

**Participants wishing to speak on a topic should message the meeting moderator. All participants are asked to mute their individual computers at times when they are not speaking to minimize background noise. Join: <https://us02web.zoom.us/j/85018346940>*

**NOTICE OF A REGULAR MEETING
BONDURANT PLANNING AND ZONING COMMISSION
MAY 14, 2026**

NOTICE IS HEREBY GIVEN that a Regular Meeting of the City Council will be held at 6:00 PM on May 14, 2026, in the Bondurant City Center, 200 Second Street, Northeast, Bondurant, Polk County, Iowa. Said meeting is open, and the public is encouraged to attend.

AGENDA

1. Call to Order
2. Roll Call
3. Perfecting and Approval of the Agenda
4. Approval of Minutes
 - a. April 16, 2026 Minutes
5. Guests requesting to address the Planning and Zoning Commission
6. Action Items
 - a. Resolution PZ-260514-12 - Consideration of the Silo Commons Site Plan
 - b. Public Hearing - Consideration of the Future Land Use Designation for Parcel 2026-43 to Regional Commercial.
 - c. Resolution PZ-260514-13 — Consideration of the Future Land Use Designation for Parcel 2026-43 to Regional Commercial.
 - d. Public Hearing to Consider the Rezoning of Parcel 2026-43 to the (C-2) General Commercial District.
 - e. Resolution PZ-260514-14 - Consideration of the Rezoning of Parcel 2026-43 to the (C-2) General Commercial District
 - f. Public Hearing — Consideration of Future Land Use Designation for Parcel 2026-44 to Regional Commercial.
 - g. Resolution PZ-250514-15 — Consideration of the Future Land Use Designation of Parcel 2026-44 to Regional Commercial.
 - h. Public Hearing — Consideration of the Rezoning of Parcel 2026-44 to the (C-2) General Commercial District.
 - i. Resolution PZ-260514-16 - Consideration of the Rezoning of Parcel 2026-44 to the (C-2) General Commercial District.
 - j. Resolution PZ-260514-17 - Consideration of Vacation of Roadway Easement.
 - k. Public Hearing — Consideration of the Future Land Use Designation of the Vacated Roadway Easement to Industrial.
 - l. Resolution PZ-260514-18 - Consideration of the Future Land Use Designation of the Vacated Roadway Easement to Industrial
 - m. Public Hearing — Consideration of the Rezoning of the Vacated

Roadway Easement Area to the (M-2) Medium Industrial District.

- n. Resolution PZ-260514-19 - Consideration of the Rezoning of the Vacated Roadway Easement Area to the (M-2) Medium Industrial District.
7. Discussion Items -
8. Reports / Comments and appropriate action thereon:
 - a. Commission Members
 - b. Commission Chair
 - c. City Staff
 - d. City Council Liaison
9. Adjournment

City of Bondurant

Planning and Zoning
Commission 200 2nd St NE,
PO Box 37
Bondurant, IA 50035



Meeting Minutes

DATE: April 16, 2026

Karen Keeran, Chair

1. Call to Order 6:00 pm

Place Bondurant City Hall (200 2nd St NE, PO Box 37)

2. Roll Call

Members Present: Karen Keeran (Chairperson), Jason Vore (Vice-Chairperson), Brian Clayton, Louise Jennings, Chris Johnsen, Ethan Pitt, Jesse Torres

Members Absent:

City Official & Staff Present: Isaac Pezley, Dennis Lyman

3. Perfecting and Approval of the Agenda

Motion by Commission Member Vore, seconded by Commission Member Pitt to approve of the April 16, 2026, meeting agenda. Vote on Motion 7-0-0. Motion carried.

4. Approval of Minutes

Motion by Commission Member Clayton, seconded by Commission Member Vore to approve the March 12, 2026 meeting minutes. Vote on Motion 7-0-0. Motion carried.

5. Guests requesting to address the Planning and Zoning Commission

6. Action Items

- a. Resolution PZ-260416-09 – Consideration of Site Plan for Vermeer Corporation at 2901 Vermeer Drive SE.

Liz Sporer, Vermeer Corporation, thanked the City and the Commission for their support and work to get the Vermeer Site Plan to this point.

Eric Cannon, Snyder and Associates, provided the Commission an overview of the site plan.

Pitt asked if there are any other plans for this certified site area. Pezley stated this is the only site plan for this area at this time.

Keeran asked about the outdoor storage area surfacing. Pezley overviewed the new gravel requirements. Pezley stated one of the documents Snyder and Associates sent over this afternoon was how dust was going to be handled on site.

Pitt asked if sidewalks are required. Pezley stated staff asked for a sidewalk to connect into the future trail along Vermeer Drive SE. The updated site plan shows this sidewalk. Keeran asked if bike racks are included. Pezley stated no bike racks are shown and industrial developments are exempt from the bike rack requirements.

Motion by Commission Member Vore, seconded by Commission Member Pitt to approve Resolution PZ - 260416-09.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt Nays: none Abstentions: Commission Member Torres. Absent: none. Vote on Motion 6-0-1. Motion carried.

- b. Resolution PZ-260416-10 – Consideration of Site Plan for Rams Construction at 1120 2nd Street NE.

Brad Freeman, CGA, provided the Commission with an overview of the site plan. Pezley stated staff has a couple of comments that need to be addressed. The elevations appear to meet design requirements but the site plan needs to be updated to show percentages. Pezley stated there are outstanding stormwater questions CGA is working out with engineering. Pezley stated staff also stated a paved drive lane needs to be included to the new building and to all overhead door openings. Pezley stated a similar project allowed for the gravel drive to be updated over a period of time, staff would be alright with a similar agreement.

Keeran asked if additional screening was needed. Pezley stated the existing landscaping along the front met landscaping requirements at the time they moved onto the site. Keeran asked about screening on the north side adjacent to the bike trail. Pezley stated that area is very swampy and requiring additional landscaping would likely result in the death of any landscaping installed.

The Commission discussed the update of the drive lane. Clayton stated he felt no drive lane was required as the existing lot is gravel. Clayton stated this site is clean, they do not track out and he would be alright with considering the existing gravel lot as legal non-conforming. The Commission agreed with Clayton's comments.

Motion by Commission Member Clayton, seconded by Commission Member

Torres to approve Resolution PZ -260416-10 and not require improved drive lanes to the proposed building.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

- c. Resolution PZ-260416-11 – Consideration of Civic Campus North Right-of-Way Vacation Plats.

Pezley stated these vacation plats are the old rights-of-way for Pleasant Street SE and 2nd Street NE. This intersection has been realigned to provide longer entrance into the Campus Drive SE and Hubbell Avenue intersection. The City owns the property on either side of these vacation lots and will remain ownership of them. Keeran asked if these will be sold for commercial development. Pezley stated that is the long term goal.

