

**Participants wishing to speak on a topic should message the meeting moderator. All participants are asked to mute their individual computers at times when they are not speaking to minimize background noise. Join: <https://us02web.zoom.us/j/85119062323>*

**NOTICE OF A REGULAR MEETING
BONDURANT BOARD OF ADJUSTMENT
MAY 12, 2026**

NOTICE IS HEREBY GIVEN that a Regular Meeting of the City Council will be held at 5:00 PM on May 12, 2026, in the Bondurant City Center, 200 Second Street, Northeast, Bondurant, Polk County, Iowa. Said meeting is open, and the public is encouraged to attend.

AGENDA

1. Call to Order
2. Roll Call
3. Perfecting and Approval of the Agenda
4. Approval of Minutes
 - a. December 9, 2025 Minutes
5. **Action Items**
 - a. Public Hearing - Consideration of a two-part variance request to Section 179.7(4) and Section 179.7(5)(A) of the Zoning Code, regarding (1) a reduction of the minimum side yard setback for an accessory structure and (2) an increase to the maximum allowable cumulative accessory structure area, for property located at 206 Main Street SE.
 - b. BA - 260512-01 Case 107 - Consideration of a two-part variance request to Section 179.7(4) and Section 179.7(5)(A) of the Zoning Code, regarding (1) a reduction of the minimum side yard setback for an accessory structure and (2) an increase to the maximum allowable cumulative accessory structure area, for property located at 206 Main Street SE.
 - c. Public Hearing — for interpretation of Section 177.3 of the City's Zoning Code and for consideration of a variance request to Section 180.3.(1)(D), regarding an access drive to a new industrial building to be constructed at 1120 2nd Street NE.
 - d. BA - 260512-02 Case 108 - for consideration of a variance request to Section 180.3.1.D, regarding an access drive to a new industrial building to be constructed at 1120 2nd Street NE.
6. Adjournment

City of Bondurant

Board of Adjustment
200 2nd St NE, PO Box 37
Bondurant, IA 50035



Meeting Minutes

DATE: December 9, 2025

1. Call to Order 5:01 p.m.

Board Members and City Staff gave brief introductions.

Place Bondurant City Council Chambers (200 2nd St NE)

2. Roll Call

Members Present: Jon Klein, Jolita Uthee, Matt Farver, Diane VanWyk

Members Absent: Greg Hanson

City Officials Present: City Planner, Isaac Pezley, Maggie Murray

3. Perfecting and Approval of the Agenda

Motion by Member Farver, seconded by Member Klein to approve of the December 12, 2025, meeting agenda. Vote on Motion 4-0-0. Motion carried.

4. Approval of Minutes

Motion by Member Farver, seconded by Member Klein to approve of the July 8, 2025 meeting minutes. Vote on Motion 4-0-0. Motion carried.

5. Action Items

- a. Public Hearing– consideration of a variance request to Section 177.02.1. of the Zoning Code to allow for an increase in maximum allowable fence height for a fence in the street-side yard to construct a 6-foot tall fence at 200 Bobwhite Avenue SW.

Public Hearing opened at 5:04.

Murray provided an overview of the variance request. Farver asked if this was being addressed by the updated Zoning Code and the timing of approval of the Zoning Code. Murray stated the updated Zoning Code does address fences located in the street side yard and the Zoning Code is set to be considered for adoption in early 2026.

Murray discussed precedence previously set by the Board. Murray noted the submitted fence permit indicated the fence will be 10-feet south of the north property line.

Public Hearing closed at 5:8.

- b. Resolution BA-251209-02– consideration of a variance request to Section 177.02.1. of the Zoning Code to allow for an increase in maximum allowable fence height for a fence in the street-side yard to construct a 6-foot tall fence at 200 Bobwhite Avenue SW..

Motion by Member Farver, seconded by Member Uthee, to approve Resolution No. BA-251209-02 subject to the following condition:

1. The six-foot fence shall be installed no closer than ten (10) feet south of the north property line, as depicted on the fence permit site plane submitted with the application.

Roll Call – Ayes:, Member Farver, Member VanWyk Member Klein, Member Uthee, Nays: None. Absent: Member Hanson. Vote on Motion 4-0-0. Motion carried.

8. Adjournment

Motion by Member Farver, seconded by Member Klein to adjourn the December 9, 2025, meeting. Vote on Motion 4-0-0. Motion carried.

Meeting adjourned at 5:09.



**BUSINESS OF THE BOARD OF ADJUSTMENT
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 5.a.
For Meeting of 5/12/2026
Public Hearing

TITLE: Public Hearing - Consideration of a two-part variance request to Section 179.7(4) and Section 179.7(5)(A) of the Zoning Code, regarding (1) a reduction of the minimum side yard setback for an accessory structure and (2) an increase to the maximum allowable cumulative accessory structure area, for property located at 206 Main Street SE.

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS:

The City has received a two-part variance request for the property located at 206 Main Street SE. The request pertains to Sections 179.7(4) and 179.7(5)(A) of the Zoning Code and includes: (1) a reduction of the minimum setback to allow an accessory structure to be located closer than five (5) feet from the northern property line, and (2) relief from the maximum cumulative accessory structure area requirement, which limits all accessory structures on the lot to no more than ten percent (10%) of the total lot area if such accessory structure is 120 SF or larger. The proposed accessory structure would be located between the existing detached garage and the northern property line and would encroach into the required side yard setback.

This agenda item is limited to consideration of the two-part variance request described above and does not include a determination of whether a shipping container qualifies as an accessory structure under the Zoning Code.



Kent Sullivan, property owner at 206 Main Street SE, is requesting a variance to allow for the construction of an accessory structure that will be located in the northwest corner of the property and closer than 5-feet from the northern property line. Section 179.07.04.B. states that accessory buildings and structures shall be set back 5-feet from side and rear property lines.

The proposed accessory structure would be located in the rear yard of 206 Main Street SE between the existing detached garage and northern property line. The applicant has indicated there is approximately 10-feet between the existing detached garage and the northern property line. Currently, a storage container is located in this area. Storage containers are not recognized as accessory structure and instead recognized as outdoor storage. Outdoor storage is not an allowable use in a residential district, and use variances are not allowed per Iowa Code.

The applicant had previously located two storage containers on the property in question to provide storage for an ongoing construction project at this location. A storage container previously located in the driveway was used for storage of construction related materials. The storage container currently located north of the detached garage was used for personal storage. The applicant met with City Administrator Marketa Oliver, Planning & Community Development Director Maggie Murray, Mayor Doug Elrod, and Board of Adjustment Chair Greg Hanson in January of 2025. At that time, staff allowed the temporary placement of the containers until the associated building permit was closed, but emphasized that both containers would need to be removed upon permit completion. Staff specifically encouraged the applicant to prioritize removal of the container in the driveway, which has since been completed. However, staff also advised that the remaining container would not be permitted to stay long-term, as it constitutes outdoor storage, and that enforcement action could occur if complaints were received.

Sullivan indicated he wished to keep the storage container located on the north side of the detached garage. Staff told Sullivan this would not be possible as the storage container is considered outdoor storage and is not allowed in residential districts. Sullivan then began the exploration of pursuing a variance request to place an accessory structure in place of the storage container. Staff agreed to allow the storage container to remain on the property until the variance request was heard by the Board of Adjustment.

Above, and included in the application packet, are aerial photos showing 206 Main Street SE. The applicant has highlighted the existing storage container, where the proposed accessory structure is located.

Analysis:

Chapter 27.02 of the City Code provides the required review criteria by the Board of Adjustment for variance requests. The City Code notes that a variance cannot be granted unless the Board finds that all of the following five questions can be answered favorably for this request. These review criteria are referred to as Findings of Fact. **If a board member cannot answer all of these findings favorably for the request, then the board member must vote for denial of the variance.** Below is a summary of staff's comments on the required findings of fact relative to this request. Uploaded as an attachment is the applicant's statements on these findings relative to this request.

1. How would strict application of the zoning ordinance create practical difficulties in making a reasonable use of the property?

The land in question would still yield a reasonable return if the variance was not granted. The applicant has an existing, large detached garage (accessory structure) that is 864 square feet. This garage appears to be meeting current setback and bulk regulation requirements for accessory structures. The inability to place an additional structure that does not meet setback and size requirements does not prevent reasonable use of the property. The proposed accessory structure requires the approval of a variance because of the size of the existing accessory structure.

2. What unique conditions of your property create these practical difficulties, and how are they not self-created?

Staff finds that special conditions or circumstances do not exist that are unique to the property to justify the requested variance. While the lot is a corner lot with a width of approximately 66 feet and is served by an alley, these conditions are not uncommon and still allow for the reasonable placement of accessory structures in compliance with the Zoning Code. The property currently contains an 864 square foot detached garage, which appears to provide substantial space for typical residential accessory needs. However, the size and placement of this existing structure are the primary factors creating the desire for the requested variance, as any additional accessory structure cannot reasonably meet the required setbacks and, if over 120 square feet,

would cause the total accessory structure area to exceed the allowable lot coverage. Although this garage was constructed prior to the current property owner's purchase in 2020, it was an existing condition at the time of acquisition. As such, the constraints associated with the size and placement of the existing structure were known or should have been reasonably anticipated by the applicant.

3. Will granting this variance significantly alter the essential character of the surrounding neighborhood?

Granting the variance could alter the character of the neighborhood by allowing a greater concentration of accessory structures and reduced setbacks beyond what is typical. Approval may also set a precedent suggesting that similarly sized residential lots are entitled to accessory structures exceeding 864 SF, which is not consistent with the established development pattern. As a frame of reference, an 864 SF detached garage can accommodate 3 or 4 vehicles, depending on the layout and vehicle size. The proposed deviations from both setback and lot coverage standards could negatively impact the visual and spatial character of the area.

FUNDING SOURCE:

STAFF RECOMMENDATION:

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. Variance Application
2. Fire Chief Kreuder Comments



City of Bondurant
 Planning and Community Development
 200 2nd St NE, Bondurant, Iowa 50035
 (515) 967-2418 • planning@cityofbondurant.com

BOARD OF ADJUSTMENT APPLICATION

Property Owner

Full Name Rent Sullivan
 Address 206 Main St SE
 City Bondurant State Ia Zip 50035
 Phone 515-250-9399 Email KSquaredServices@msn.com

Applicant (if not Property Owner)

Full Name _____
 Address _____
 City _____ State _____ Zip _____
 Phone _____ Email _____

CONDITIONAL USE PERMIT

Submittal Requirements:

All submittal requirements must be completed. Incomplete applications will not be considered.

Property Address or Parcel ID Number: _____

Completed Application _____

Filing Fee: \$350

Written narrative indicating the conditional use sought and response to criteria outlined for said conditional use.

