS	GAS LINE
⊖	TEL. JUNCTION BOX	OHE	OVERHEAD ELEC.
ET	ELEC. TRANSFORMER	OHT	OVERHEAD TEL.
EM	ELEC. METER	SS	SANITARY SEWER
EB	ELEC. BOX	ST	STORM SEWER
EV	ELEC. VAULT	UGE	UNDERGROUND ELEC.
FOV	FIBER OPTIC VAULT	UGT	UNDERGROUND TEL.
GM	GAS METER	W	WATER
TV	CABLE TV JUNCTION BOX	⊖	FENCE LINE
WM	WATER METER		

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TITLE

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RETURNS

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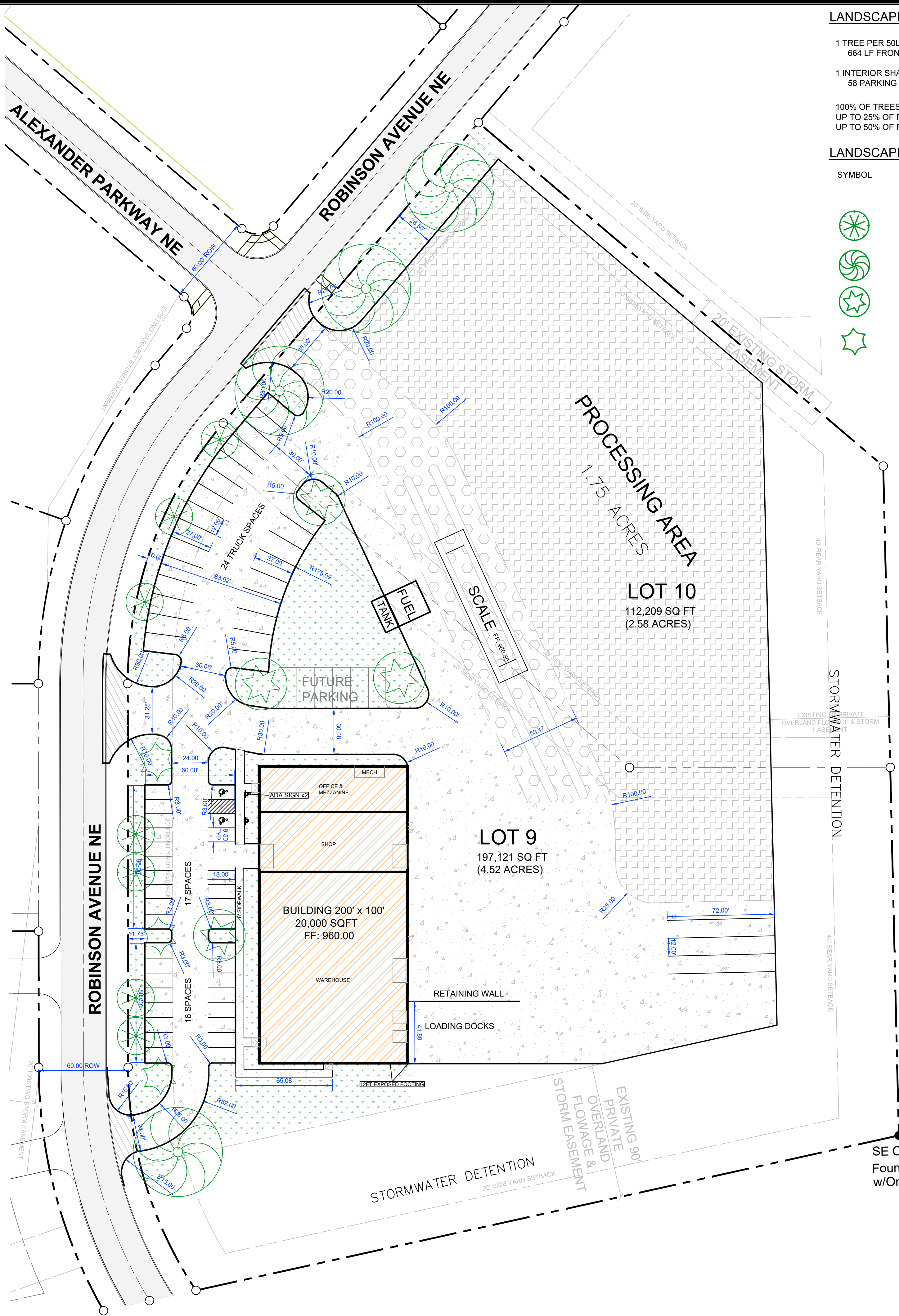
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C3 - Topo Sheet