Motion by Commission Member Vore, seconded by Commission Member Jennings to approve Resolution PZ - 260416-11.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

7. Discussion Items –

8. Reports / Comments and appropriate action thereon

- a. Commission Members

Clayton – Stated there are still silt fences in places on properties that are no longer under construction. Asked staff for a map showing where certified site are located.

Jennings –none.

Johnsen – none.

Pitt –none.

Torres –none.

Vore – Expressed concern about the sale of Warren Family Farms west of town and the potential of annexation of that ground. Expressed concern regarding electric scooters, emotos, and ebikes in town. Staff stated there are policies being introduced across the metro and staff is following those.

Commission Chair – Asked if a light changing sign will be placed

northbound at the new Hubbell Avenue intersection.

- b. Community Development Director – absent.
- c. City Planner –none.
- d. City Administrator –absent.
- e. City County Liaison – Lyman stated it is budget season and that is first and foremost on Council’s agenda. Vermeer infrastructure projects are moving forward. The City is hiring some new positions in Parks & Recreation, Emergency Services, Human Resources and Public Works.

7. Adjournment

Motion by Commissioner Vore, seconded by Commissioner Johnsen to adjourn the meeting. Vote on Motion 7-0-0. Motion carried. Meeting adjourned at 6:42.



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.a.
For Meeting of 5/14/2026
Resolution

TITLE: Resolution PZ-260514-12 - Consideration of the Silo Commons Site Plan

CONTACT PERSON:

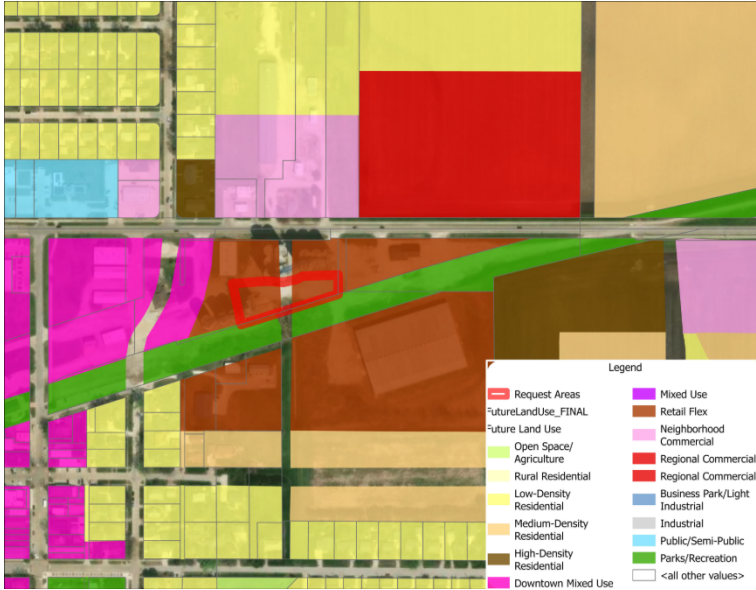
BRIEF HISTORY & ANALYSIS: The City has submitted a site plan for review by the Planning & Zoning Commission and City Council for the proposed Silo Commons. The site plan applicant and owner of the property is the City of Bondurant. The site plan was prepared by ISG. The applicant is proposing an amphitheater, green space and bathroom facilities. This property is zoned as being within the City's Planned Unit Development (PUD) District and within the Grain District Planned Unit Development. The property in question is outlined below in red.



When the Planning & Zoning Commission and City Council review site plans, they review for consistency with the following documents: Comprehensive Plan; Zoning Code; and Comments from City Officials.

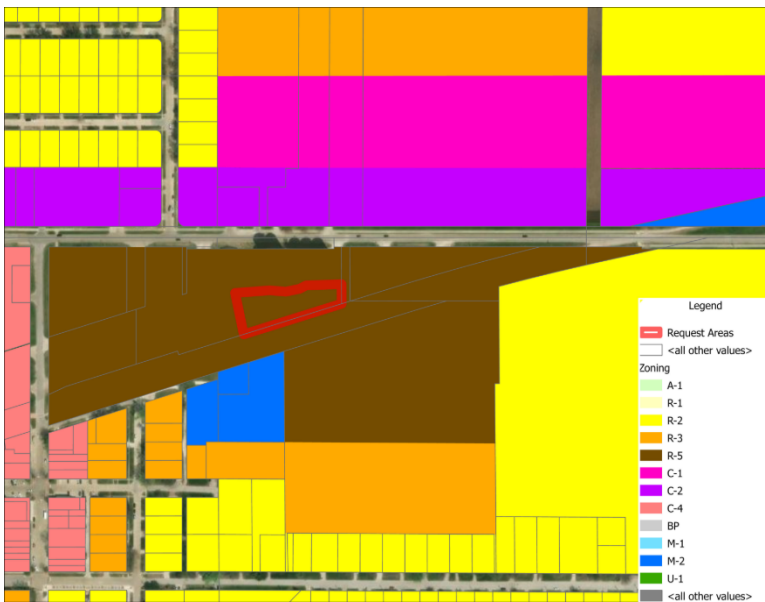
Consistency with the City's Comprehensive Plan:

The 2022 Comprehensive Plan guides for retail flex in this area. The property in question is outlined in red below.



Consistency with the City's Zoning Code:

Below are notes detailing how the Zoning Code is met for this request or what additional information is needed to ensure the Code will be met for this development.



General Use & Bulk Standards

- The site plan states setback requirements.
- The site plan shows an amphitheater space to the east of the existing silo pack. The silo pack is planned to be used as storage for users of the amphitheater.
- Bathroom facilities are shown along the southern property line of the Silo Commons property.
- A green space for events attendees is shown in green on the site plan.

Parking/Drive Areas

- Access to the site is available from Filmore Avenue NE.
- The site plan shows sixteen parking stalls on site. Additional parking will be provided to the south of the property.
- The parking lot area is shown as permeable pavers.

Stormwater, Utilities & Natural Features

- A stormwater management report has been submitted for review by the City Engineer. The City Engineer is still reviewing the stormwater management report at this time.
- The site is not located within FEMA's 100-year floodplain.
- This site is not located within the City's Stream Buffer Ordinance area.

ARCHITECTURAL STANDARDS

- Architectural renderings have been submitted and reviewed by staff, at this time these renderings have not been finalized. The most recent rendering submitted to staff have been included in the packet.

Other Site Plan Features

- A landscaping plan was submitted and shown on pages 22-25 of the site plan.
- Bike racks are placed in the southern portion of the property adjacent to the entrance from the Chichaqua Valley Trail.

Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. Public Works - reviewed and no comments have been received at this time.
2. Engineering – still being reviewed by engineering staff.
3. Fire Department - reviewed and no comments have been received at this time.

FUNDING SOURCE:

STAFF RECOMMENDATION:

The following options exist for the Planning & Zoning Commission:

- 1. Recommended approval of RESOLUTION NO. PZ-260514-12.
- 2. Recommended approval of RESOLUTION NO. PZ-260514-12, subject to certain Zoning Code clarification items being addressed.
- 3. Recommended denial of RESOLUTION NO. PZ-260514-12.
- 4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

- 1. RESOLUTION NO. PZ-260514-12
- 2. Silo Commons Site Plan
- 3. Silo Commons Renderings

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-260514-12

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE SITE PLAN FOR
SILO COMMONS.

WHEREAS, ISG, on behalf of the City of Bondurant, has submitted the site plan for Silo Commons described as follows;

LOT 4 OF GRAIN DISTRICT FINAL PLAT.

WHEREAS, the zoning for the property is Planned Unit Development (PUD) and amphitheater use is a permitted use of the Zoning Code and of the Grain District PUD;

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted site plan for Silo Commons subject to the following City Code/Policy clarification recommendation items;

1. Site Plan shall be updated to reflect review comments from City staff submitted to the applicants.
2. Site Plan shall be updated to reflect any comments received from Engineering.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Isaac Pezley, City Planner, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on May 14, 2026; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair

SYMBOL LEGEND

EXISTING	PROPOSED
○ EX STM MH	● STORM MANHOLE
□ EX CB	■ STORM CATCH BASIN
EX CD	—●— STORM CLEANOUT
—>>—	—>>— STORM CULVERT
○	○ DOWNSPOUT
○	○ ROOF DRAIN
○ EX SAN MH	● SANITARY MANHOLE
EX CD	—●— SANITARY CLEANOUT
○	○ LIFT STATION
▷	▷ WATER REDUCER
⋈	⋈ WATER VALVE
⊗	⊗ WATER VALVE MAHOLE
⊙	⊙ WATER CURB STOP
⊖	⊖ WATER SHUT-OFF
⊗	⊗ POST INDICATOR VALVE
⊗	⊗ FIRE DEPARTMENT CONNECTION
○	○ WELL
⊗	⊗ MONITORING WELL
□	□ LAWN SPRINKLER BOX
×	×
○	○ HYDRANT
○	○ YARD HYDRANT
○	○ UTILITY POLE
○	○ LIGHT POLE
⋈	⋈ GROUND LIGHT
—	— GUY WIRE
□	□ TRANSFORMER
○	○ HANDHOLE
○	○ ELECTRIC MANHOLE
○	○ ELECTRIC METER
□	□ UTILITY VAULT
□	□ AIR CONDITIONER
○	○ GAS METER
○	○ GAS VALVE
○	○ SOIL BORING
○	○ FLAG POLE
□	□ MAILBOX
○	○ TRAFFIC SIGNAL
○	○ SIGN
○	○ STREET SIGN
○	○ WHEEL STOP
○	○ RAILROAD CROSSING SIGN
○	○ POST
○	○ DECIDUOUS TREE
○	○ CONIFEROUS TREE
○	○ BUSH
○	○ TREE STUMP
○	○ WETLAND / MARSH
○	○ ROCK / BOULDER