Legal Description of Subject Parcel(s)

Other information as required

VARIANCE

Submittal Requirements:

All submittal requirements must be completed. Incomplete applications will not be considered.

Property Address or Parcel ID Number: _____

206 Main St SE

Completed Application _____

Filing Fee: \$350

Site plan and Elevations (when applicable)

Written narrative indicating justification for the proposed variance in relation to findings of fact outlined in the City of Bondurant's Code of Ordinances in Section 27.02.2. (see page 2)

Legal Description of Subject Parcel(s) Lot 8 Blk 9 Town

Other information as required

The undersigned hereby certifies that all information provided is complete and accurate to the best of the undersigned's knowledge, and that all information required by this application or by the Board's staff on its behalf has been provided.

Signature

Date

3/27/26

FOR OFFICE USE ONLY

Received Date

Case No.

BOA Agenda Date



City of Bondurant
 Planning and Community Development
 200 2nd St NE, Bondurant, Iowa 50035
 (515) 967-2418 • planning@cityofbondurant.com

BOARD OF ADJUSTMENT APPLICATION

CONDITIONAL USE PERMITS

Conditional uses require closer scrutiny and analysis to the subject property and its surroundings due to the special impacts or uniqueness of these types of developments. Each conditional use may have specific requirements for the type of use proposed. Please review your zoning districts permitted conditional use section within the city of Bondurant's Code of Ordinances under Chapter 178 'District Regulations'.

Notifications

Notice of a public hearing is provided to the owner of the property via mail or email and to the public through a publication in a local newspaper. Properties within two-hundred (200) feet will receive a mailing from the city.

BOARD OF ADJUSTMENT MEETINGS

The Board of Adjustment meets the 2nd Tuesday of each month at 5:00pm at the City Hall. Agenda packets are posted to the City of Bondurant's website for each meeting. Please visit the following link for all agendas and meeting minutes:

CityofBondurant.com/Minutes-and-Agendas

PAYMENT OF APPLICATION FEES

Permit application fees can be paid by a check made payable to the City of Bondurant or through our online payment portal:

MunicipalOnlinePayments.com/Bondurantia

VARIANCES

A variance is not a zoning change, but instead a project-specific change in requirements allowed on a specific property. Variances do not involve the establishment of new codes, regulations, or policies. Instead, a variance allows a deviation from certain provisions of the zoning code and its standards due to specific circumstances.

Notifications

Notice of a public hearing is provided to the owner of the property via mail or email and to the public through a publication in a local newspaper. Properties within two-hundred (200) feet will receive a mailing from the city.

Findings of Fact

The following questions must be answered and submitted by the applicant as part of a submittal for a variance. A variance cannot be granted unless all findings of fact can be answered favorably for the request.

1. Can the land in question still yield a reasonable return if the variance was not granted?

This asks whether the property owner could establish any beneficial use on their property without a variance.

2. Do special conditions and circumstances exist which are peculiar to the land, structure, or building involved?

Special conditions or platting features peculiar to the lot itself must be precluding the applicant from complying with the zoning code. This may include physical features such as steep slopes or floodplains. These conditions and circumstances must be unique to the parcel in question.

3. Do the special conditions and circumstances of Question 2 result from the actions of the applicant, or are they beyond the applicant's control?

Provide evidence that the hardship is not self-imposed.

4. Will granting the variance confer on the applicant any special privilege that is denied to other lands, structures, or buildings relative to the property?

Explain how the variance is not advocating for rights superior to neighboring properties or those in the same zoning district.

5. Will granting the variance alter the essential character of the land in question?

Though granting the variance allows deviation from the zoning code, the variance must not change the intent of the Code or change the character of neighbors who are in the same zoning district.

house back



© All EagleView Technology Corporation

west



© All EagleView Technology Corporation

north



east



south



Application Response {Revised}

Board of Adjustments

RE: Variance Request Zoning and for Accessory Structure

1. The property layout does not allow for any structure to be 5' from the fence line. The home and existing garage structure are placed on the property in a manner that does not accommodate the zoning ordinance. This request would provide for a cleaner and more inviting curb appeal for the homeowner, neighbors and city, allowing for the storage needed to hold items that would otherwise be open behind the garage. The homeowner has painted the shed to match the color of the buildings on the property it is also made of metal same as the established garage. This shed has been used for storage since it was installed in 2021.
2. This unique layout was not created by the current homeowner. The property housed the two established structures when purchased. Special circumstances do exist. The homeowner property is situated with no back or side yard accommodating building a shed per current city ordinances related to the property lines. There is currently only a 10 foot space between the garage and property line. This does not allow for a shed to be "built" within current city code requirements. This property is also aligned to a city alley that has city code requirements.
3. No, the homeowner did not establish the buildings on the property. They were already in place when the home was purchased. Additionally, the previous homeowner placed the buildings on the property "sideways" making the city codes harder to accommodate. Additionally, the property in question holds a utility variance, requiring a shed to be moveable, therefore homeowner purchased a shed that could be moved if needed.
4. No, there has been no known concerns with the neighbors regarding the use of the shed. Or that other property owners are being denied any privilege. In speaking with the neighbors, they would rather have the shed than open items visible out on the yard. Additionally, the shed is housed between the garage and the fence and is not openly visible to many of the neighboring properties.
5. No, allowing the variance will not alter the character. The shed currently matches the building, is not seen openly and allows for property owner to conceal and keep safe his belongings. Not allowing the variance will create the opportunity for items to be left in the open causing a more undesirable look and risk for the property owner and neighbors.

From: [Aaron Kreuder](#)
To: [Isaac Pezley](#)
Subject: RE: 206 Main St SE Variance Request
Date: Tuesday, May 5, 2026 4:17:41 PM
Attachments: [image002.png](#)
[image003.png](#)

Isaac,

In response to your email, I will try and break the various codes down into a more readable format, but please reach out if you have any questions.

Under the International Fire Code (IFC) and International Residential Code (IRC), building a storage shed within 3 feet or less from a garage and a property line will trigger some specific fire-safety requirements. Below are the basic requirements for a shed regarding the proximity to the garage and property line if constructed on the same site as the current shipping container to meet the fire code requirements. I would also add that from a fire code perspective, the metal shipping container (although probably not completely in-line with all code requirements as it sits today) is probably a safer option than what a wood-built storage shed would be, unless built to the requirements below.

1. Shed to Garage Separation (Less than 3 Feet)

- a. Fire Resistance Rated Separation: If a detached accessory structure (shed) is located less than 3 feet from a garage (or dwelling), the wall closest to the garage must be protected with fire-resistant materials, typically 5/8-inch Type X gypsum board or equivalent.
- b. Opening Limitations: Walls with a fire separation distance of less than 3 feet, openings (windows and doors) are restricted. Approved locations will be determined based on structural design and relationship to the fire rated wall system.
- c. Structure Classification: If the gap is extremely small (e.g., less than 2 feet), the building will be considered “attached” for code purposes, requiring 1-hour fire-resistance-rated construction on both walls facing each other.

2. Shed to Property Line (Less than 3 Feet)

- a. General Rule: Less than 3 feet setback from side property lines is allowed in the IFC if the wall facing the property line has zero openings (door/windows) and is protected with rated materials (e.g., 1-hour fire-rated wall) to prevent fire from jumping to neighboring properties.

3. Key Fire Code Considerations (IFC)

- a. Combustible Materials: If the shed is wood-framed, the proximity to another building and the property line is more strictly regulated than if the shed is noncombustible (metal/concrete).
- b. Eaves/Overhangs: Eaves on the shed that extend toward the garage, or

property line must not violate the fire separation distance. If the shed is very close (less than 2 feet), the eave will need to be noncombustible or protected.

- c. **Wall Construction:** the wall facing the property line/garage should be constructed to allow installation of fire-related drywall from the inside or made of noncombustible materials.

Primary Code References

- **IRC Table R302.1(1):** This is the definitive table for "Exterior Walls". It specifies that for a **Fire Separation Distance of less than 5 feet**, walls must have a **1-hour fire-resistance rating** (tested per ASTM E119 or UL 263).
- **IRC Section R302.1:** This section outlines the requirements for construction, projections (like eaves), and openings. It specifically notes:
 - **Openings:** Are **not allowed** in walls with a fire separation distance of **less than 3 feet**.
 - **Projections:** (such as roof overhangs) are generally not permitted within **2 feet** of the property line unless specifically protected.
- **IFC Section 315.4 (Outside Storage):** While the IRC governs the *structure*, the IFC governs the *contents*. It generally requires outdoor storage of combustible materials to be separated from buildings.

To achieve a 1-hour fire-resistance rating for a wall—required when the separation distance is less than 5 feet (under **IRC Table R302.1(1)**) or 3 feet (under **IFC/IRC garage rules**)—the construction must be a tested "assembly." This means the combination of framing, insulation, and coverings must work together to meet standards like **ASTM E119** or **UL 263**.

Wall Coverings (The Primary Barrier)

The most common approved materials for residential 1-hour walls are:

- **5/8-inch Type X Gypsum Board:** This is the standard "fire-code" drywall. It contains glass fibers and chemically bound water that releases as steam to slow heat transfer.
- **Fire-Retardant-Treated Wood (FRTW):** Plywood or framing treated with chemicals to resist ignition. For some specific UL-rated designs (like **UL Design V314**), 15/32-inch thick FRTW plywood is used.
- **Fiber Cement Siding:** Products like Hardie Plank are Class A fire-rated and non-combustible. While the siding alone doesn't give a 1-hour rating, it is a key component in 1-hour exterior assemblies because it won't ignite.
- **MgO (Magnesium Oxide) Boards:** A newer, high-performance alternative to drywall that resists moisture and extreme heat (up to 1,800°F) without burning.

Penetrations and Sealing

To maintain the 1-hour rating, any gaps or holes must be sealed with:

- **Fire-Rated Caulk/Sealants:** Approved intumescent caulking must be used around any electrical outlets, vents, or pipes that pass through the wall.
- **Fire-Rated Doors:** If the wall has a door, it must be a **20-minute rated door** or a **1-3/8-inch solid wood/steel door** with self-closing hinges.

Important Note: The **2024 IFC Section 705.5** specifies that if the fire separation distance is **5 feet or less**, the wall must be rated for fire exposure from **both sides**. This means both the interior and exterior of your shed wall need to be built with these protective materials.

I realize there is a lot of information here so if you have any questions, please let me know.