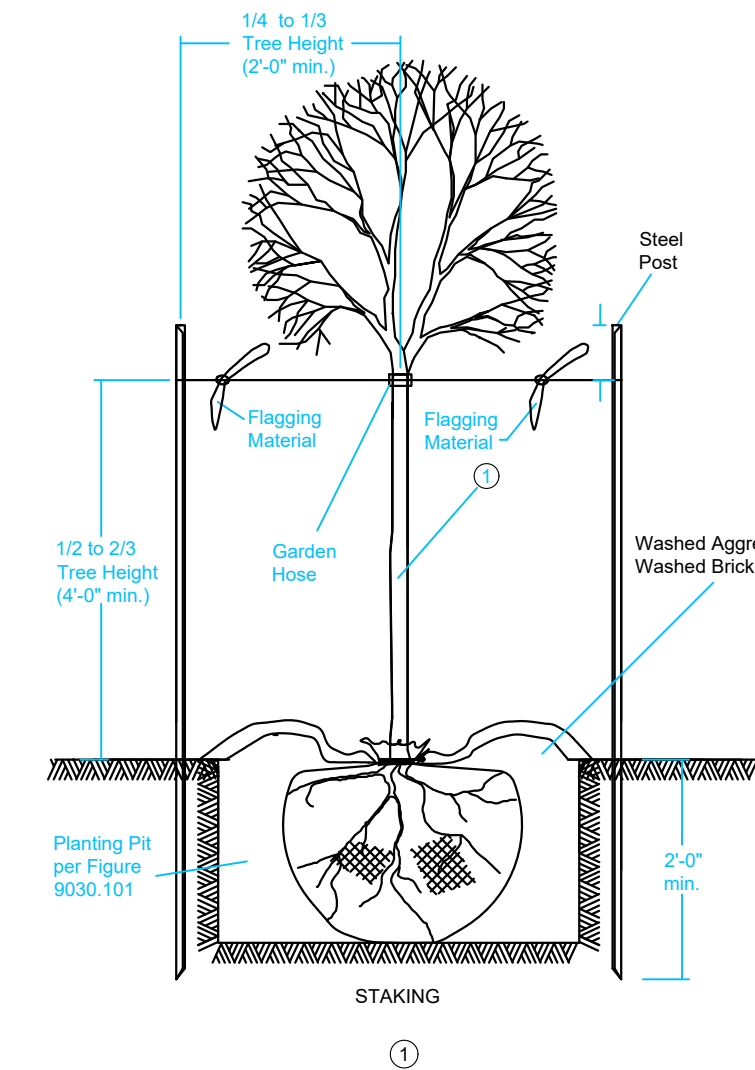


LANDSCAPING REQUIREMENTS

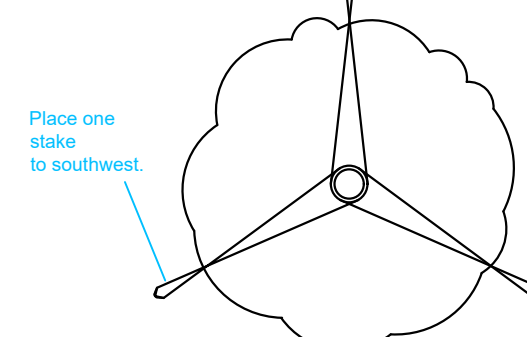
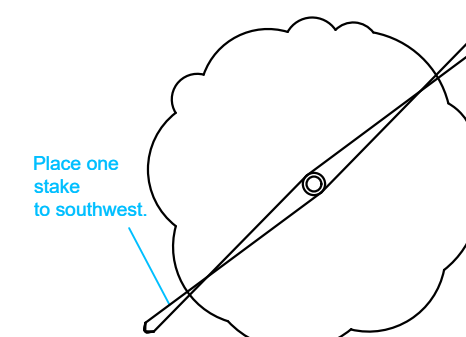
- 1 TREE PER 50LF FRONTAGE
664 LF FRONTAGE = 14 FRONTAGE TREES
- 1 INTERIOR SHADE TREE PER 8 PARKING SPACES
58 PARKING SPACES = 4 INTERIOR TREES
- 100% OF TREES MAY BE DECIDUOUS SHADE/OVERSTORY TREES
UP TO 25% OF FRONTAGE TREES MAY BE ORNAMENTAL, EVERGREEN, OR CONIFEROUS
UP TO 50% OF FRONTAGE TREES MAY BE QUICK GROWING TREES

LANDSCAPING SCHEDULE:

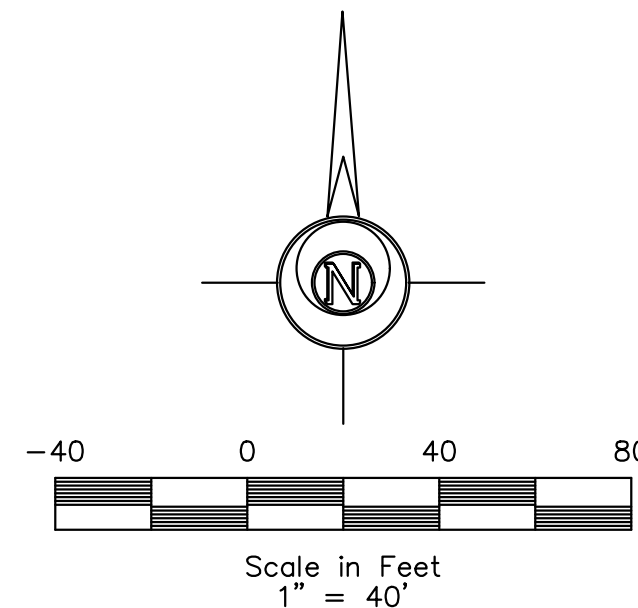
SYMBOL	#	COMMON NAME (BOTANICAL NAME)	PLANTING SIZE	MATURE SIZE (HEIGHT & SPREAD)	TYPE
	7	KATSURA TREE (CERCIDIPHYLLUM JAPONICUM)	MIN 1.75" CALIPER B&B	40'-60' & 20'-30'	SHADE
	4	RED OAK TREE (QUERCUS RUBRA)	MIN 1.75" CALIPER B&B	50'-75' & 50'-75'	SHADE
	4	CHINESE ELM TREE (ULMUS PARVIFOLIA)	MIN 1.75" CALIPER B&B	40'-50' & 25'-40'	SHADE
	3	AMERICAN SMOKE TREE (COTINUS OBOVATUS)	MIN 1.75" CALIPER B&B	20'-30' & 20'-30'	ORNAMENTAL
TOTAL: 18					



Wrap trunk from ground line to first branch when specified in the contract documents.



- PROCESSING AREA
- 8" PROPOSED P.C.C.
- EXISTING ROAD
- 6" PROPOSED P.C.C.
- PROPOSED BUILDING
- PROPOSED SOD/SEEDING



DISABLED SIGN WITH REQUIRED UNIVERSAL SYMBOL OF ACCESSIBILITY, INCLUDE APPROPRIATE WORDING TO CLEARLY INDICATING THAT THE SPACE IS RESERVED FOR THE EXCLUSIVE USE OF VEHICLES WHICH DISPLAY A DISTINGUISHING LICENSE PLATE OR CARD

SIGN INDICATING THIS SPACE IS A 'VAN ACCESSIBLE' SPACE

A SIGN STATING "\$XXX FINE", IF REQUIRED BY AUTHORITY HAVING JURISDICTION. FINE AMOUNT PER LOCAL REQUIREMENT

NOTE: VERIFY HEIGHT OF H.C. SIGN FROM TOP OF GRADE WITH LOCAL AUTHORITY. SIGNAGE AND POST PROVIDED BY OWNER

ADA PARKING SIGN

30" Minimum

3" 4.5"

6" PCC Curb

6" or 8" PCC

6" Crushed Rock

12" Compacted Subgrade

95% Standard Proctor

PROPOSED P.C.C. PAVEMENT / CURB

LEGEND:

- +/- F.F. MORE OR LESS FINISHED FLOOR
- 123.45G GUTTER ELEVATION
- 123.45TC TOP OF CURB ELEVATION
- 123.45/ 123.45 EXISTING/ PROPOSED ELEVATION
- FL FLOWLINE ELEVATION
- CONTROL POINT
- CALCULATED CORNER
- FOUND CORNER
- CALCULATED SECTION CORNER
- FOUND SECTION CORNER
- PARKING SPACE
- SIGN
- STREET LIGHT
- POWER POLE
- LIGHT POLE
- AREA LIGHT
- GUY ANCHOR
- TEL. JUNCTION BOX
- ELEC. TRANSFORMER
- ELEC. METER
- ELEC. BOX
- ELEC. VAULT
- FIBER OPTIC VAULT
- GAS METER
- CABLE TV JUNCTION BOX
- WATER METER
- ELEC. MANHOLE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- TRAFFIC MANHOLE
- CLEANOUT
- DOWNSPOUT
- AREA INTAKE
- SINGLE INTAKE
- THROAT INTAKE
- FLARED END SECTION
- GAS VALVE
- FIRE HYDRANT
- WATER VALVE
- P XX PROPOSED UTILITY LINE
- E XX EXISTING UTILITY LINE
- CATV CABLE TELEVISION
- FO FIBER OPTIC
- GAS GAS LINE
- OHE OVERHEAD ELEC.
- OHT OVERHEAD TEL.
- SS SANITARY SEWER
- ST STORM SEWER
- UGE UNDERGROUND ELEC.
- UGT UNDERGROUND TEL.
- W WATER
- FENCE LINE