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

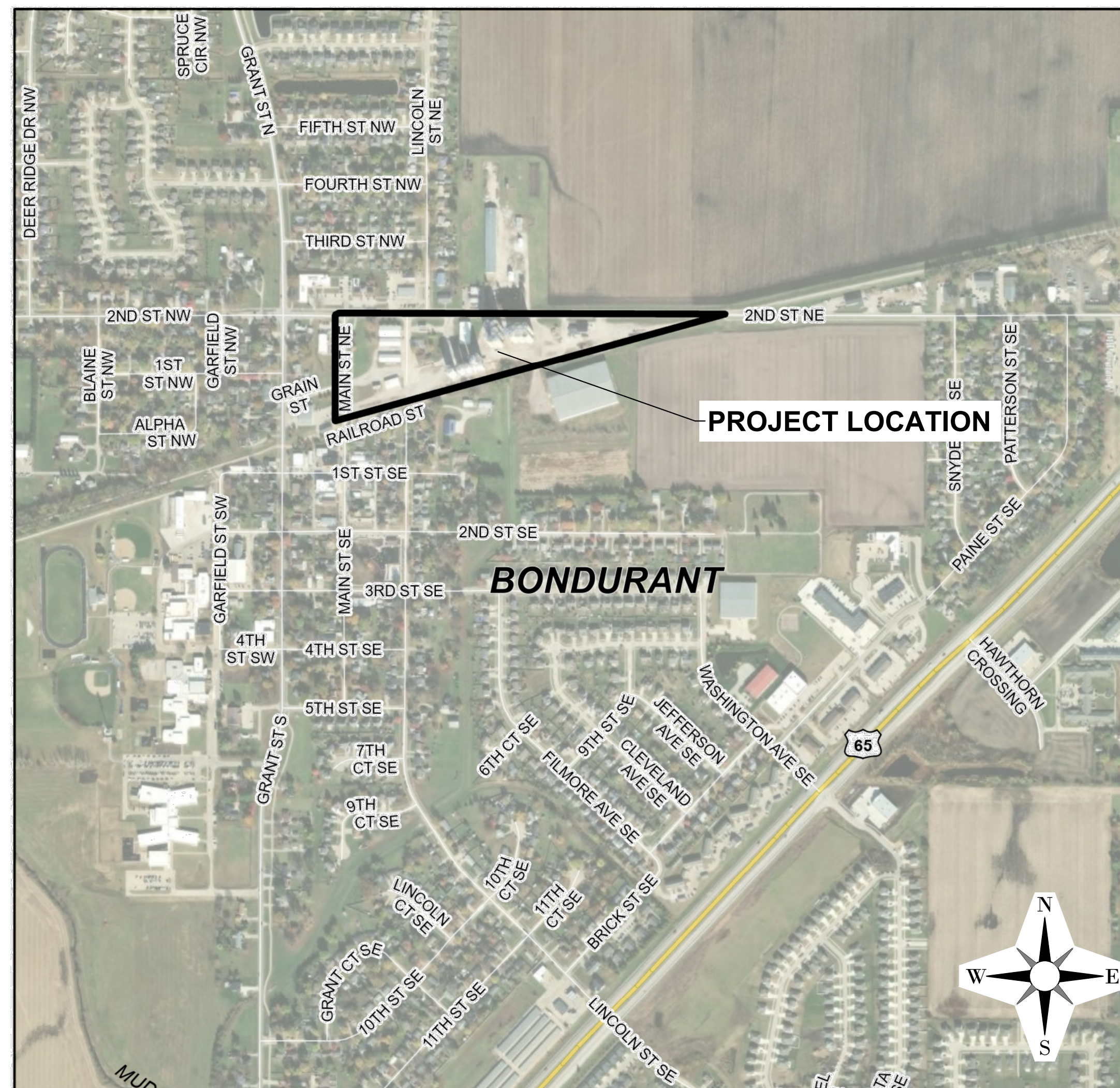
LINETYPE LEGEND

EXISTING	PROPOSED
—>>—	—>>— STORM DRAIN
—>—	—>— SANITARY SEWER
— —	— — SANITARY SEWER FORCEMAIN
— —	— — WATER MAIN
—G—	—G— GAS
—OE—	—OE— OVERHEAD ELECTRIC
—UE—	—UE— UNDERGROUND ELECTRIC
—UT—	—UT— UNDERGROUND TELEPHONE
—UTV—	—UTV— UNDERGROUND TV
—OHL—	—OHL— OVERHEAD UTILITY
—UTL—	—UTL— UNDERGROUND UTILITY
—FO—	—FO— FIBER OPTIC
—WET—	—WET— WETLAND
—W—	—W— WATER EDGE
—x—x—	—x—x— DITCH / SWALE
—x—x—	—x—x— FENCE LINE
—x—x—	—x—x— TREE LINE
—x—x—	—x—x— PROPERTY / LOT LINE
—x—x—	—x—x— RIGHT OF WAY LINE
—x—x—	—x—x— ACCESS CONTROL
—x—x—	—x—x— EASEMENT LINE

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

ABBREVIATIONS

ADA	AMERICANS WITH DISABILITIES ACT	GAL	GALLON	PP	POLYPROPYLENE
ADD	ADDENDUM	GALV	GALVANIZED	PSI	POUNDS PER SQUARE INCH
AFF	ABOVE FINISHED FLOOR	GC	GENERAL CONTRACTOR	PVC	POLYVINYL CHLORIDE
AGG	AGGREGATE	GD	GROUND GARAGE FLOOR	PVMT	PAVEMENT QUANTITY
APPROX	APPROXIMATE	GFE	ELEVATION	R	RIM
ARCH	ARCHITECT	GL	GUTTERLINE	RAD	RADIUS
ARCH	ARCHITECTURAL	GPM	GALLONS PER MINUTE	REIN	REINFORCED
BFE	BASEMENT FLOOR ELEVATION	GV	GATE VALVE	RCP	CONCRETE PIPE
BIT	BITUMINOUS	HDPE	HIGH DENSITY POLYETHYLENE	RD	ROOF DRAIN
BLDG	BUILDING	HD	HEAVY DUTY	REBAR	REINFORCING BAR
BM	BENCHMARK	HH	HANDHOLE	REM	REMOVE
CAD	COMPUTER-AIDED DESIGN	HMA	HOT MIX ASPHALT	ROW	RIGHT OF WAY
CB	CATCH BASIN	HORIZ	HORIZONTAL	R/W	RIGHT OF WAY
CFS	CUBIC FEET PER SECOND	HR	HOUR	SAN	SANITARY
CF	CUBIC FOOT	HWL	HIGH WATER LEVEL	SCH	SCHEDULE
CI	CAST IRON	HWY	HIGHWAY	SF	SQUARE FOOT
CIP	CAST IRON PIPE CAST IN PLACE	HYD	HYDRANT	SPEC	SPECIFICATION
CIPC	CONCRETE	I	INVERT	SO	SQUARE
CJ	CONTROL JOINT	ID	INSIDE DIAMETER	STA	STATION
CL	CENTERLINE	IN	INCH	STM	STORM
CL	CORRUGATED METAL PIPE	INV	INVERT	SY	SQUARE YARD
CMP	CONCRETE	IP	IRON PIPE	T/C	TOP OF CURB
CO	CLEANOUT	IPS	IRON PIPE SIZE	TEL	TELEPHONE
CONC	CONCRETE	JT	JUNCTION BOX	TEMP	TEMPORARY
CONST	CONSTRUCTION	LF	LINEAR FEET	THRU	THROUGH
CONT	CONTINUOUS	LN	LINEAR	TNUT	TOP NUT OF FIRE HYDRANT
CR	COUNTY ROAD	LPS	LOW PRESSURE	TRANS	TRANSFORMER
CY	CUBIC YARD	LS	LUMP SUM	TV	TELEVISION
C&G	CURB AND GUTTER	LSO	LOWEST STRUCTURAL OPENING	TW	TOP OF WALL
DEMO	DEMOLITION	MAX	MAXIMUM	TYP	TYPICAL
DI	DROP INTAKE	MISC	MISCELLANEOUS	UT	UNDERGROUND
DIA	DIAMETER	NO	NUMBER	UTL	UNDERGROUND UTILITY
DIM	DIMENSION	NTS	NOT TO SCALE	VCP	VITRIFIED CLAY PIPE
DS	DOWNSPOUT	NWL	NORMAL WATER LEVEL	W/O	WITHOUT
EA	EACH	OC	ON CENTER	W	WITH
EG	EXISTING GROUND	OCEW	ON CENTER EACH WAY	YD	YARD
ELEC	ELECTRICAL	OD	OUTSIDE DIAMETER	YR	YEAR
ELEV	ELEVATION	OH	OVERHEAD		
EQ	EQUAL	OHV	ORDINARY HIGH WATER LEVEL		
EX	EXISTING	OHD	OVERHEAD DOOR		
FG	FINISHED GROUND	OZ	OUNCE		
FIG	FORM GRADE	PCC	PORTLAND CEMENT CONCRETE		
FDC	FIRE DEPARTMENT CONNECTION FOUNDATION	PE	PEDESTAL		
FDN	FOUNDATION	PERF	PERFORATED		
FES	SECTION FINISHED FLOOR ELEVATION	PL	PROPERTY LINE		
FFC	FEET PER CENT				
FPM	FEET PER MINUTE				
FPS	FEET PER SECOND				
FT	FOOT, FEET				
FTG	FOOTING				
GA	GAUGE				