Respectfully,

Aaron Kreuder

Chief of Emergency Services
City of Bondurant
500 Campus Drive SE.
Bondurant IA, 50035

Office: 515-630-3933

Cell: 515-971-1282





**BUSINESS OF THE BOARD OF ADJUSTMENT
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 5.b.
For Meeting of 5/12/2026
Resolution

TITLE: BA - 260512-01 Case 107 - Consideration of a two-part variance request to Section 179.7(4) and Section 179.7(5)(A) of the Zoning Code, regarding (1) a reduction of the minimum side yard setback for an accessory structure and (2) an increase to the maximum allowable cumulative accessory structure area, for property located at 206 Main Street SE.

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: Please see item 5.a.

FUNDING SOURCE:

STAFF RECOMMENDATION:

The following options exist for the Board of Adjustment:

1. Approval of BA-260512-01 regarding the two-part variance request to Sections 179.7(4) and 179.7(5)(A) of the Zoning Code to allow for (1) a reduction of the minimum side yard setback and (2) an increase to the maximum allowable cumulative accessory structure area for property located at 206 Main Street SE.
2. Approval of BA-260512-01 regarding the two-part variance request to Sections 179.7(4) and 179.7(5)(A) of the Zoning Code to allow for (1) a reduction of the minimum side yard setback and (2) an increase to the maximum allowable cumulative accessory structure area for property located at 206 Main Street SE, subject to appropriate conditions and safeguards as allowed by Chapter 27 of the City Code.
3. Denial of BA-260512-01 regarding the two-part variance request to Sections 179.7(4) and 179.7(5)(A) of the Zoning Code for property located at 206 Main Street SE.
4. Table BA-260512-01 regarding the two-part variance request to Sections 179.7(4) and 179.7(5)(A) of the Zoning Code for property located at 206 Main Street SE pending additional input.

While the decision ultimately rests with the Board of Adjustment, staff have evaluated the request against the required findings of fact and is unable to make favorable determinations. As such, staff recommend denial of the requested two-part variance

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. BOA Permit - Case #107

**BOARD OF ADJUSTMENT PERMIT
VARIANCE**

Date: May 12, 2026

Case Number: BA-260512-01 (#107)

Name: City of Bondurant

Address: 206 Main Street SE.

Legal Description:

LOT 8, BLOCK 9, IN THE TOWN OF BONDURANT, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF BONDURANT, POLK COUNTY, IOWA.

IS HEREBY APPROVED A VARIANCE to Sections 179.7(4) and 179.7(5)(A) to reduce the five (5) foot minimum setback of an accessory structure from the northern property line of the property described above; and, to provide relief from the maximum cumulative accessory structure area requirements, which limits all accessory structures on the lot to no more than ten percent (10%) of the total lot area if such accessory structure is 120 square feet or larger.

All construction activities covered by this Variance Permit shall be done in strict accordance with the written application.

Greg Hanson, Chairperson



**BUSINESS OF THE BOARD OF ADJUSTMENT
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 5.c.
For Meeting of 5/12/2026
Public Hearing

TITLE: Public Hearing — for interpretation of Section 177.3 of the City's Zoning Code and for consideration of a variance request to Section 180.3.(1)(D), regarding an access drive to a new industrial building to be constructed at 1120 2nd Street NE.

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City has received a variance request for property located at 1120 2nd Street NE. The submitted variance request is to allow for a variance to Section 180.3.1.D. of the Zoning Code to allow for the construction of a new industrial building and not upgrade the existing drive from gravel to a paved surface. The applicants submitted a site plan that has been reviewed and approved by the Planning and Zoning Commission and City Council. The Planning and Zoning Commission approved the site plan and stated the existing site is gravel and is legal non-conforming meaning it does not need to be upgraded to a paved surface. Only the portion of the site being changed, i.e. the new industrial building, must meet current Zoning Code regulations. The City Council reviewed the site plan and determined the drive area may not be subject to legal non-conforming status and may need to be upgraded to a paved surface. The City Council approved the site plan and requested the Board of Adjustment review it. The City Council would like the Board of Adjustment to make two determinations. Does the drive lane area need to be upgraded from its current gravel state to a paved surfaced drive, or is legal non-conforming and allowed to remain as is. If the Board determines the drive area must be upgraded, will they consider a variance from Section 180.3.1.D. requiring the area to be paved.



Ramms Construction submitted a site plan for review by the City. This site plan showed the proposed construction of a 60' x 104' building to be used for industrial purposes. Staff reviewed the submitted site plan and determined the existing gravel drive leading to the proposed structure should be upgraded to a hard surface to meet the requirements of Section 180.3.1.D. which reads:

“... All driveways, access drives, and off-street parking and loading areas shall be paved with hot mix asphalt (HMA, Portland cement concrete (PCC), or pavers (including permeable pavement and paver systems)...”

Ramms Construction objected to this requirement and stated the entire site is currently gravel and they should be grandfathered in. Staff recommend Ramms Construction request the Planning and Zoning Commission to allow for additional time to upgrade the drive lane from gravel to a paved surface.

The Planning and Zoning Commission reviewed the site plan at their April 9, 2026 meeting and determined the drive area was legal non-conforming and did not require upgrading. The Commission voted 7-0 to recommend approval of the site plan to City

Council.

The City Council reviewed the site plan at their April 20, 2026 meeting. The City Council questioned the Commission's interpretation of legal non-conforming and requested the Board of Adjustment review the site plan. The City Council approved the site plan contingent upon the Board reviewing the site plan.

The Board of Adjustment is first reviewing whether or not the gravel state of the site is legal non-conforming and whether it should be upgraded to a paved surface due to the

construction of a new building. Nonconforming use of land is defined in the Zoning Code as follows:

177.3 NONCONFORMING USE OF LAND. Where, at the effective date of adoption or amendment of the Zoning Code, lawful use of land exists that is made no longer permissible under the terms of the Zoning Code as enacted or amended, such use may be continued subject to the following provisions:

1. No such nonconforming use shall be enlarged or increased or extended to occupy a greater area of land than was occupied at the effective date of the adoption or amendment of the Zoning Code.
2. No such nonconforming use shall be moved in whole or in part to any other portion of the lot or parcel occupied by such use at the effective date of the adoption or amendment of the Zoning Code.
3. If any such nonconforming use of land ceases for any reason for a period of more than six (6) months, any subsequent use of such land shall conform to the regulations specified by the Zoning Code for the district in which such land is located.

Staff's initial interpretation was the gravel lot's use was outdoor storage and drive lanes to the established outdoor storage. The gravel lot and the use of the gravel lot is a legal non-conforming use. When Ramms Construction submitted a site plan to construct a new building portions of the land lost its legal non-conforming use. The area of the lot the building would be placed upon, and the drive lanes to the new building now have a new use as they will no longer be used for outdoor storage. For these reasons, the area the building would be placed upon, and the drive lanes to the new building must meet current Zoning Code regulations and the remainder of the site being used for outdoor storage retains its legal non-conforming status.

The Planning and Zoning Commission's acknowledged the area the new structure was being placed must meet current Zoning regulations. However, the Commission determined that the site currently has driving lanes to access different portions of the site. The drive lanes will remain, and therefore retain their legal non-conforming status even though a different use is being introduced onto the site.

The City Council acknowledged both sides of the argument and requested the Board of Adjustment to review and make a determination on how to interpret and enforce the legal non-conforming portion of the code. If the Board determines the Planning and Zoning Commission is correct in interpreting and enforcing Section 177.3, then the submitted site plan will be approved and no further action is required. If the Board determines staff's initial interpretation and enforcement of Section 177.3 is correct, the Council has asked the Board to also review for a possible variance from Section 180.3.1.D.

Analysis:

Chapter 27.02 of the City Code provides the required review criteria by the Board of Adjustment for variance requests. The City Code notes that a variance cannot be granted unless the Board finds that all of the following five questions can be answered favorably for this request. These review criteria are referred to as Findings of Fact. If a board member cannot answer all of these findings favorably for the request, then the board member must vote for denial of the variance. Below is a summary of staff's comments on the required findings of fact relative to this request. Uploaded as an attachment is the applicant's statements on these findings relative to this request.

1. How would strict application of the zoning ordinance create practical difficulties in making a reasonable use of the property?

The land in question would still yield a reasonable return if the variance was not granted. The applicant will still have the ability to conduct their business on the site and the outdoor storage portions of the property are not being required to be upgraded. Staff has also provided routes to upgrade the drive surface over a period of time to reduce the cost burden.

2. What unique conditions of your property create these practical difficulties, and how are they not self-created?

Staff finds that special conditions or circumstances do not exist that are unique to the property. The property in question is a legal non-conforming status. This is not a unique feature of the property and is regulated by Section 177 of the City's Zoning Code.

3. Will granting this variance significantly alter the essential character of the surrounding neighborhood?

Granting the variance would not alter the essential character of the surrounding neighborhood. Industrial development has existed in this neighborhood for some time and the applicant has operated from this site for an extended period of time. The applicant has operated with a gravel surface and staff has not received complaints regarding dust creation or track out.

FUNDING SOURCE:

STAFF RECOMMENDATION:

APPROVED FOR SUBMITTAL:

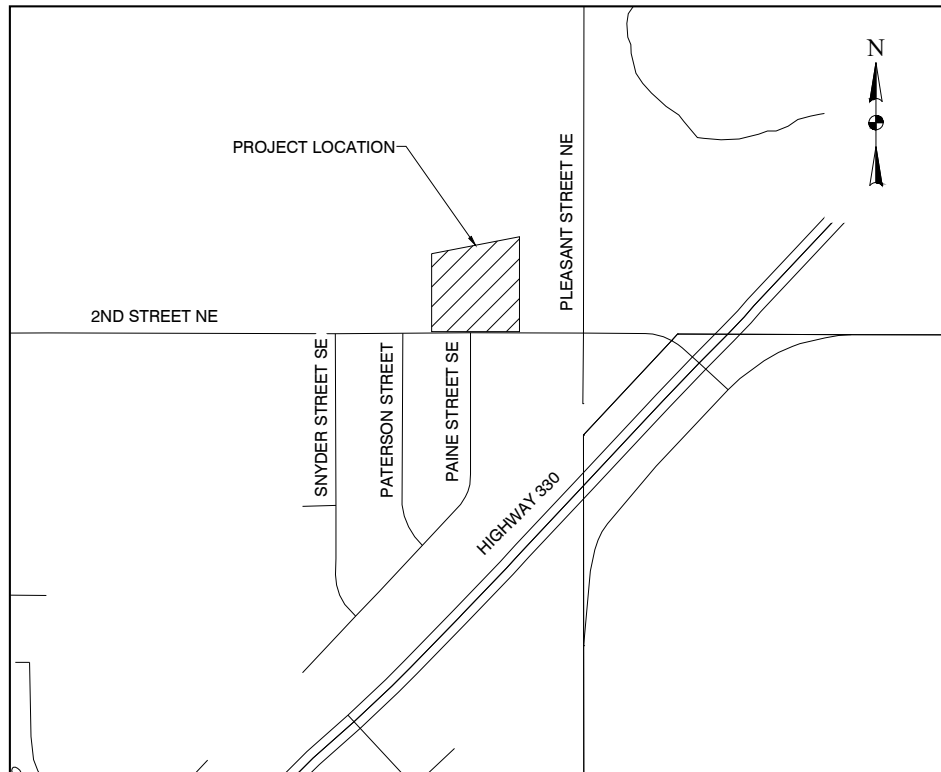
ATTACHMENTS:

- 1. Ramms Site Plan

RAMMS CONSTRUCTION SITE IMPROVEMENTS

BONDURANT, IOWA

~2025-2026~

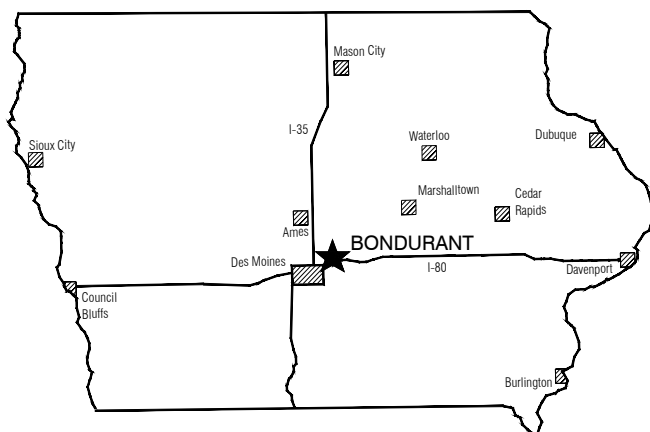


VICINITY MAP
NOT TO SCALE

WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2026 EDITION (SUDAS) AND THE CITY OF BONDURANT STANDARD SPECIFICATIONS

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C.100	TITLE SHEET
C.101	SYMBOLS, LEGEND AND GENERAL INFORMATION
C.110	EXISTING CONDITIONS & DEMOLITION PLAN
C.200	LAYOUT & UTILITY PLAN
C.300	GRADING PLAN
C.500	DETAILS



LOCATION MAP

PLAN SET IS INTENDED TO BE PRINTED IN COLOR. PRINTING WITHOUT COLOR MAY AFFECT LEGIBILITY OF THE PLANS



Clapsaddle-Garber Associates, Inc
2413 Grand Avenue
Des Moines, Iowa 50312
Phone 515-288-4823
www.cgaconsultants.com

FREE
IOWA
LICENSED
PROFESSIONAL ENGINEER
25470

PRELIMINARY

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature: Eric A. Freeman PE Date: _____
Iowa License Number: 25470
My license renewal date is: December 31, 2026

Pages or sheets covered by this seal: _____

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
		---	---	---	---
EVERGREEN TREE		---	---	---	---
		---	---	---	---
DECIDUOUS TREE		---	---	---	---
		---	---	---	---
FRUIT TREE		---	---	---	---
		---	---	---	---
SHRUBS (BUSHES)		---	---	---	---
		---	---	---	---
TREE LINE		---	---	---	---
		---	---	---	---
STUMP		---	---	---	---
		---	---	---	---
SWAMP		---	---	---	---
		---	---	---	---
CEMETERY		---	---	---	---
		---	---	---	---
GRAVE		---	---	---	---
		---	---	---	---
CAVE		---	---	---	---
		---	---	---	---
SINK HOLE		---	---	---	---
		---	---	---	---
WELL		---	---	---	---
		---	---	---	---
WINDMILL		---	---	---	---
		---	---	---	---
CISTERN		---	---	---	---
		---	---	---	---
SEPTIC TANK		---	---	---	---
		---	---	---	---
LP GAS TANK		---	---	---	---
		---	---	---	---
UNDERGROUND STORAGE TANK		---	---	---	---
		---	---	---	---
SATELLITE DISH		---	---	---	---
		---	---	---	---
SIGN (TYPE AS NOTED)		---	---	---	---
		---	---	---	---
FLAGPOLE		---	---	---	---
		---	---	---	---
SOIL BORING		---	---	---	---
		---	---	---	---
MONITORING WELL		---	---	---	---
		---	---	---	---
PARKING METER		---	---	---	---
		---	---	---	---
MAILBOX		---	---	---	---
		---	---	---	---
POST		---	---	---	---
		---	---	---	---
BOLLARD		---	---	---	---
		---	---	---	---
SPRINKLER HEAD		---	---	---	---
		---	---	---	---
SPRINKLER HEAD VALVE		---	---	---	---
		---	---	---	---
GUARDRAIL (BEAM OR CABLE)		---	---	---	---
		---	---	---	---
FENCE		---	---	---	---
		---	---	---	---
TILE OUTLET		---	---	---	---
		---	---	---	---
DRAINAGE WAY		---	---	---	---
		---	---	---	---
EDGE OF WATER		---	---	---	---
		---	---	---	---
SILT FENCE		---	---	---	---
		---	---	---	---
CONTOUR LINE		---	---	---	---
		---	---	---	---
SPOT ELEVATION		---	---	---	---
		---	---	---	---
BUILDING		---	---	---	---

EXISTING	PROPOSED	EXISTING	PROPOSED
---	---	---	---
SECTION/R.O.W. LINE		---	---
---	---	---	---
BOUNDARY LINE		---	---
---	---	---	---
PROPERTY LINE		---	---
---	---	---	---
EASEMENT LINE		---	---
---	---	---	---
SETBACK LINE		---	---
---	---	---	---
R.O.W. RAIL OR LOT CORNER		---	---
---	---	---	---
CONCRETE MONUMENT		---	---
---	---	---	---
GOVERNMENT CORNER MONUMENT		---	---
---	---	---	---
PARCEL OR LOT CORNER MONUMENT		---	---
---	---	---	---
TEMP. CONSTRUCTION EASEMENT CORNER		---	---
---	---	---	---
SURVEY CONTROL POINT		---	---

ABBREVIATIONS

PCC	PORTLAND CEMENT CONCRETE
ACC	ASPHALT CEMENT CONCRETE
STM	STORM SEWER MANHOLE
INT	STORM SEWER INTAKE
INT-MH	STORM SEWER INTAKE WITH MANHOLE
STCO	STORM SEWER CLEANOUT
FES	STORM SEWER FLARED END SECTION
STP	STORM SEWER PIPE
STFM	STORM SEWER FORCE MAIN
SMH	SANITARY SEWER MANHOLE
SACO	SANITARY SEWER CLEANOUT
SAP	SANITARY SEWER PIPE
SAFM	SANITARY SEWER FORCE MAIN
FH	FIRE HYDRANT ASSEMBLY
YH	YARD HYDRANT ASSEMBLY
WV	WATER VALVE
CS	CURB STOP
PIV	POST INDICATOR VALVE
FDC	FIRE DEPT. CONNECTION
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
PVC	POLYVINYL CHLORIDE PIPE
DI	DUCTILE IRON PIPE
CP	SURVEY CONTROL POINT
BM	SURVEY BENCHMARK
SB	SOIL BORING
MW	MONITORING WELL
PM	PARKING METER
SH	SPRINKLER HEAD
GV	GAS VALVE
GM	GAS METER
PP	POWER POLE
EM	ELECTRIC METER
TS	TRAFFIC SIGNAL
LP	LIGHT POLE/STREET LIGHT
EB	ELECTRICAL BOX/TRANSFORMER
FB	FIBER OPTICS BOX/PEDESTAL
TB	TELEPHONE BOX/PEDESTAL
TP	TELEPHONE POLE
CB	CABLE/TELEVISION BOX
AC	AIR CONDITIONER UNIT
CBU	CLUSTER MAILBOX UNIT

LEGAL DESCRIPTION

All that part of the East 649.65 feet of the SE 1/4 of Section 30, Township 80 North, Range 22 West of the 5th P.M., Polk County, Iowa, lying South of and adjacent to the Chicago Great Western Railroad right-of-way being more fully described as Tract "C" on the Plat of Survey filed October 22, 1997 in Book 7751, Page 520 in the Office of the Polk County Recorder, Polk County, Iowa.

CONTROL POINTS:

IOWA REGIONAL COORDINATE SYSTEM IOWA SOUTH NAD83(2011)(EPOCH 2010) IARTN DERIVED - US SURVEY FEET

NUMBER	NORTHING	EASTING	ELEV.	DESCRIPTION
100	620425.811	1651919.966	966.514	REBAR
101	620510.677	1652413.551	967.710	REBAR
102	620411.169	1652950.613	971.880	REBAR
103	620482.734	1653447.689	971.800	REBAR
104	620412.543	1653942.939	971.350	REBAR
105	620491.064	1654436.067	974.300	REBAR
106	620425.764	1654952.948	977.380	REBAR
20000	620534.711	1654970.308	976.128	MAG HUB
20001	620756.715	1654936.875	973.384	MAG HUB
20002	620685.321	1654747.530	972.352	MAG HUB
20003	620822.168	1655066.857	980.283	MAG HUB

PROPOSED USE

MACHINE SHOP/WAREHOUSE

APPLICANT:

RAMMS CONSTRUCTION LLC
P.O. BOX 582
MARSHALLTOWN, IOWA 50158

PROPERTY ADDRESS:

1120 2ND STREET NE
BONDURANT, IOWA 50025

OWNER OF RECORD:

RAMMS CONSTRUCTION LLC
P.O. BOX 582
MARSHALLTOWN, IOWA 50158

SURVEY PREPARED BY:

CLAPSADDLE-GARBER ASSOCIATES, INC
2413 GRAND AVENUE
DES MOINES, IOWA 50312
PH 515-288-4823
WWW.CGACONSULTANTS.COM

SITE PLAN PREPARED BY:

PROJECT MANAGER: BRAD FREEMAN
CLAPSADDLE-GARBER ASSOCIATES, INC
2413 GRAND AVENUE
DES MOINES, IOWA 50312
PH 515-288-4823
WWW.CGACONSULTANTS.COM

DATE OF PREPARATION:

12-8-2025

FIELD WORK COMPLETED:

11-28-2025

UTILITY COMPANIES

THE FOLLOWING UTILITIES ARE PRESENT ON THIS PROJECT

City of Bondurant		
Patrick Collison		515-971-6856
CenturyLink		
Sadie Hull		918-547-0147
Mid-American		
Jamie Neer		515-252-6972
MI-Fiber		
Justin Miller		515-897-8802
MediaCom		
Dave Meyers		515-991-7388

NOTE:
TYPICAL DEPTH OF COVER ON WATERMAIN PIPE IN BONDURANT IS 5.5 FT.
UNDERGROUND STRUCTURES, FACILITIES, AND UTILITIES HAVE BEEN PLATTED FROM AVAILABLE SURVEYS, RECORDS AND DEEDS. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.