ELDS DESIGN SERVICES

Architecture | Engineering | Surveying

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SKOL TRUCKING

XXXX ROBINSON AVENUE SE

BONDURANT, IOWA

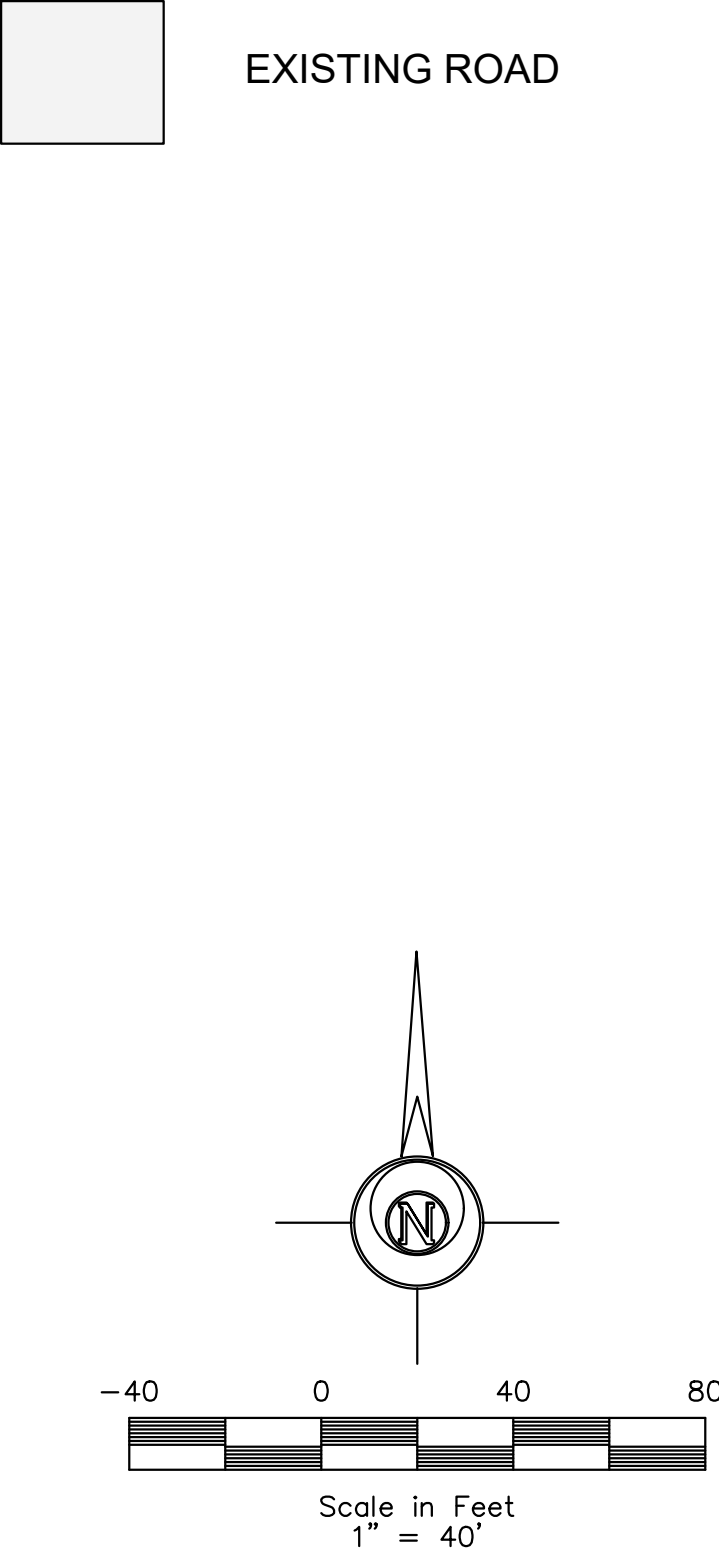
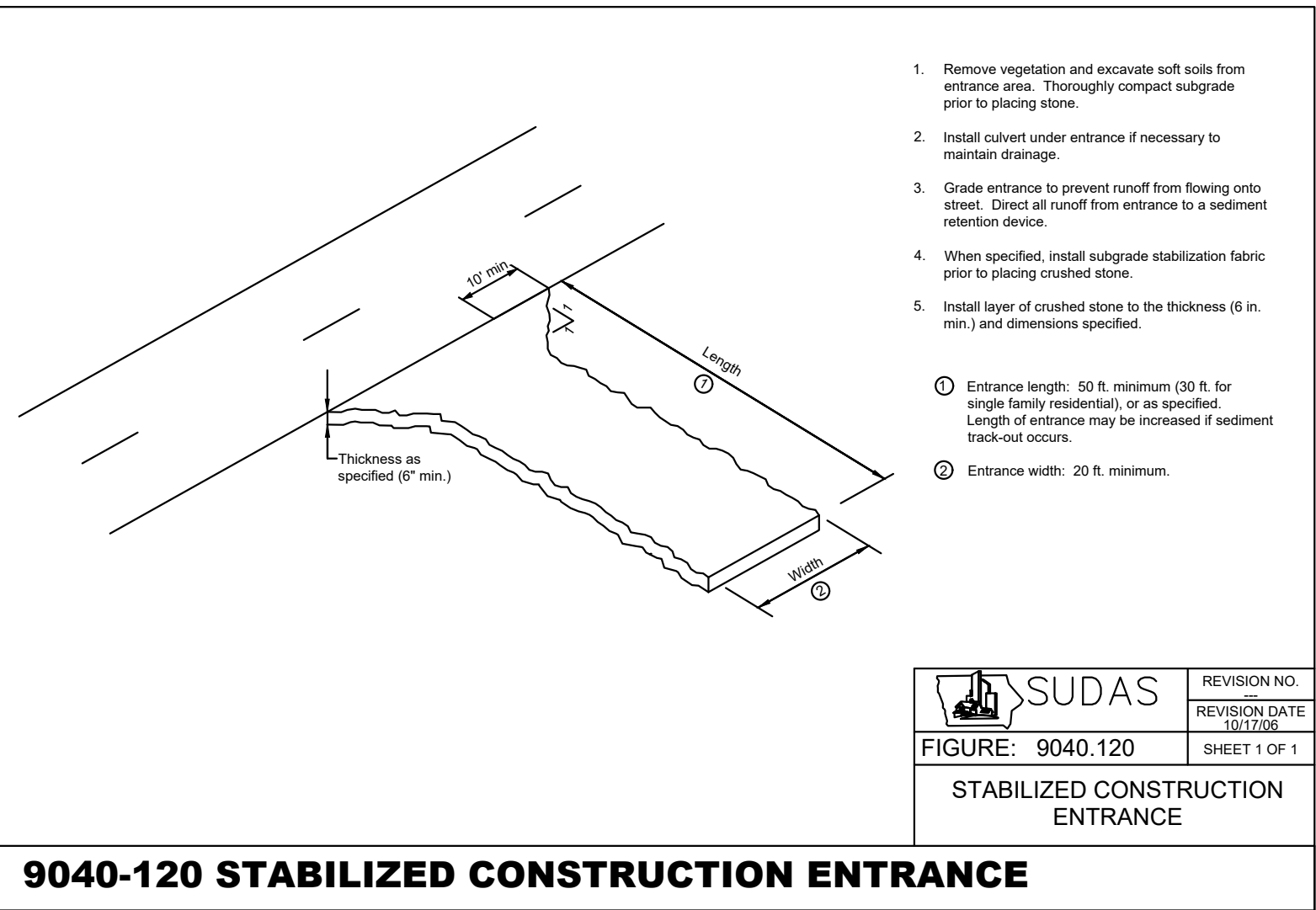
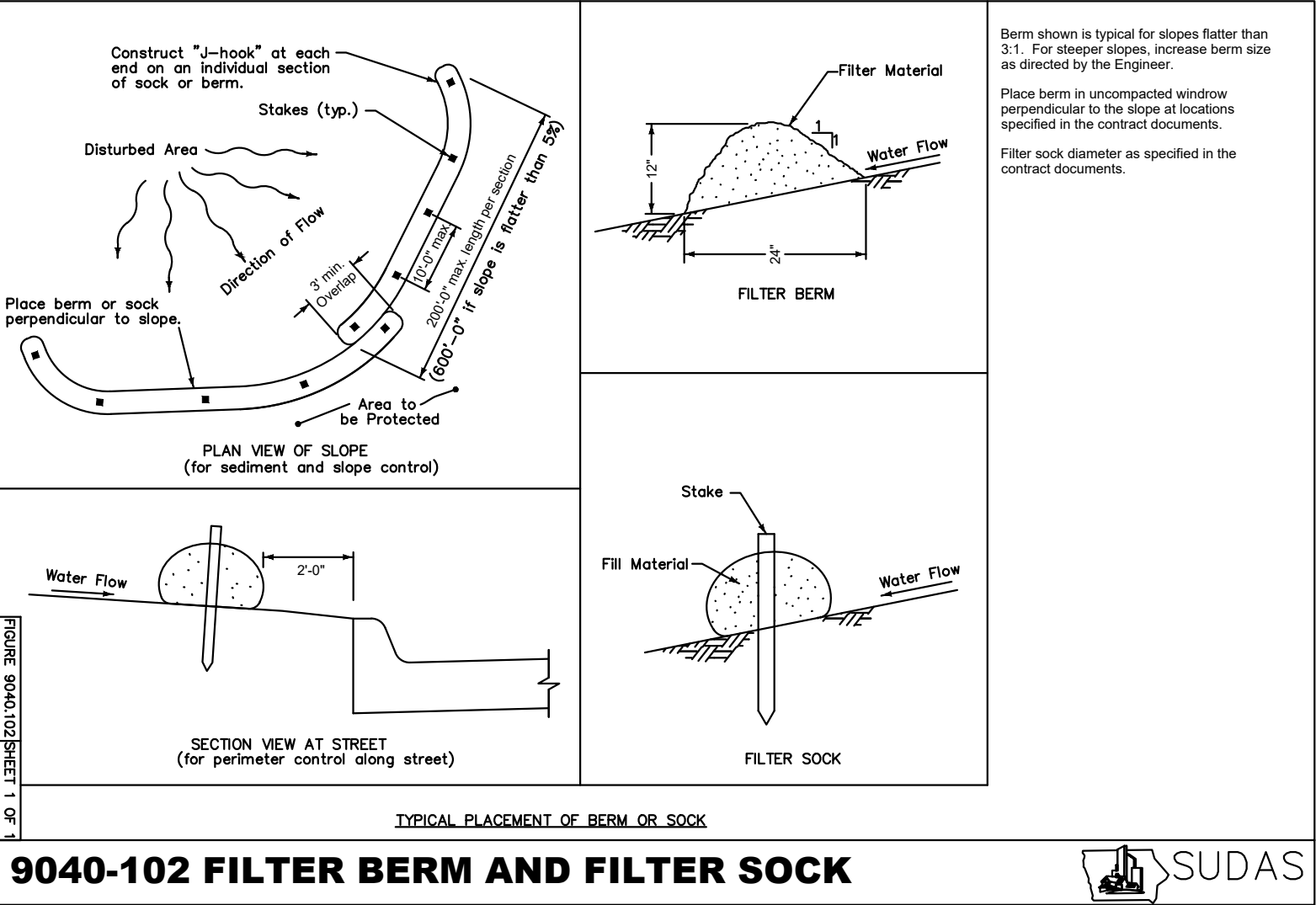
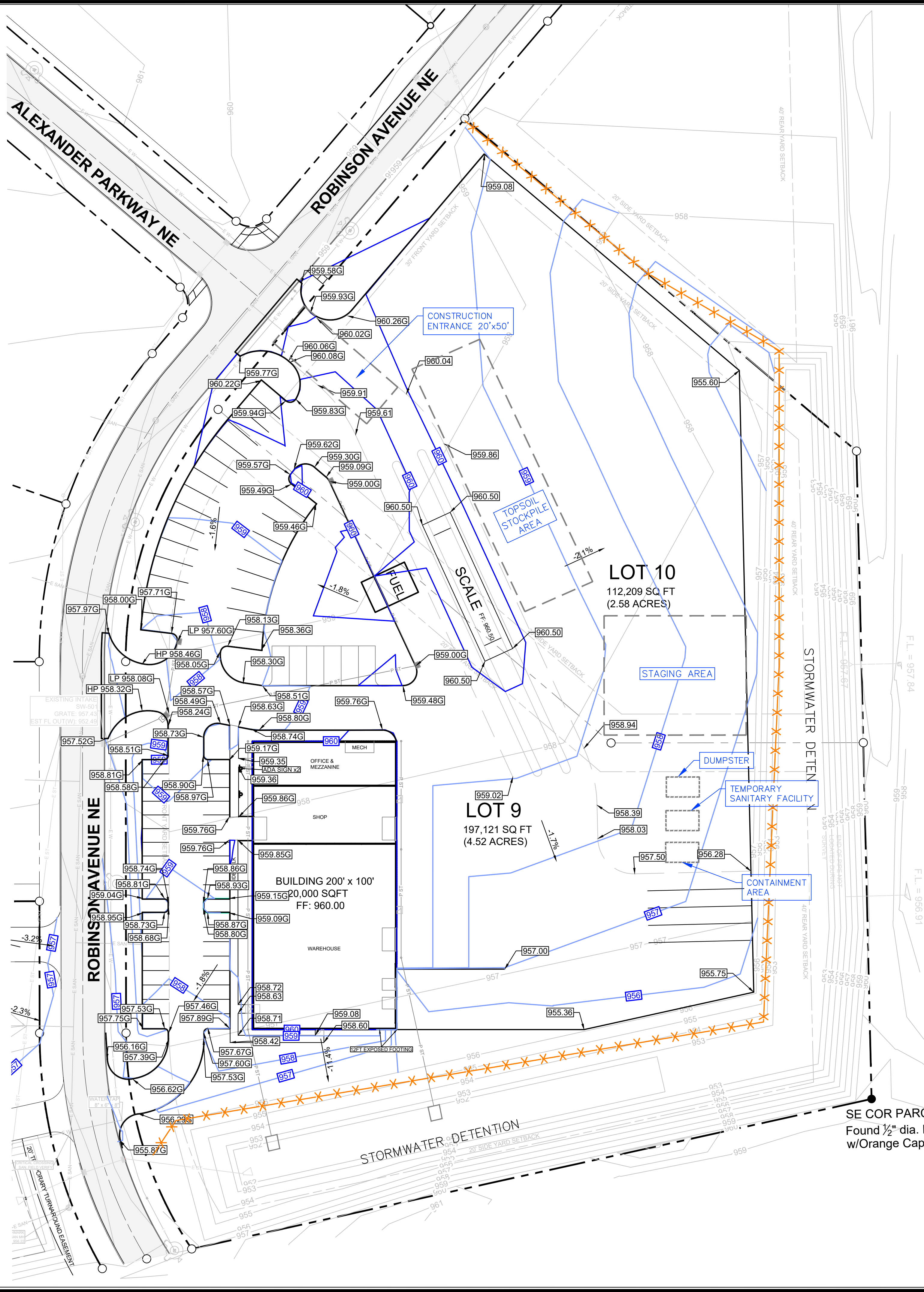
DATE: 7.29.2021