LOCATION MAP

CIVIL SHEET INDEX

Sheet Number	Sheet Title
C0-10	SITE DATA
C0-30	SITE DETAILS
C0-31	SITE DETAILS
C0-32	SITE DETAILS
C0-33	SITE DETAILS
C0-34	SITE DETAILS
C0-35	SITE DETAILS
C0-36	SITE DETAILS
C0-37	SITE DETAILS
C0-38	SITE DETAILS
C1-10	SWPPP NOTES
C1-20	SWPPP DETAILS
C1-30	STORMWATER POLLUTION PREVENTION PLAN
C2-10	EXISTING SITE AND REMOVALS PLAN
C3-10	SITE PLAN
C3-11	SITE PLAN WEST
C3-12	SITE PLAN JOINTING
C3-20	UTILITY PLAN
C4-10	GRADING PLAN
C5-10	RESTORATION PLAN
C5-11	RESTORATION PLAN WEST
C5-20	OVERALL PLANTING PLAN
C5-21	PLANTING PLAN ENLARGEMENT WEST
C5-22	PLANTING PLAN ENLARGEMENT EAST
C5-30	PLANTING NOTES AND DETAILS
C5-40	IRRIGATION PLAN
C6-10	SITE FURNISHING PLAN

PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS, AND CLARIFICATIONS ISSUED BY ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "IOWA ONE CALL" FOR UTILITY LOCATIONS A MINIMUM OF 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (1-800-292-8989).

SITE SUMMARY

PROJECT ADDRESS/LOCATION:	102 FILMORE AVE. NE BONDURANT, IOWA 50305	
ZONING:	PUD - PLANNED UNIT DEVELOPMENT	
SITE/LOT AREA:	47,139 SF	(1.1 AC)
REQUIRED SETBACKS		
	PARKING	BUILDING
FRONT YARD	0'	0'
SIDE YARD	0'	0'
REAR YARD	0'	0'

IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com

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REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	26-33617
FILE NAME	33617 CO-DETAILS
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	---
CLIENT PROJECT NO.	---

TITLE	BONDURANT SILO COMMONS
TITLE	SITE DATA
SHEET	C0-10

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF BONDURANT REQUIREMENTS AND WITH THE 2026 EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) FOR PUBLIC IMPROVEMENTS, UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), ZONE 8, ON THE IOWA REGIONAL COORDINATE SYSTEM, IN U.S. SURVEY FEET. ELEVATIONS HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN SEPTEMBER, 2024 BY ISG.

B.M. ELEVATION=XXXX.XX

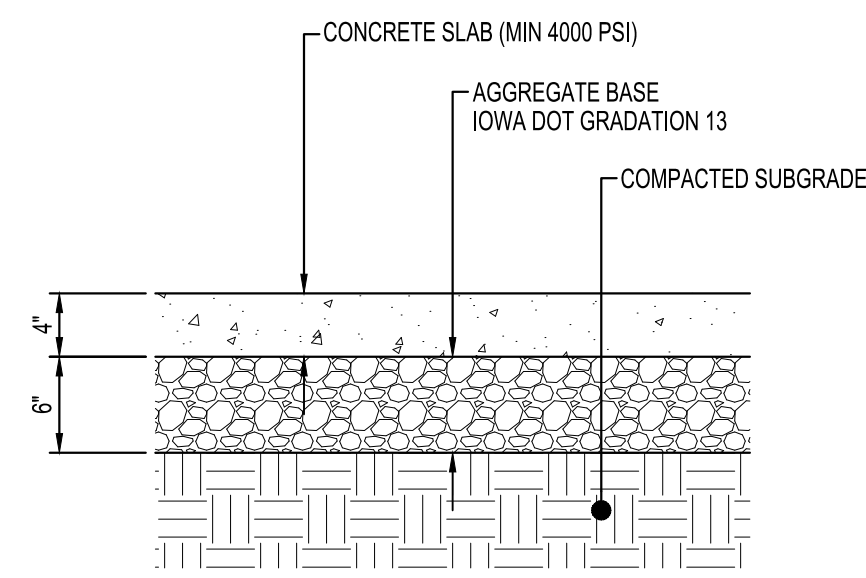


NOTES: DECORATIVE CONCRETE PAVEMENT

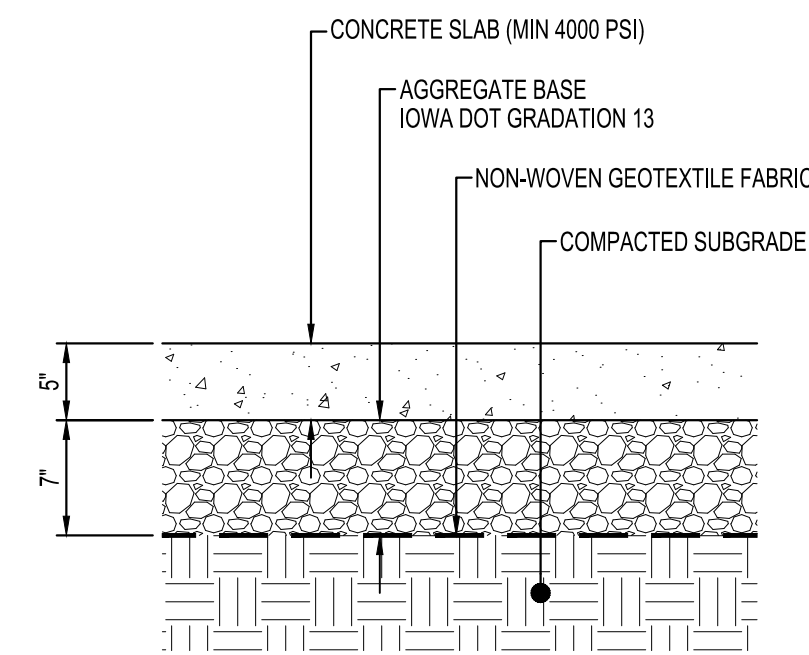
DECORATIVE CONCRETE PAVEMENT SHALL BE INTEGRAL COLOR. COLOR MATCH SAMPLE WILL BE ON SITE TO REFERENCE. EXISTING MOCK UPS WILL INCLUDE (4) 4'x4' PANELS OF SIKA COLOR 100P. INTEGRAL COLOR OR APPROVED EQUAL OF THE FOLLOWING COLORS: (1) STANDARD CONCRETE, (1) SIKA U18 GULL GRAY, (1) SIKA U28 CHARCOAL, (1) SIKA U49 DEEP CHARCOAL. FINAL COLOR TO MATCH TO WILL BE SELECTED BETWEEN ONE OF THESE.