NOTES:

- ALL BEARINGS ARE THE RESULT OF G.P.S. OBSERVATIONS.
- ALL UNDERGROUND UTILITIES ON THIS SITE HAVE BEEN LOCATED AT ASCE LEVEL C OR D SURVEY QUALITY.
- UTILITY LINETYPES WITH A QUALITY LEVEL INDICATOR (*) HAVE BEEN LOCATED PER THE FOLLOWING ASCE STANDARD GUIDELINE FOR THE COLLECTION & DEPICTION OF EXISTING SUBSURFACE UTILITY DATA:
 - (A) - PRECISE HORIZONTAL & VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE (OR VERIFICATION OF PREVIOUSLY EXPOSED & SURVEYED UTILITIES) & SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES. USUALLY AT A SPECIFIC POINT. MINIMALLY INTRUSIVE EXCAVATION EQUIPMENT IS TYPICALLY USED TO MINIMIZE THE POTENTIAL FOR UTILITY DAMAGE. A PRECISE HORIZONTAL & VERTICAL LOCATION, AS WELL AS OTHER UTILITY ATTRIBUTES, IS SHOWN ON PLAN DOCUMENTS. ACCURACY IS TYPICALLY SET TO 15- MM VERTICAL & TO APPLICABLE HORIZONTAL SURVEY & MAPPING ACCURACY AS DEFINED OR EXPECTED BY THE PROJECT OWNER.
 - (B) - INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE & APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. QUALITY LEVEL B DATA SHOULD BE REPRODUCIBLE BY SURFACE GEOPHYSICS AT ANY POINT OF THEIR DEPICTION. THIS INFORMATION IS SURVEYED TO APPLICABLE TOLERANCES DEFINED BY THE PROJECT & REDUCED ONTO PLAN DOCUMENTS.
 - (C) - INFORMATION OBTAINED BY SURVEYING & PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES & BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.
 - (D) - INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.



VALUE ENGINEERING SAVES. REFER TO ARTICLE 1105.15 OF THE SPECIFICATIONS.

NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

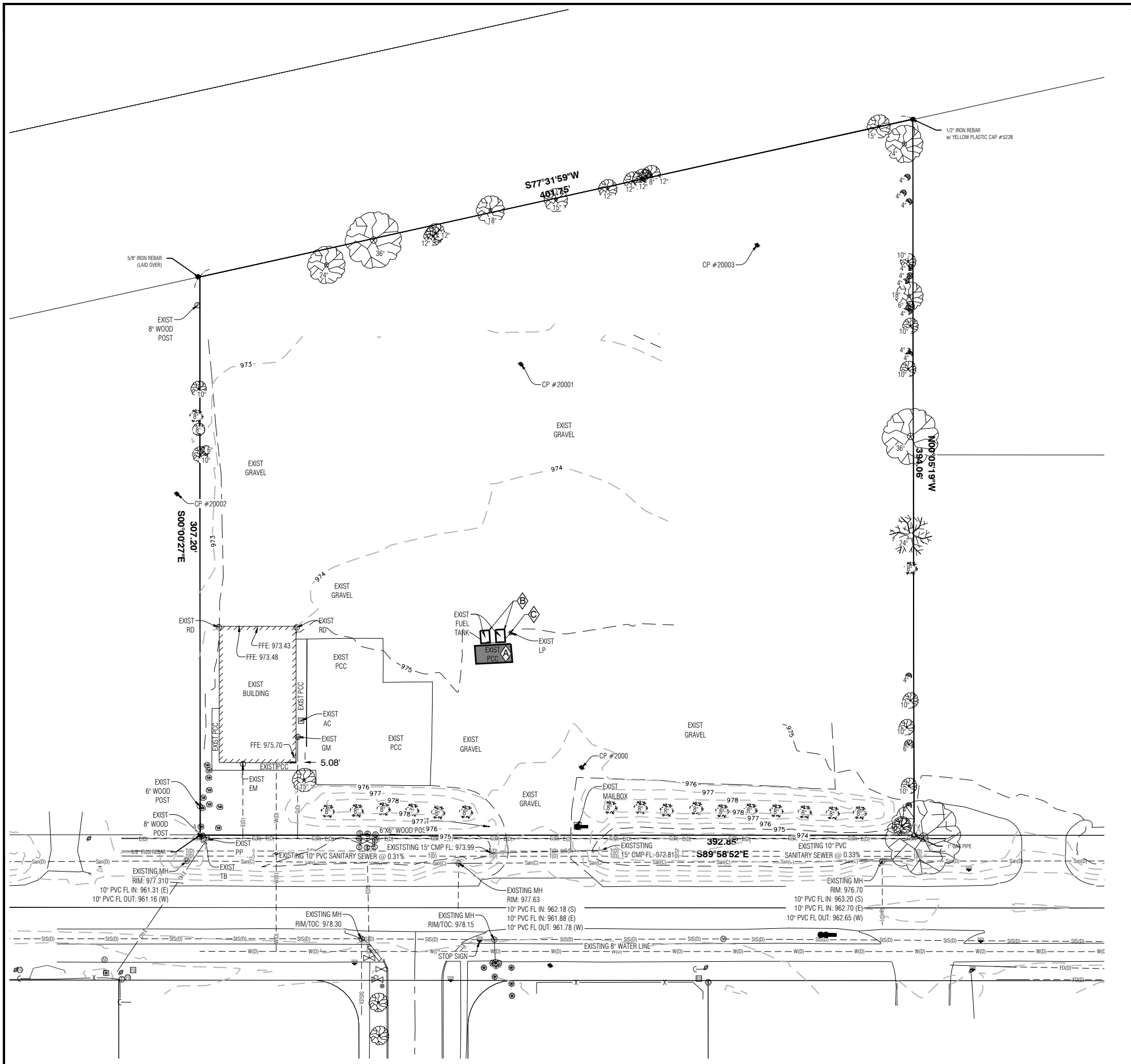
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Des Moines, Iowa 50312
Ph 515-288-4823
www.cgaconsultants.com

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DRAWN: _____	DATE: _____
CHECKED: _____	DATE: _____
APPROVED: _____	DATE: _____

RAMMS CONSTRUCTION SITE IMPROVEMENTS
BONDURANT, IOWA

SYMBOLS, LEGEND, AND GENERAL INFORMATION

PROJECT NO.	25-DS-0425
SHEET NO.	C.101



GENERAL DEMOLITION NOTES:

1. ADJOINING PROPERTIES SHALL BE PROTECTED DURING DEMOLITION OPERATIONS. DEBRIS ON ADJOINING PROPERTIES SHALL BE CAREFULLY REMOVED BY CONTRACTOR.
2. ANY DAMAGE TO EXISTING PAVEMENT TO REMAIN DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT TO REMAIN.
3. REMOVE ALL SIGNS, LIGHTS, POSTS, POLES, WALLS, AND ASSOCIATED FOUNDATIONS AS INDICATED. BACKFILL ALL HOLES AND DEPRESSIONS WITH SUITABLE SOIL.
4. CONTRACTOR SHALL SUPPLY DETAILED CONSTRUCTION SCHEDULE TO THE CITY. ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY:
 - A. CITY OF BONDURANT
 - B. OWNER
 - C. CLAPSADLE-GARBER ASSOCIATES, INC.
5. CONTRACTOR SHALL DISPOSE OF PAVEMENT & FENCING OFF-SITE.
6. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

KEY DEMOLITION CONSTRUCTION NOTES:

- ◊ REMOVE CONCRETE & ALL ASSOCIATED CURBS TO NEAREST JOINT LINE OR AS INDICATED.
- ▨ REMOVE EXISTING FUEL STORAGE TANKS
- ◊ PROTECT EXISTING LIGHT POLE

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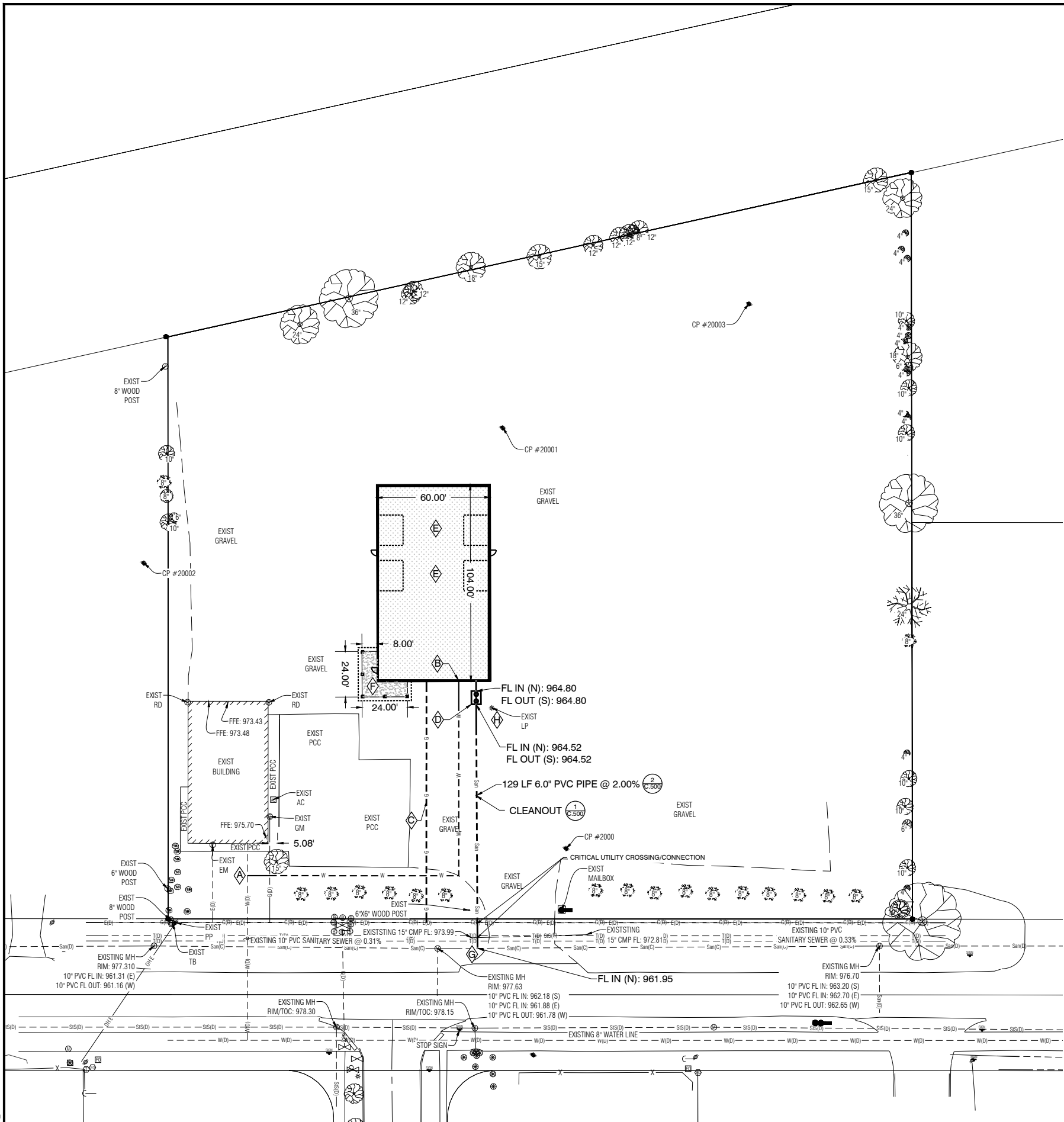
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 2413 Grand Avenue
 Des Moines, Iowa 50312
 Ph 515-268-4823
 www.cgaconsultants.com