DRAWN BY: N. DAY

SCALE: 1" = 40'

LATEST REVISION: 20-051

C4 - Site Sheet



LEGEND:

+/-	MORE OR LESS	⊙	ELEC. MANHOLE
F.F.	FINISHED FLOOR	⊙	SANITARY SEWER MANHOLE
123.45G	GUTTER ELEVATION	⊙	STORM SEWER MANHOLE
123.45TC	TOP OF CURB ELEVATION	⊙	TRAFFIC MANHOLE
123.45/ 123.45	EXISTING/ PROPOSED ELEVATION	⊙	CLEANOUT
FL	FLOWLINE ELEVATION	⊙	DOWNSPOUT
⊙	CONTROL POINT	⊙	AREA INTAKE
⊙	CALCULATED CORNER	⊙	SINGLE INTAKE
⊙	FOUND CORNER	⊙	THROAT INTAKE
⊙	CALCULATED SECTION CORNER	⊙	FLARED END SECTION
⊙	FOUND SECTION CORNER	⊙	GAS VALVE
⊙	PARKING SPACE	⊙	FIRE HYDRANT
⊙	SIGN	⊙	WATER VALVE
⊙	STREET LIGHT	P XX—	PROPOSED UTILITY LINE
⊙	POWER POLE	E XX—	EXISTING UTILITY LINE
⊙	LIGHT POLE	CATV —	CABLE TELEVISION
⊙	AREA LIGHT	FO —	FIBER OPTIC
⊙	GUY ANCHOR	GAS —	GAS LINE
⊙	TEL. JUNCTION BOX	OHE —	OVERHEAD ELEC.
⊙	ELEC. TRANSFORMER	OHT —	OVERHEAD TEL.
⊙	ELEC. METER	SS —	SANITARY SEWER
⊙	ELEC. BOX	ST —	STORM SEWER
⊙	ELEC. VAULT	UGE —	UNDERGROUND ELEC.
⊙	FIBER OPTIC VAULT	UGT —	UNDERGROUND TEL.
⊙	GAS METER	W —	WATER
⊙	CABLE TV JUNCTION BOX	—	FENCE LINE
⊙	WATER METER		

STORM WATER POLLUTION PREVENTION PLAN

REVISION	DATE

- SWPPP NOTES:
- LOCATION OF STAGING AREAS TO CONTAIN: JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE WASHOUT AREA, CONTROL RUNOFF WITH DIVERSION BERMS OR SILT FENCE AND DIRECT TO SEDIMENT BASIN WHERE POSSIBLE.
 - ALL INTERIOR & PERIMETER SILT FENCE NOT SHOWN. SEE EROSION CONTROL PLAN.
 - SEED/MULCH OR SOD ALL DISTURBED AREAS NOT PAVED OR DEVELOPED.
 - ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PHASING & SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING, NOTING & IMPLEMENTING.
 - A 4" LAYER OF TOPSOIL SHALL BE RESPREAD FROM THE STOCKPILE ON-SITE TO PVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION, UNLESS FINANCIALLY OR TECHNOLOGICALLY INFEASIBLE.