APPROVED MOCKUP SHALL BE USED AS A STANDARD FOR DESIGN INTENT MOVING FORWARD

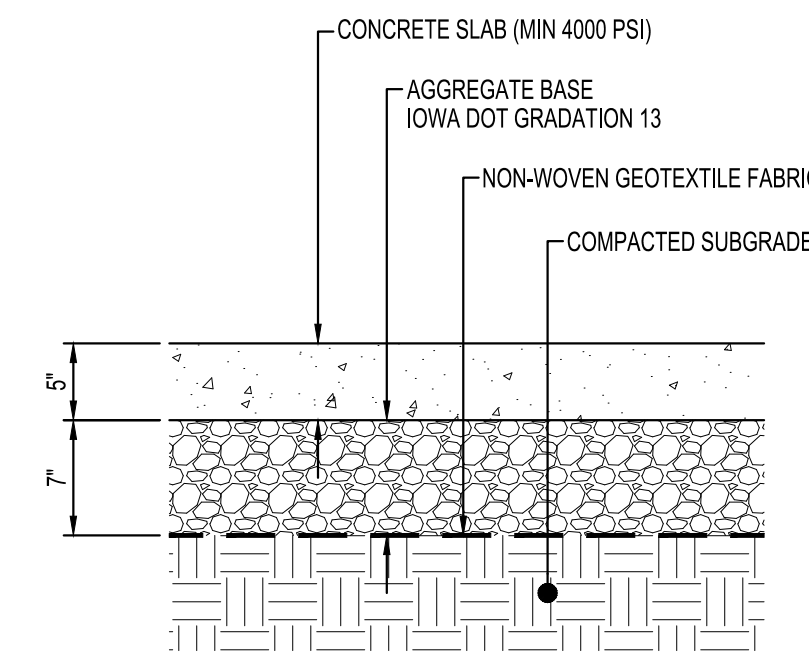
CURING COMPOUND FOR INTEGRALLY COLORED CONCRETE: CURING COMPOUND SHALL COMPLY WITH ASTM C309 AND BE OF SAME MANUFACTURER AS COLORED ADMIXTURE, FOR USE WITH INTEGRALLY COLORED CONCRETE.
 1. EXTERIOR INTEGRALLY COLORED CONCRETE: LITHOCHROME® Colorwax™; Sika Corporation. USE TO CURE EXTERIOR FLATWORK THAT WILL BE ALLOWED TO CURE NATURALLY WITH ONLY OCCASIONAL MAINTENANCE, OR APPROVED EQUAL.



CONCRETE WALK
NTS



HEAVY DUTY CONCRETE WALK
NTS

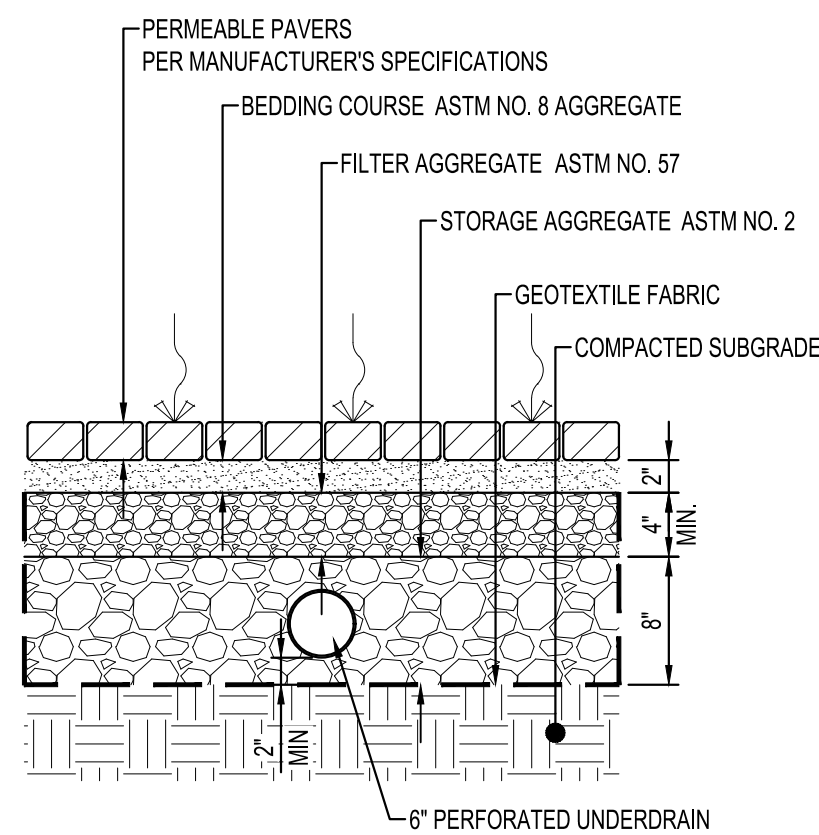


HEAVY DUTY CONCRETE PAVEMENT
NTS

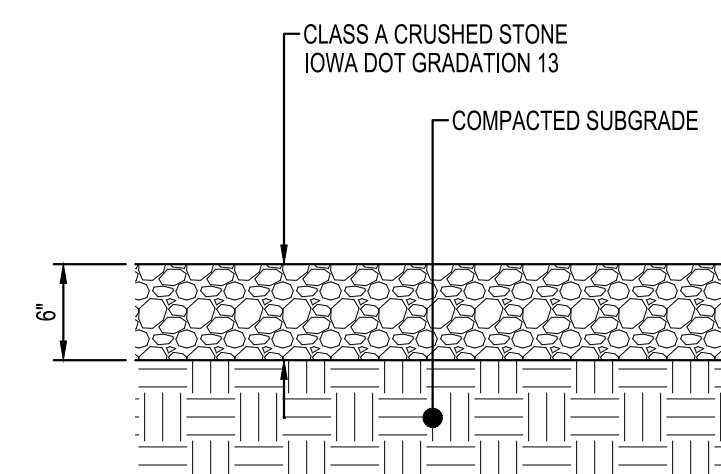
NOTES:

PERMEABLE PAVEMENT TO BE BELGARD AQUALINE SERIES.