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 DRAWN: _____ DATE: _____
 CHECKED: _____ DATE: _____
 APPROVED: _____ DATE: _____

RAMMS CONSTRUCTION SITE IMPROVEMENTS
BONDURANT, IOWA

EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO. 25-DS-0425
 SHEET NO. C.110



TRAFFIC CONTROL NOTES:

1. ALL TRAFFIC CONTROL DEVICES & BARRIERS SHALL BE FURNISHED, ERECTED, MAINTAINED, & REMOVED BY THE CONTRACTOR.
2. PROPOSED CHANGES TO THE TRAFFIC CONTROL PLAN SHALL BE REVIEWED WITH THE ENGINEER BEFORE CHANGES ARE MADE.
3. ACCESS TO NEIGHBORING BUILDINGS SHALL BE MAINTAINED AT ALL TIMES.
4. ALL UTILITY WORK WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE CITY OF BONDURANT STANDARDS & THE CURRENT ADDITION OF THE MUTCD.
5. TWO-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES ALONG 2ND STREET.
6. THE CONTRACTOR SHALL USE CARE WHEN WORKING UNDER/OVER/AROUND ELECTRICAL LINES.
7. FLASHING OR STEADY BURN WARNING LIGHTS ARE REQUIRED ON TYPE II BARRICADES FOR OVERNIGHT CLOSURES.
8. WORK AREA MUST BE ENCLOSED WITH BARRICADES, FENCING, OR A COMBINATION OF THE TWO.

GENERAL LAYOUT NOTES:

1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES & STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.
3. SIGHT LIGHTING SHALL BE DETERMINED BY THE OWNER.
4. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED & MULCHED UNLESS OTHERWISE NOTED IN PLANS. REFER TO LANDSCAPING PLAN.
5. ANY DAMAGE TO THE PAVEMENT NOT SHOWN FOR REMOVAL ON THE PLANS DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT.
6. COORDINATE GAS, ELECTRIC, TELEPHONE, & FIBER OPTIC WITH RESPECTIVE UTILITY COMPANIES.
7. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

GENERAL UTILITY NOTES:

1. ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF BONDURANT.
2. ALL SITE UTILITIES SHALL BE BROUGHT WITHIN 5' OF THE BUILDING TO CONNECT TO PLUMBING CONTRACTORS WORK.
3. COORDINATE GAS, ELECTRIC, TELEPHONE AND FIBER OPTIC SERVICE WITH RESPECTIVE UTILITY COMPANIES. COSTS ASSOCIATED WITH RELOCATING THESE UTILITIES ON THE PUBLIC SIDE OF THE METER/BUILDING DEMARCATION POINT FOR THE PURPOSES OF CONSTRUCTION SHALL BE BY THE OWNER. COSTS FOR RELOCATING THESE UTILITIES ON THE PRIVATE SIDE OF THE METER/BUILDING DEMARCATION POINT SHALL BE PART OF THE CONTRACTOR'S BASE BID.
4. SEWER FLOW LINES, PIPE MATERIAL, & PIPE SIZES SHALL BE FIELD VERIFIED PRIOR TO INSTALLING PIPE OR ORDERING STRUCTURES.
5. FINAL LOCATION AND SIZE OF UTILITIES SERVICE LINES TO BE DETERMINED BY OWNER.
6. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES & STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.
7. REFER TO 500 SHEETS FOR UTILITY DETAILS.
8. ALL ROOF DRAINS SHALL BE TIED INTO STORM SEWER LINES.
9. ALL UNDERGROUND UTILITIES SHALL HAVE TRACER WIRE INSTALLED.

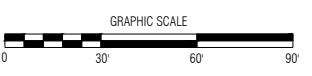
CONSTRUCTION DETAILS:

- 1
C-5000 INSTALL SANITARY SEWER CLEANOUTS PER SUDAS
- 2
C-5000 INSTALL 6" SANITARY SEWER SERVICE. SLOPE MUST BE 1% OR GREATER.

CONSTRUCTION NOTES:

- ⬠ CONTRACTOR TO CONFIRM SERVICE SIZE LIVE TAP EXISTING WATER SERVICE TO EXISTING WATER SERVICE
- ⬠ CONTRACTOR TO COORDINATE WITH CITY TO INSTALL NEW WATER METER
- ⬠ COORDINATE GAS SERVICE CONNECTION WITH UTILITY COMPANY.
- ⬠ INSTALL SAND/OIL INTERCEPTOR
- ⬠ TRENCH DRAINS TO BE DESIGNED BY OTHERS.
- ⬠ STOOP (SEE ARCHITECTURAL PLANS)
- ⬠ CONNECT TO EXISTING SANITARY SEWER PER CITY OF BONDURANT SPECIFICATIONS.
- ⬠ ELECTRICAL SERVICE TO PROPOSED BUILDING WILL TIE INTO SERVICE ON EXISTING POLE. CONTRACTOR TO VERIFY CONNECTION IS VIABLE WITH MID-AMERICAN ENERGY BEFORE CONSTRUCTION.

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NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

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Des Moines, Iowa 50312
Ph 515-268-4828
www.cgaconsultants.com

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 CHECKED: _____ DATE: _____
 APPROVED: _____ DATE: _____

RAMMS CONSTRUCTION SITE IMPROVEMENTS
BONDURANT, IOWA

LAYOUT & UTILITY PLAN

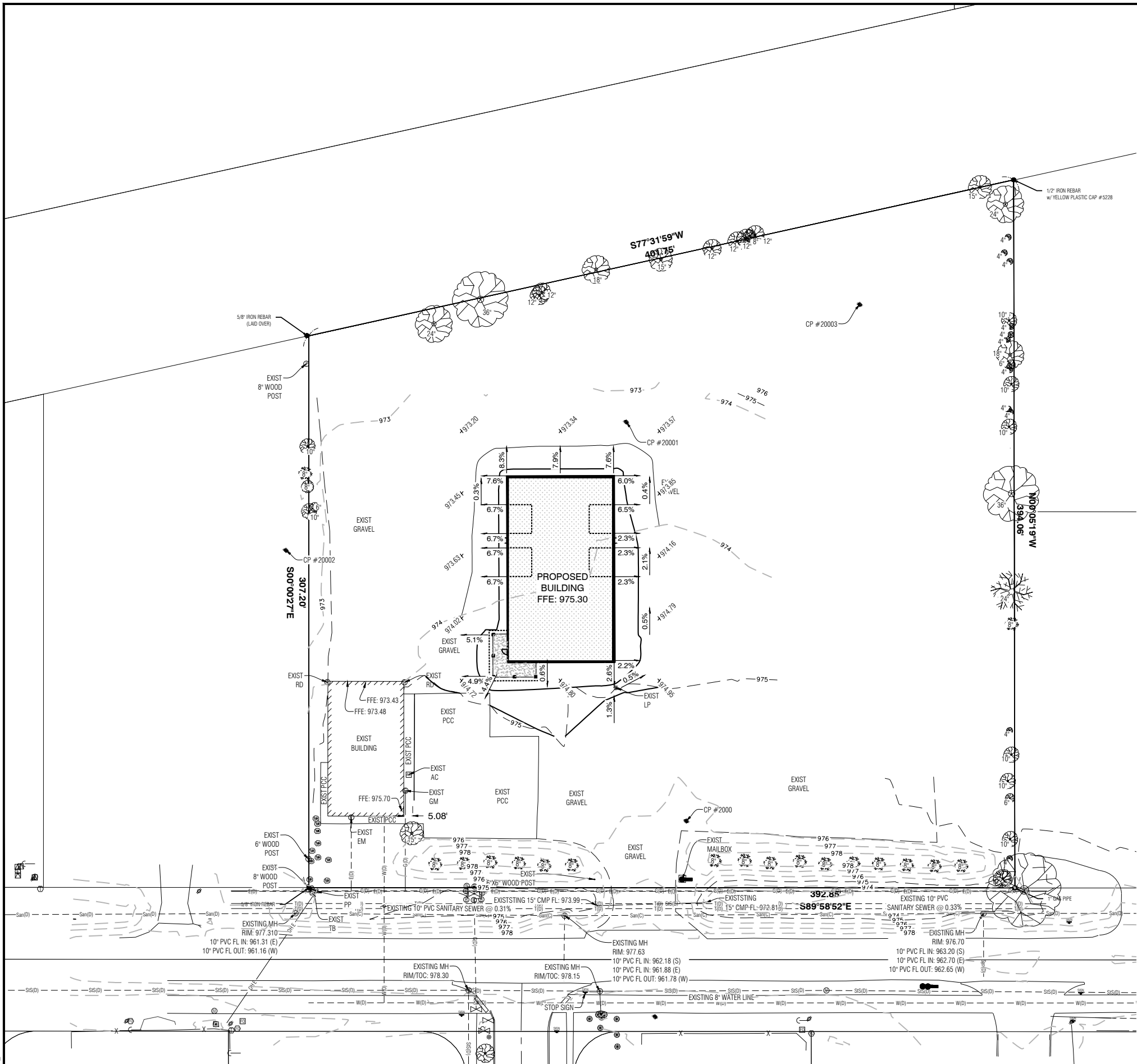
PROJECT NO. 25-DS-0425
SHEET NO. C.200

GENERAL GRADING NOTES

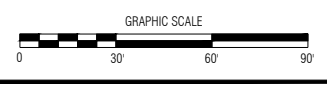
1. SLOPES SHALL NOT BE GREATER THAN 3:1
2. GRADE TO DRAIN AWAY FROM ALL BUILDINGS.
3. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%. CONTRACTOR SHALL TARGET 1.5% CROSS SLOPE.