— X — X — X — X — X — FILTER SOCK

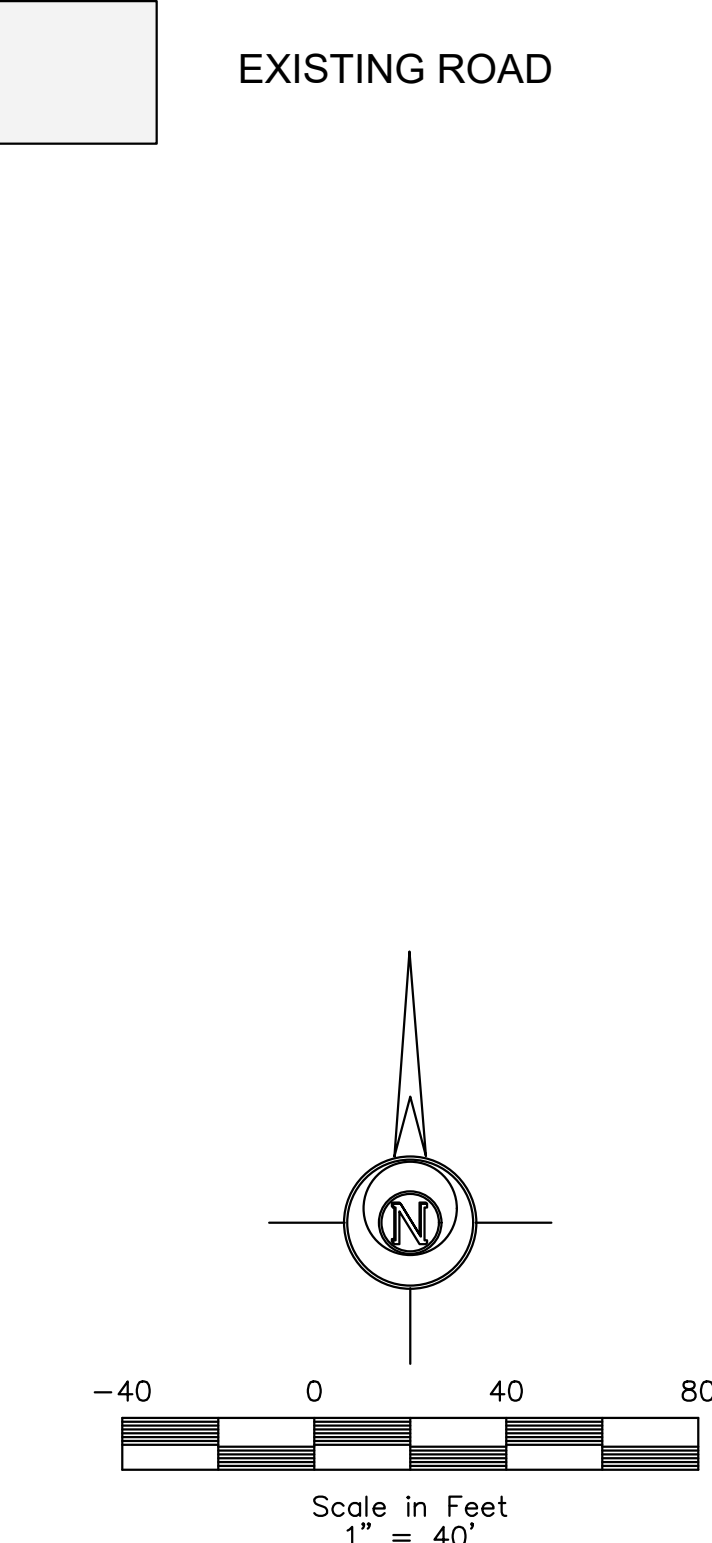
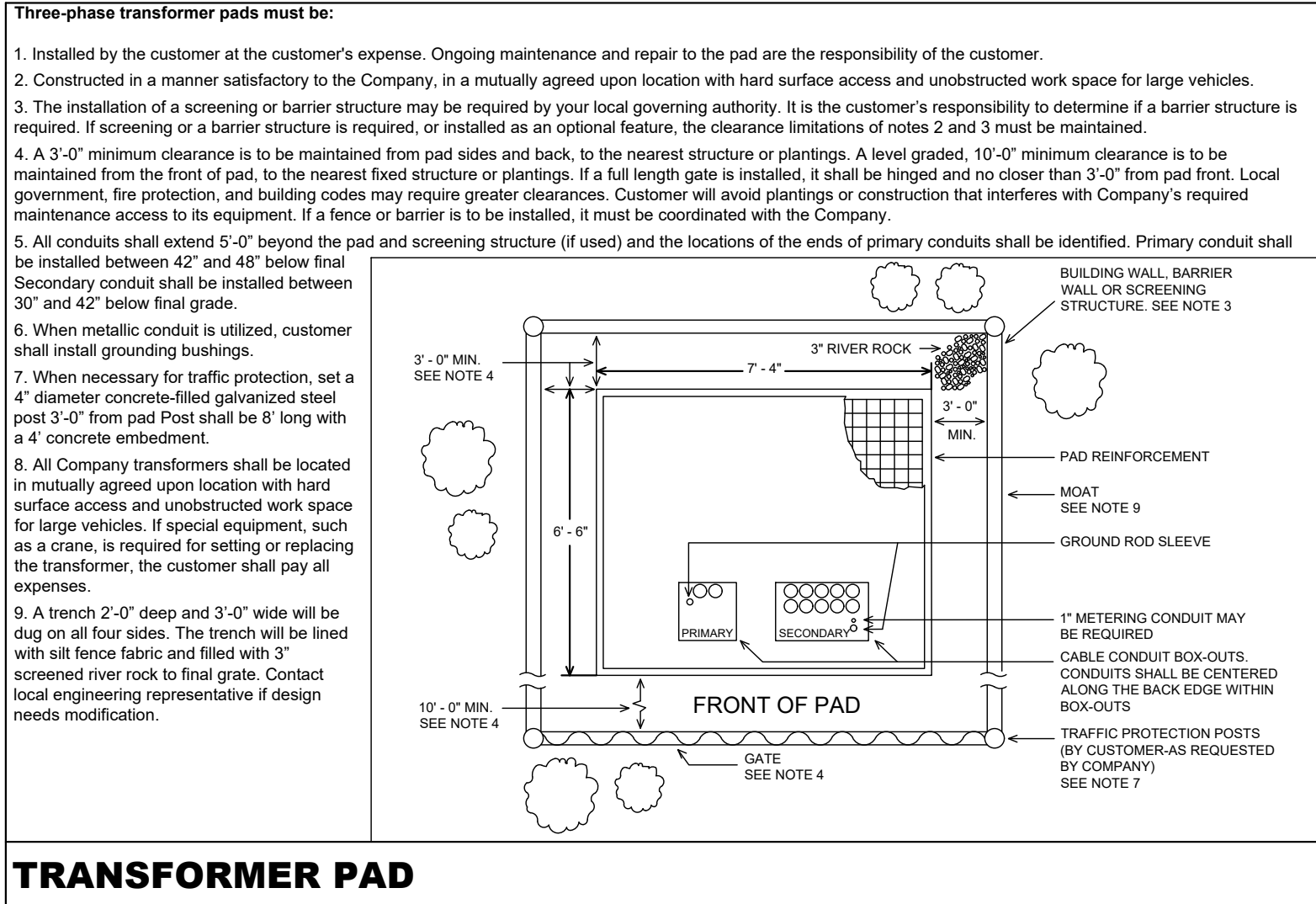
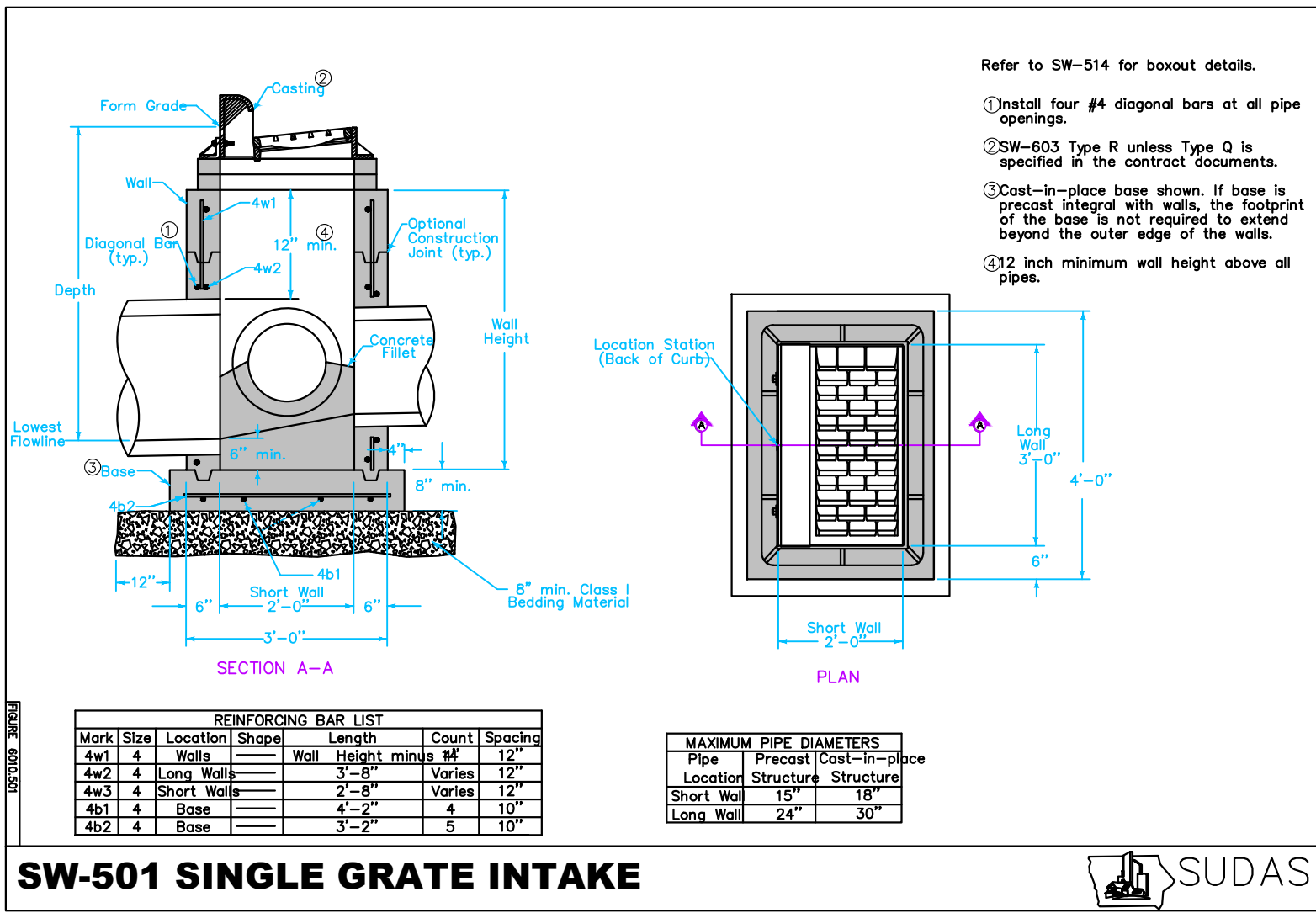
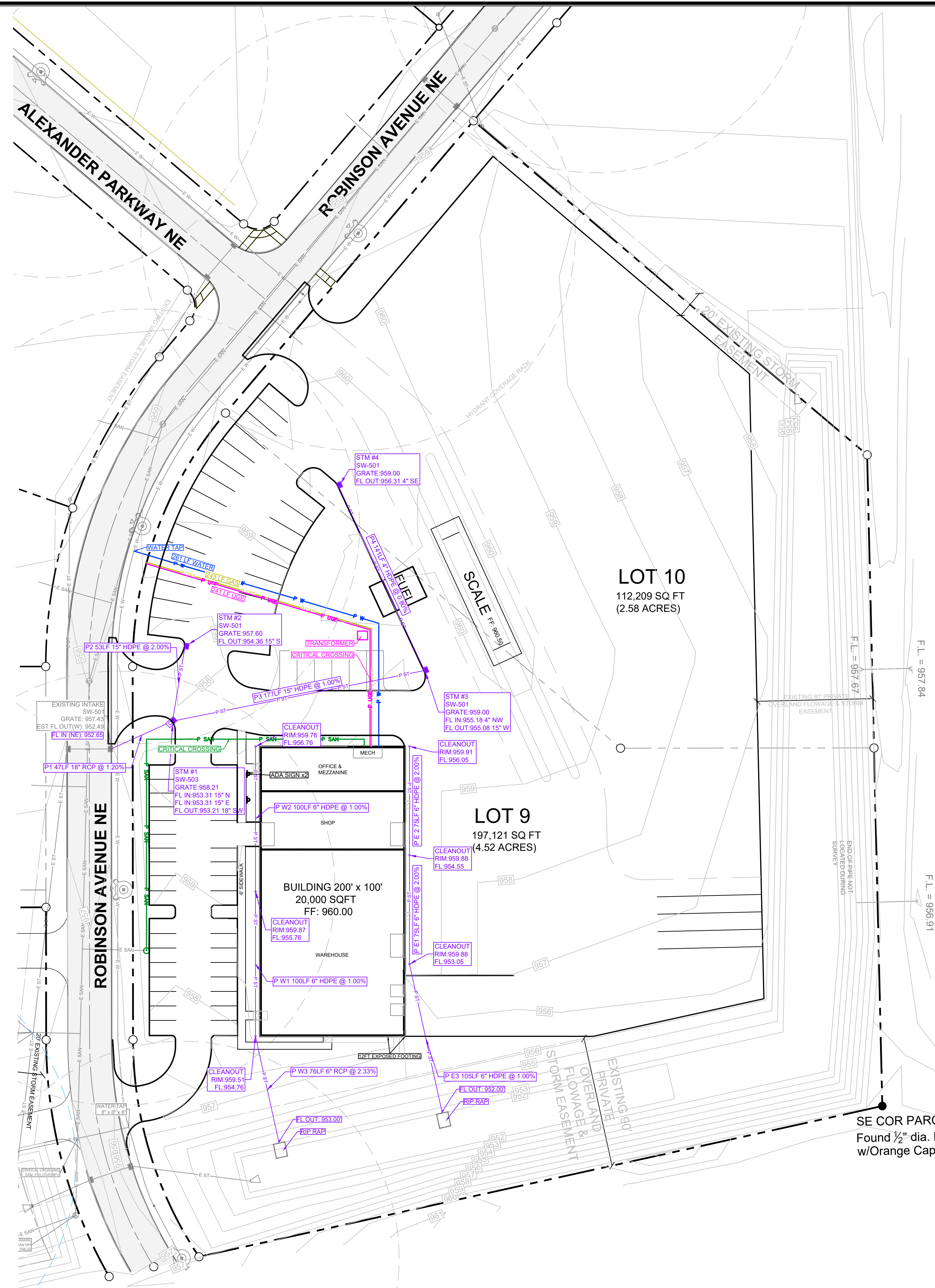