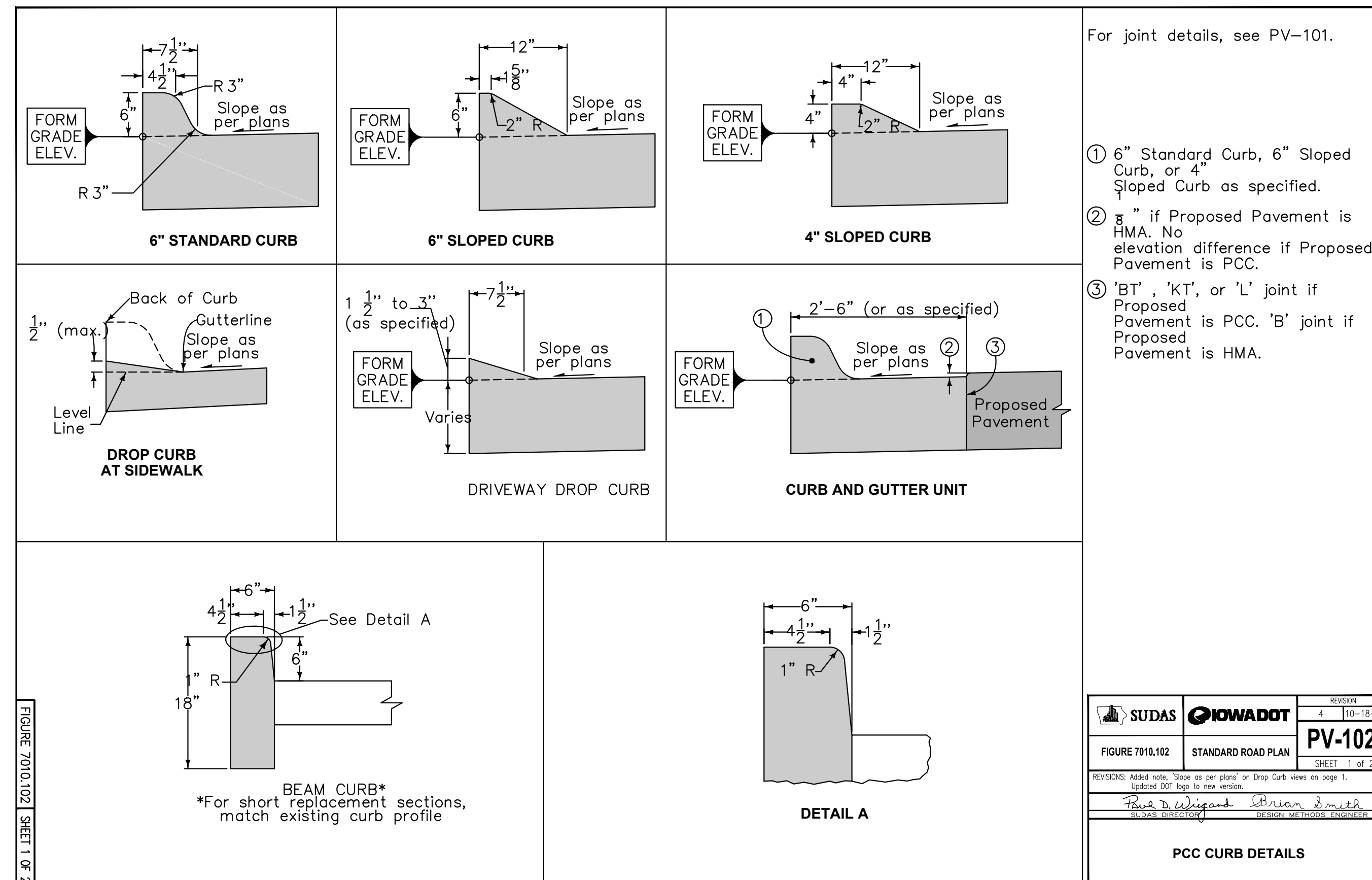
4.5"x9" PAVES SIZE IN CHARCOAL, PEWTER or FOG COLOR. PROVIDE COLOR SAMPLES OF EACH TO BE APPROVED BY CLIENT AND ARCHITECT
 PERMEABLE PAVERS TO BE LAID IN A STACKED RUNNING BOND PATTERN AS INDICATED ON SITE PLAN



HEAVY DUTY PERMEABLE PAVERS
NTS



STANDARD AGGREGATE SURFACE
NTS



For joint details, see PV-101.

- ① 6" Standard Curb, 6" Sloped Curb, or 4" Sloped Curb as specified.
- ② 8" if Proposed Pavement is HMA. No elevation difference if Proposed Pavement is PCC.
- ③ 'BT', 'KT', or 'L' joint if Proposed Pavement is PCC. 'B' joint if Proposed Pavement is HMA.

FIGURE 7010.102	STANDARD ROAD PLAN	REVISION
		4 10-18-15
		PV-102
		SHEET 1 of 2
<small>REVISION: Added note: 'Slope as per plans' on Drop Curb views on page 1. Updated DOT logo to new version.</small>		
<small>Paul D. Delgado Brian Smith SUDAS IOWADOT</small>		
PCC CURB DETAILS		

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PROJECT
BONDURANT
SILO COMMONS

BONDURANT		IOWA
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	26-33617
FILE NAME	33817 CO-DETAILS
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	---/---/---
CLIENT PROJECT NO.	---

TITLE
SITE DETAILS

SHEET
CO-30



PRELIMINARY NOT FOR CONSTRUCTION

FIGURE 3010.101 SHEET 1 of 1

PLOT DATE: 4/30/2025 2:44 PM

Refer to the contract documents for specific material and placement requirements.

- ① Required only when specified in the contract documents or when directed by the Engineer.

Key

- OD = Outside diameter of pipe
- D = Inside diameter of pipe
- TW = Trench width at top of pipe
- d = Depth of bedding material below pipe