LEGEND

- TOC TOP OF CURB
- GUT GUTTER ELEVATION
- HP HIGH POINT
- LP LOW POINT
- T/W TOP OF WALL AT FINISHED GRADE
- B/W BOTTOM OF WALL AT FINISHED GRADE
- 2.0% PROPOSED SLOPE
- PROPOSED DRAINAGE PATTERN



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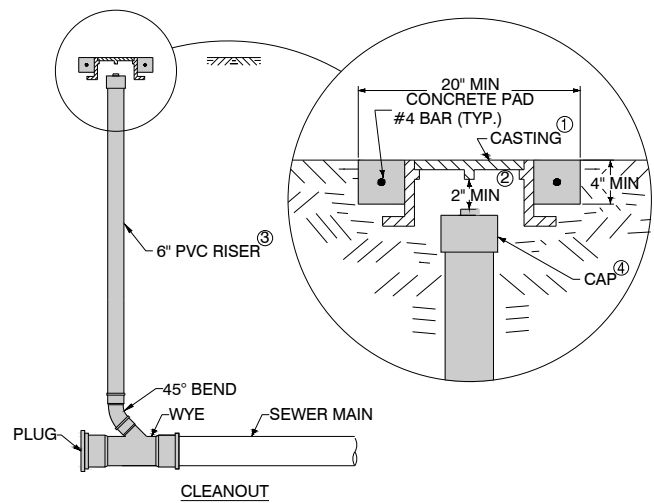
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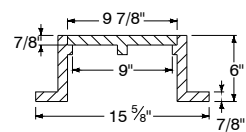
RAMMS CONSTRUCTION SITE IMPROVEMENTS
 BONDURANT, IOWA

GRADING PLAN

PROJECT NO. 25-DS-0425
 SHEET NO. C.300

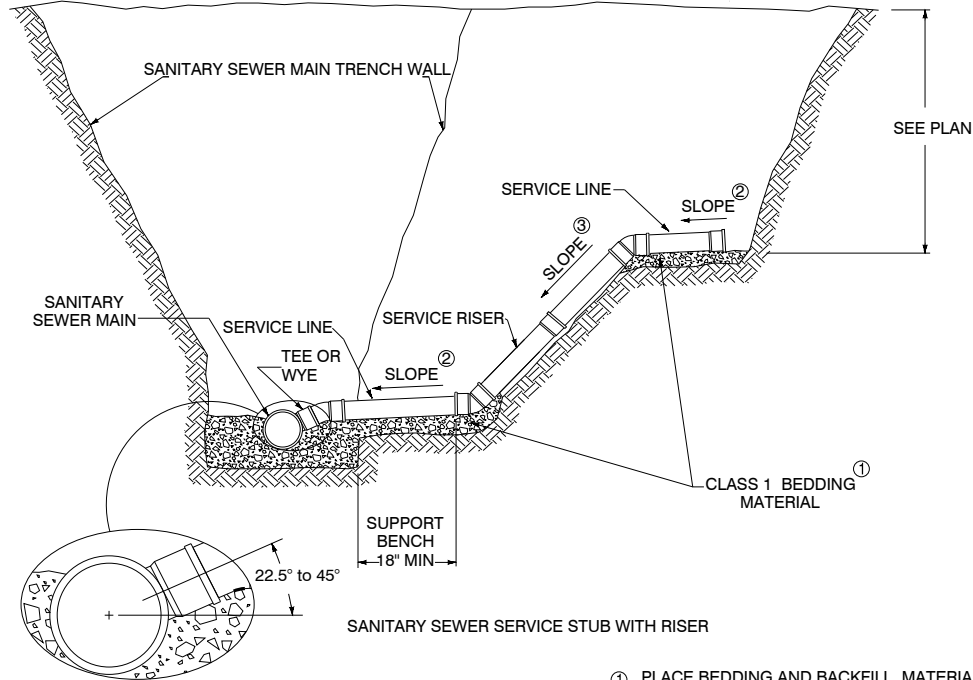


- ① STANDARD DUTY CASTING COMPLYING WITH AASHTO M 306. MARK LID WITH "SANITARY" OR "SANITARY C.O."
- ② DO NOT ALLOW CASTING TO BEAR ON TOP OF RISER PIPE.
- ③ 6-INCH PVC SERVICE PIPE
- ④ THREADED PVC CAP OR IRON BODY FERRULE WITH BRASS SCREW PLUG



CASTING ①
(DIMENSIONS ARE NOMINAL)

① SANITARY SEWER CLEANOUT



- ① PLACE BEDDING AND BACKFILL MATERIAL AS REQUIRED FOR SEWER MAIN.
- ② SERVICE LINE SLOPE:
4 INCH: 2% TO 5%
6 INCH AND GREATER: 1% TO 5%
- ③ IF SERVICE RISER SLOPE IS STEEPER THAN 1:1, CONSTRUCT RISER OF ENTIRE SERVICE LINE WITH SCHEDULE 40 PVC (ASTM D 1785) OR DUCTILE IRON (AWWA C151, CLASS 52). USE SINGLE LENGTH OF PIPE FOR RISER, IF POSSIBLE.

② SANITARY SEWER SERVICE STUB

J:\25-DS-0425\dwg\5_Sherie\25DS0425-C500-Details.dwg - C:500 - 03-30-26 - 11:33am - csilber

NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE



Clapsaddle-Garber Associates, Inc.
2413 Grand Avenue
Des Moines, Iowa 50312
Ph 515-266-4923
www.cgaconsultants.com

DESIGNED: _____ DATE: _____
DRAWN: _____ DATE: _____
CHECKED: _____ DATE: _____
APPROVED: _____ DATE: _____

RAMMS CONSTRUCTION SITE IMPROVEMENTS
BONDURANT, IOWA

DETAILS

PROJECT NO.
25-DS-0425
SHEET NO.
C.500



WERTZBERGER ARCHITECTS
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RAMMS CONSTRUCTION

1120 2ND ST NE
 BONDURANT, IA 50035

Project No: 25-DS-0425
 Project Issue Date: 3/5/2026

#	Description	Date

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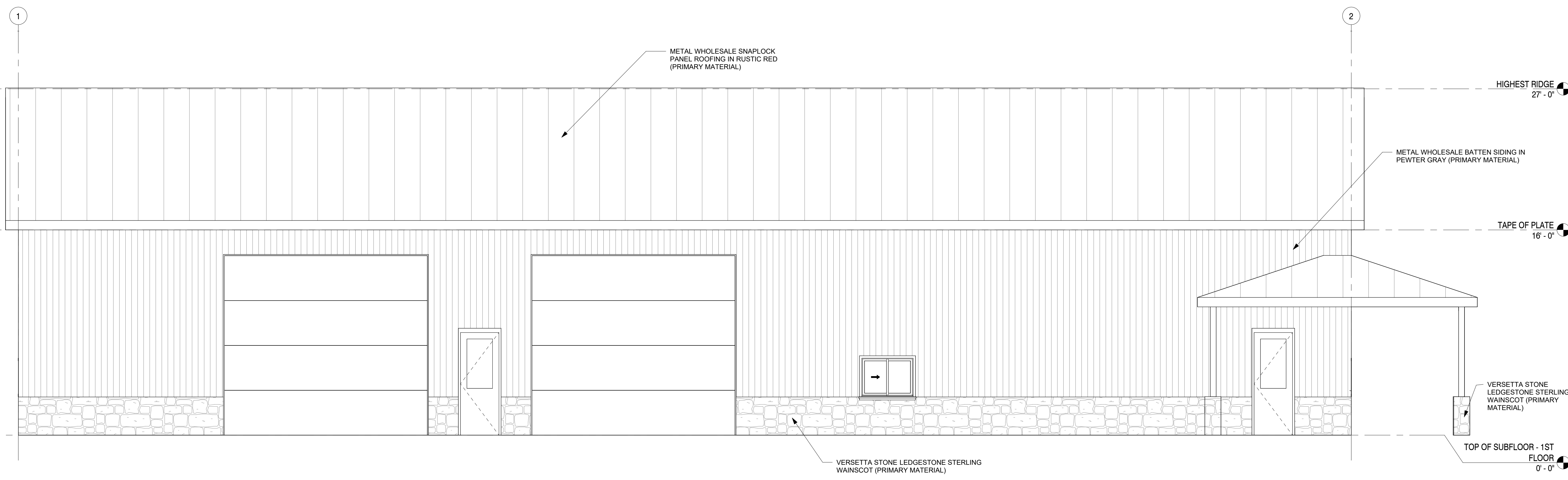
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Date: 3/5/2026
 Scale: 1/4" = 1'-0"
 Sheet Title:

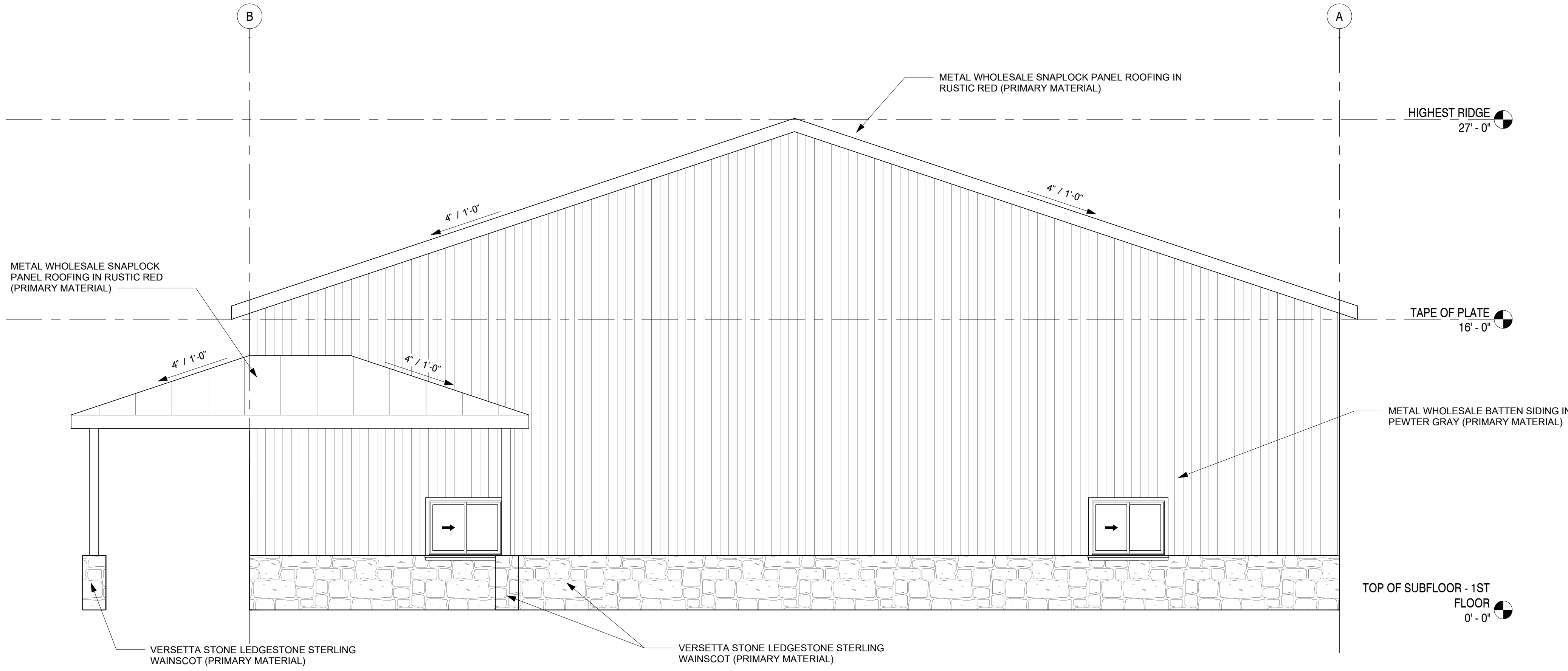
Architectural
 Building Elevations

Sheet Number
A201



1 Elevation 1
 SCALE: 1/4" = 1'-0"

NOTE: MINIMUM IS 1 PRIMARY OR SECONDARY MATERIAL THAT IS 80% OF THE FAÇADE. THIS ELEVATION EXCEEDS THE MINIMUM. THIS PROPOSAL HAS TWO PRIMARY MATERIALS COVERING 100% OF FAÇADE.



2 Elevation 2
 SCALE: 1/4" = 1'-0"



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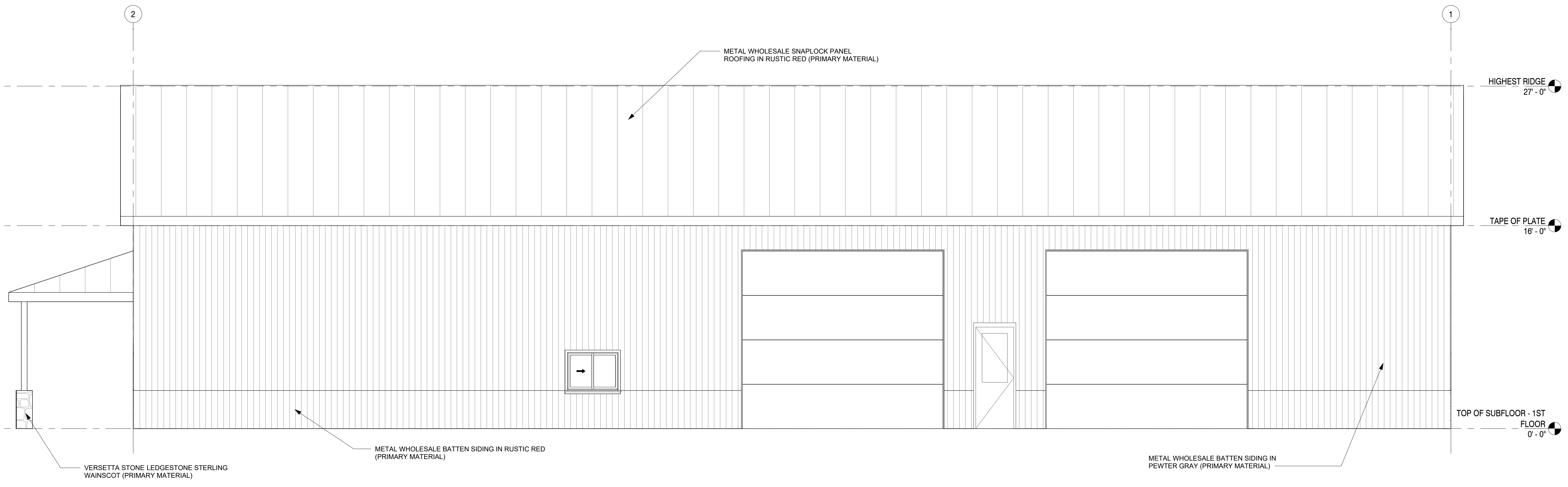
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Date: 3/5/2026
 Scale: 1/4" = 1'-0"

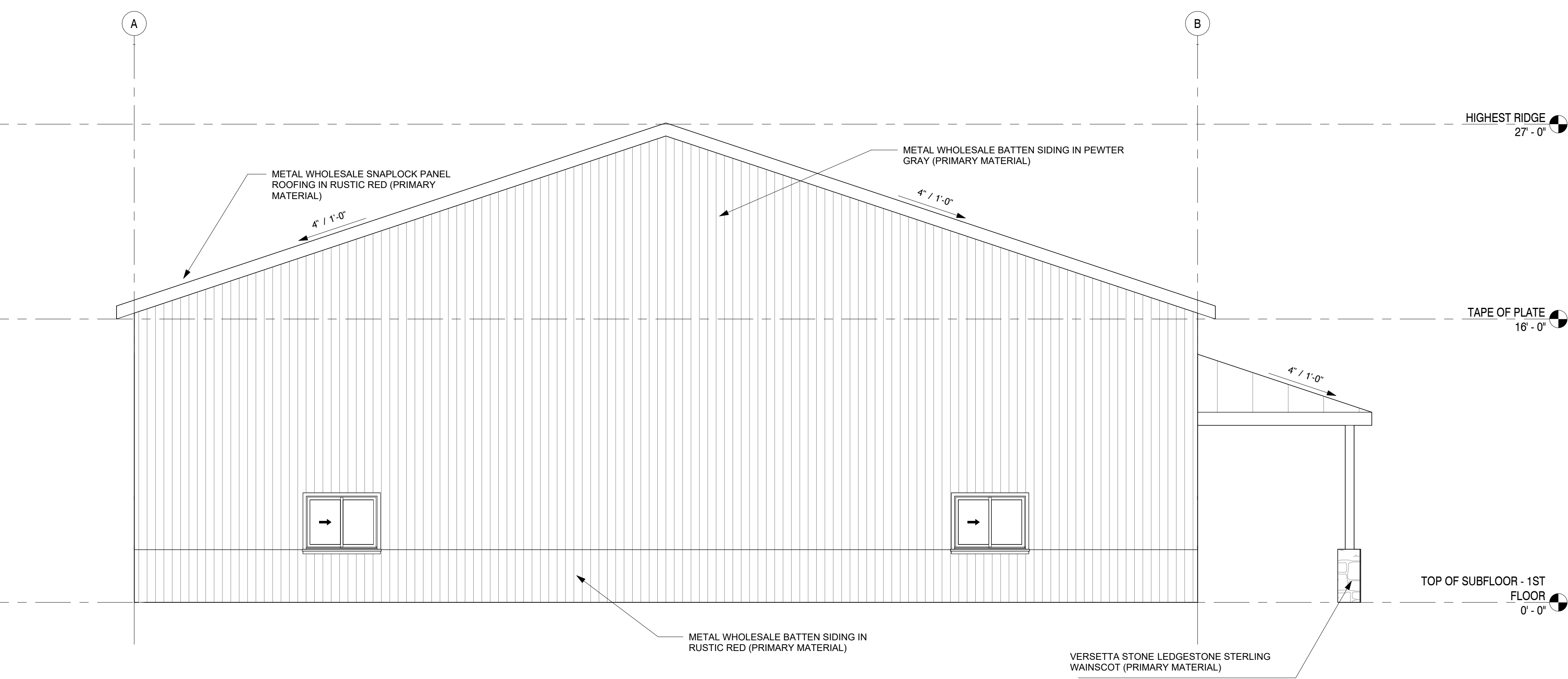
Sheet Title:
 Architectural
 Building Elevations

Sheet Number:
A202



1 Elevation 3
 SCALE: 1/4" = 1'-0"

NOTE: MINIMUM 50% OF FAÇADE NEEDS TO BE PRIMARY MATERIAL. AT LEAST TWO DIFFERENT MATERIALS ARE REQUIRED. THIS ELEVATION EXCEEDS THE MINIMUM. THIS PROPOSAL HAS TWO PRIMARY MATERIALS COVERING 100% OF FAÇADE.



2 Elevation 4
 SCALE: 1/4" = 1'-0"



**BUSINESS OF THE BOARD OF ADJUSTMENT
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 5.d.
For Meeting of 5/12/2026
Resolution

TITLE: BA - 260512-02 Case 108 - for consideration of a variance request to Section 180.3.1.D, regarding an access drive to a new industrial building to be constructed at 1120 2nd Street NE.

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: See Item 5.c.

FUNDING SOURCE:

STAFF RECOMMENDATION: The following options exist for the Board of Adjustment:

1. Approval of BA-260512-02 regarding approval of the variance request to Section 180.3.(1)(D) of the Zoning Code to allow for the construction of an access drive to a new industrial building.
2. Approval of BA-260512-02 regarding approval of the variance request to Section 180.3.(1)(D) of the Zoning Code to allow for the construction of an access drive to a new industrial building, subject to appropriate conditions and safeguards as allowed by Chapter 27 of the City Code.
3. Denial BA-260512-02 regarding approval of the variance request to Section 180.3.(1)(D) of the Zoning Code to allow for the construction of an access drive to a new industrial building.
4. Table BA-260512-02 regarding approval of the variance request to Section 180.3.(1)(D) of the Zoning Code to allow for the construction of an access drive to a new industrial building.

Staff makes no recommendation for this variance request, as the City of Bondurant is the applicant.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. BOA Permit - Case #108

**BOARD OF ADJUSTMENT PERMIT
VARIANCE**

Date: May 12, 2026

Case Number: BA-260512-02 (#108)

Name: City of Bondurant

Address: 1120 2nd Street NE.

Legal Description:

ALL THAT PART OF THE EAST 649.95 FEET OF THE SE ¼ OF SECTION 30, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5^T P.M., POLK COUNTY, IOWA LYING SOUTH OF AND ADJACENT TO THE CHICAGO GREAT WESTERN RAILROAD RIGHT-OF-WAY BEING MORE FULLY DESCRIBED AS TRACT "C" ON THE PLAT OF SURVEY FILED OCTOBER 22, 1997 IN BOOK 7751, PAGE 520 IN THE OFFICE OF THE POLK COUNTY RECORDER, POLK COUNTY, IOWA.

IS HEREBY APPROVED A VARIANCE to Section 180.3.1.D, regarding an access drive to a new industrial building to be constructed at 1120 2nd Street NE.

All construction activities covered by this Variance Permit shall be done in strict accordance with the written application.

Greg Hanson, Chairperson