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TITLE: **SKOL TRUCKING
XXXX ROBINSON AVENUE SE
BONDURANT, IOWA**

BENCHMARK: **PRELIMINARY**

COPYRIGHT DATE: ----	DRAWN BY: N. DAY	SCALE: 1" = 40'	LAST REVISION: 7.29.2021	DRAWING NO: 20-051
FILE PATH: J:\2021 Projects\21-051 - Skol Trucking\Engineering\Site Plan\Sheet Set				C5 - Grading Sheet



LEGEND:

+/-	MORE OR LESS	⊙	ELEC. MANHOLE
F.F.	FINISHED FLOOR	⊙	SANITARY SEWER MANHOLE
123.45G	GUTTER ELEVATION	⊙	STORM SEWER MANHOLE
123.45TC	TOP OF CURB ELEVATION	⊙	TRAFFIC MANHOLE
123.45/ 123.45	EXISTING/ PROPOSED ELEVATION	⊙	CLEANOUT
FL	FLOWLINE ELEVATION	⊙	DOWNSPOUT
⊙	CONTROL POINT	⊙	AREA INTAKE
○	CALCULATED CORNER	⊙	SINGLE INTAKE
●	FOUND CORNER	⊙	THROAT INTAKE
△	CALCULATED SECTION CORNER	⊙	FLARED END SECTION
▲	FOUND SECTION CORNER	⊙	GAS VALVE
▲	FOUND SECTION CORNER	⊙	FIRE HYDRANT
▲	FOUND SECTION CORNER	⊙	WATER VALVE
▲	FOUND SECTION CORNER	⊙	PARKING SPACE
▲	FOUND SECTION CORNER	⊙	SIGN
▲	FOUND SECTION CORNER	⊙	STREET LIGHT
▲	FOUND SECTION CORNER	⊙	POWER POLE
▲	FOUND SECTION CORNER	⊙	LIGHT POLE
▲	FOUND SECTION CORNER	⊙	AREA LIGHT
▲	FOUND SECTION CORNER	⊙	GUY ANCHOR
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▲	FOUND SECTION CORNER	⊙	ELEC. BOX
▲	FOUND SECTION CORNER	⊙	ELEC. VAULT
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▲	FOUND SECTION CORNER	⊙	GAS METER
▲	FOUND SECTION CORNER	⊙	CABLE TV JUNCTION BOX
▲	FOUND SECTION CORNER	⊙	WATER METER

⊙	ELEC. MANHOLE
⊙	SANITARY SEWER MANHOLE
⊙	STORM SEWER MANHOLE
⊙	TRAFFIC MANHOLE
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OHT	OVERHEAD TEL.
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ST	STORM SEWER
UGE	UNDERGROUND ELEC.
UGT	UNDERGROUND TEL.
W	WATER
—○—○—○—	FENCE LINE



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SKOL TRUCKING

XXXX ROBINSON AVENUE SE

BONDURANT, IOWA

BENCHMARK:

COPYRIGHT DATE: ---

DRAWN BY: N. DAY

SCALE: 1" = 40'

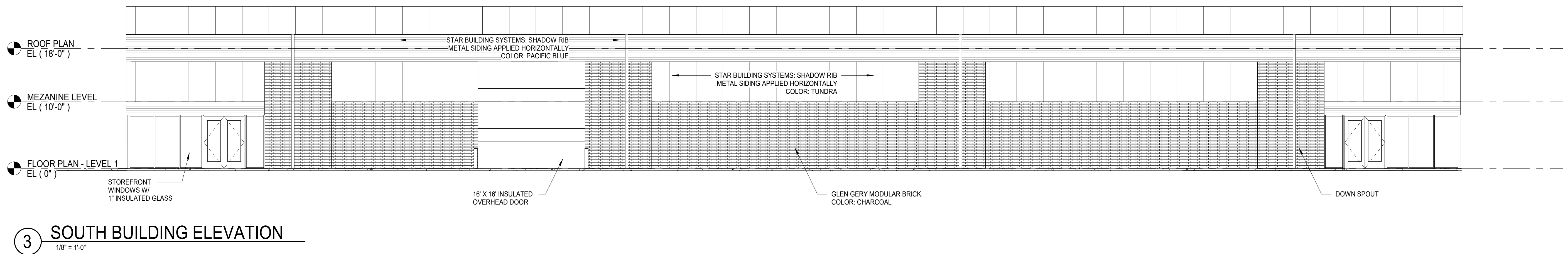
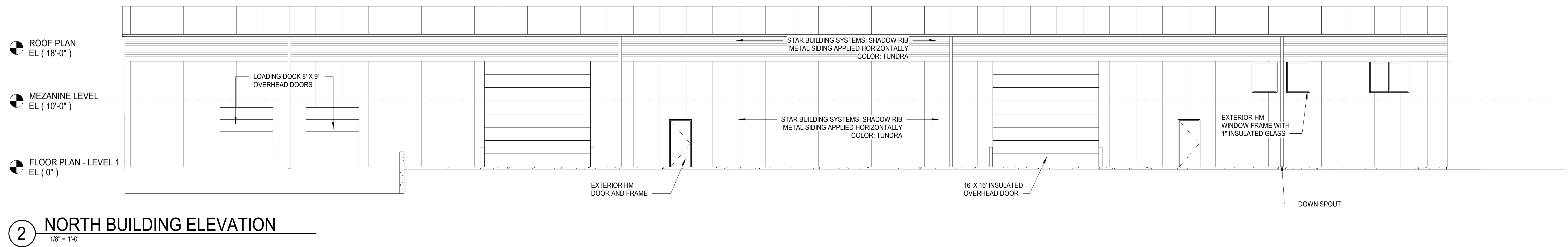
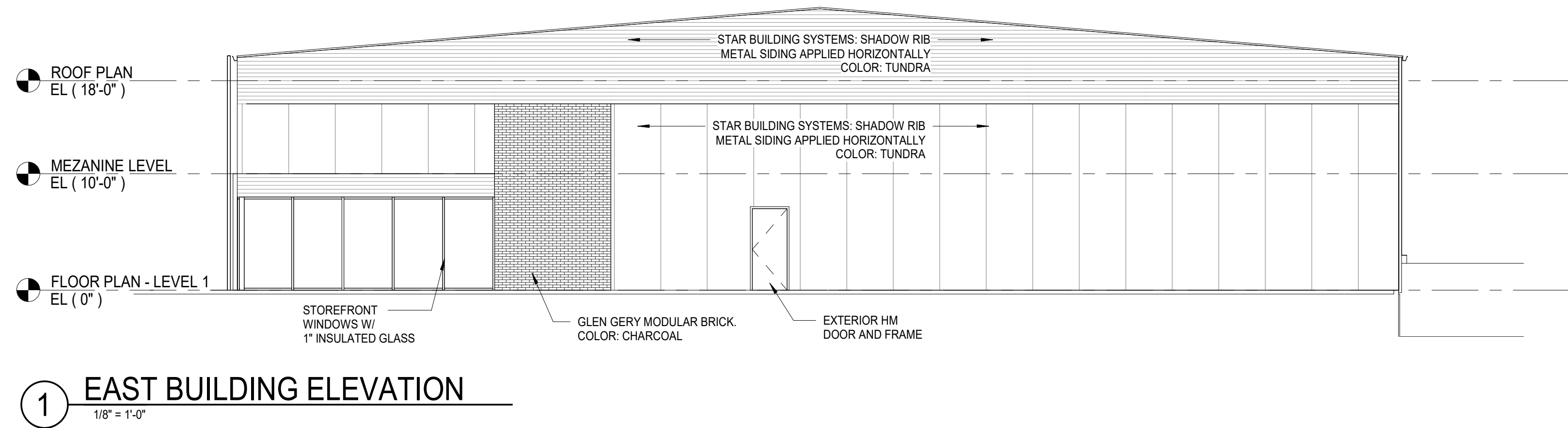
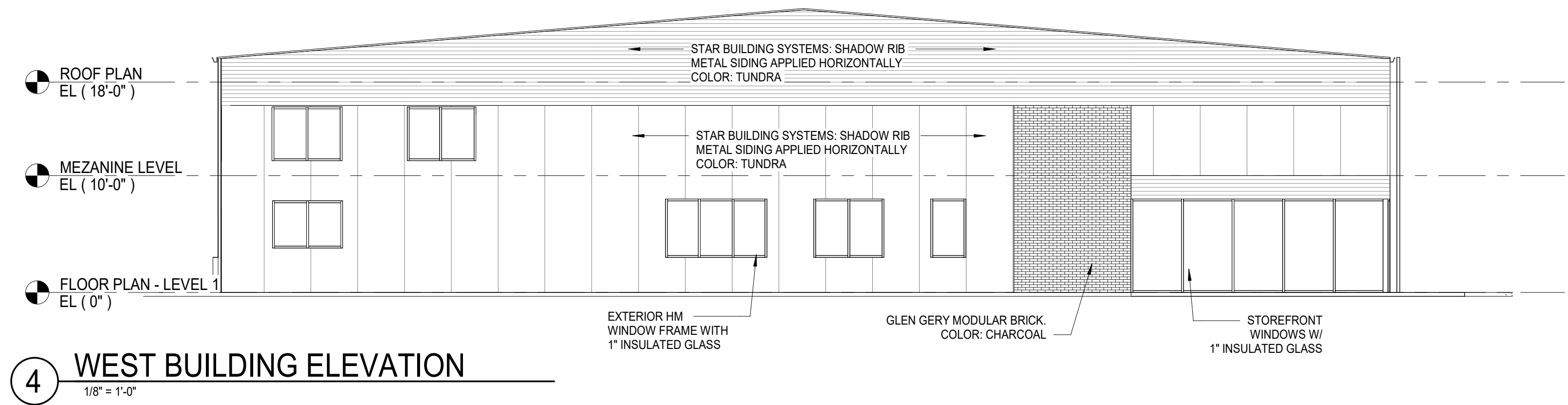
LATEST REVISION: 7.29.2021

DRAWING NO: 20-051

FILE PATH: J:\2021 Projects\21-051 - Skol Trucking\Engineering\Site Plan\Sheet Set

C6 - Utility Sheet

PRELIMINARY



PROJECT NAME:
SKOL TRUCKING
XXXX ROBINSON AVENUE SE
BONDURANT, IOWA

REVISION		
No	DESC	DATE

Project Status

DATE OF ISSUE: Issue Date

KEY PLAN

DRAWN BY: Author
CHECKED BY: Checker
JOB NUMBER: 21-051

SHEET TITLE:

ELEVATIONS

SHEET NUMBER: A200

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-210826-20

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE SKOL
TRUCKING SITE PLAN AT 2415 ROBINSON AVENUE NE

WHEREAS, Pelds Design Services submitted the SKOL Trucking site plan for property at 2415 Robinson Avenue NE described as follows; AND

LOTS 9 & 10 IN BONDURANT INDUSTRIAL PLAT, ALL BEING IN AND FORMING A PART OF THE CITY OF BONDURANT, POLK COUNTY, IA.

WHEREAS, the zoning for the property is Medium Industrial (M-2) and a carting, express, hauling or storage yard or like business is a permitted use per Section 178.14.1.B.D of the Zoning Code; AND

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted SKOL Trucking site plan, subject to the following City Code/Policy clarification recommendation items:

1. Site plan application fee must be paid prior to Council's consideration.
2. Utility connection fee district fees must be paid prior to building permit issuance.
3. Site plan to be updated to note this site's address of 2415 Robinson Avenue NE.
4. Clarification to be provided on SF of building proposed (site plan notes 15,000 SF but shows 20,000 SF).
5. Site plan must label all surface materials. Clarification has been requested relative to the labeled processing area.
6. Street frontage calculations to be corrected.
7. Interior greenspace % must be listed on site plan.
8. Elevations must be in color.
9. Clarification to be provided on whether or not building falls within 500' of Highway 65 public right-of-way. This information will determine building design/material requirements at this location.
10. Directions noted on elevations to be corrected so they are consistent with the orientation of the building shown on the site plan.
11. Clarification requested on if any roof mechanicals are proposed. If so, must be screened per the Zoning Code's screening requirements.
12. Clarification requested on if an exterior dumpster is proposed.
13. Clarification requested on how adequate screening will be provided between the loading areas of this SKOL Trucking use and the CVT trail portion just east.
14. If applicable, all parking lot lighting shall be directed away from any adjacent residential uses.
15. Clarification to be provided showing that all trees will be planted at least 4' away from the front property line area.
16. Any additional review comments provided by the City Engineer must also be addressed.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on August 26, 2021; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

Action	Yay	Nay	Abstain	Absent
Cameron				
Clayton				
Mains				
Keeran				
Cuellar				
Hoyer				
Brostrom				

Torey Cuellar, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 8.e.
For Meeting of 8/26/2021
Reports and Comments

TITLE: City Council Liaison

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS:

FUNDING SOURCE:

STAFF RECOMMENDATION:

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None