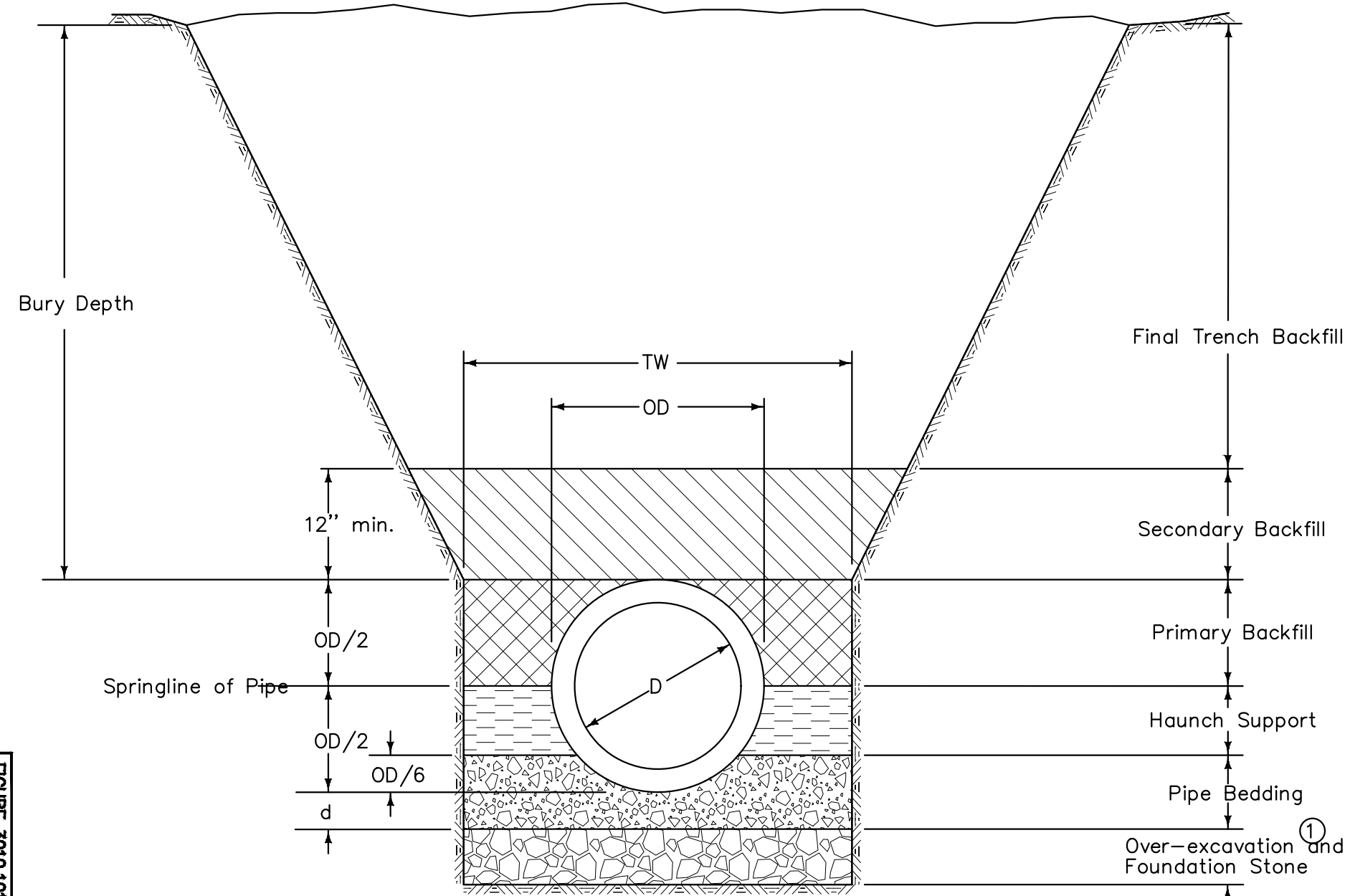
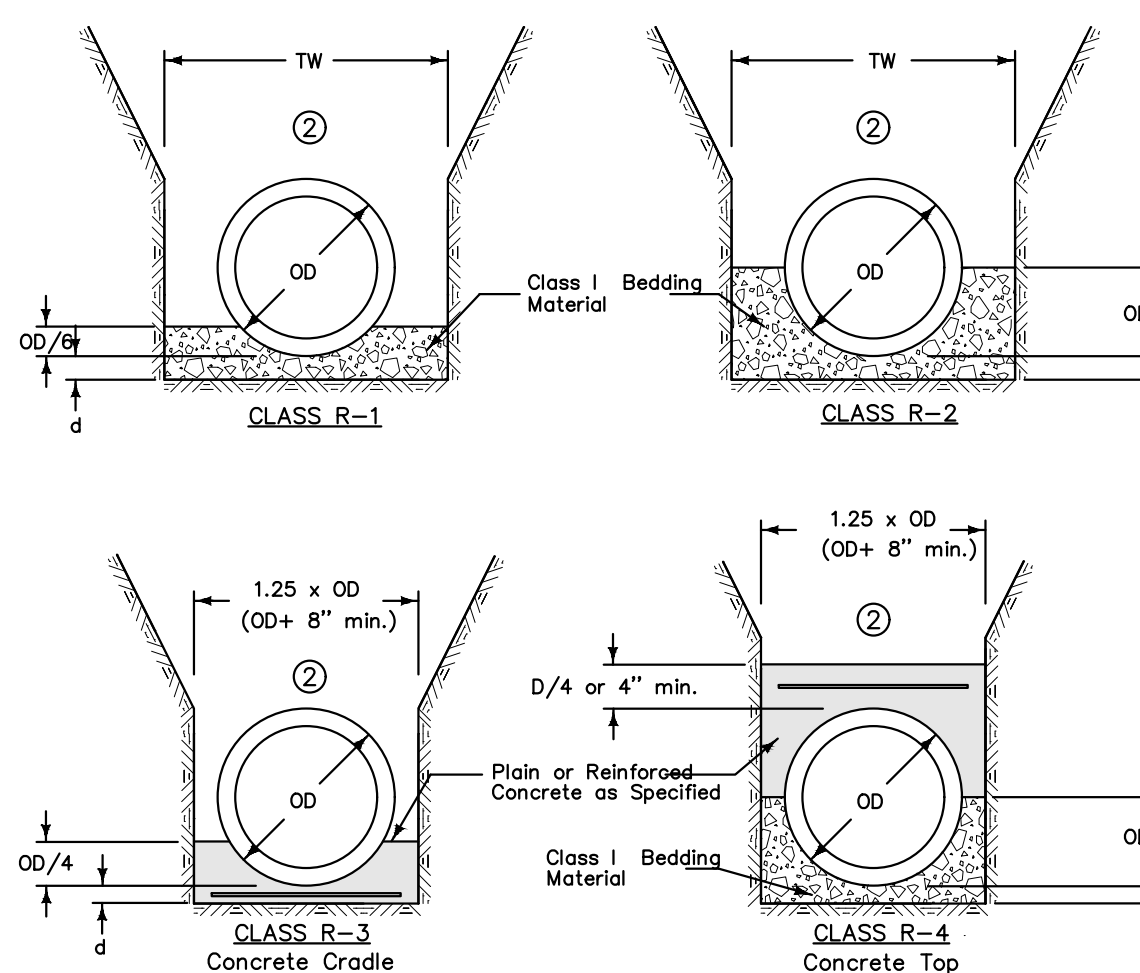


FIGURE 3010.101	STANDARD ROAD PLAN	REVISION	NEW	04-18-17
SHEET 1 of 1		SW-101		
REVISIONS: Replaced Iowa DOT and SUDAS logos.				
TRENCH BEDDING AND BACKFILL ZONES				

RCP AND VCP PIPE BEDDING



Refer to sheet 2 for bury depth restrictions.

- ① Use Bedding Class R-1 or R-2 unless specified otherwise.
- ② Place remainder of bedding and backfill materials as specified in the contract documents.

Key

- OD = Outside diameter of pipe
- OS = Outside span of pipe
- TW = Trench width at top of pipe: Min. = OD+18 inches OR Max. = 1.25xOD+12 inches OR 54 inches (whichever is greater)
- d = Depth of bedding material below pipe: OD/8 or OS/8, OR 4 inches (whichever is greater)

REINFORCED CONCRETE ARCH AND ELLIPTICAL PIPE BEDDING

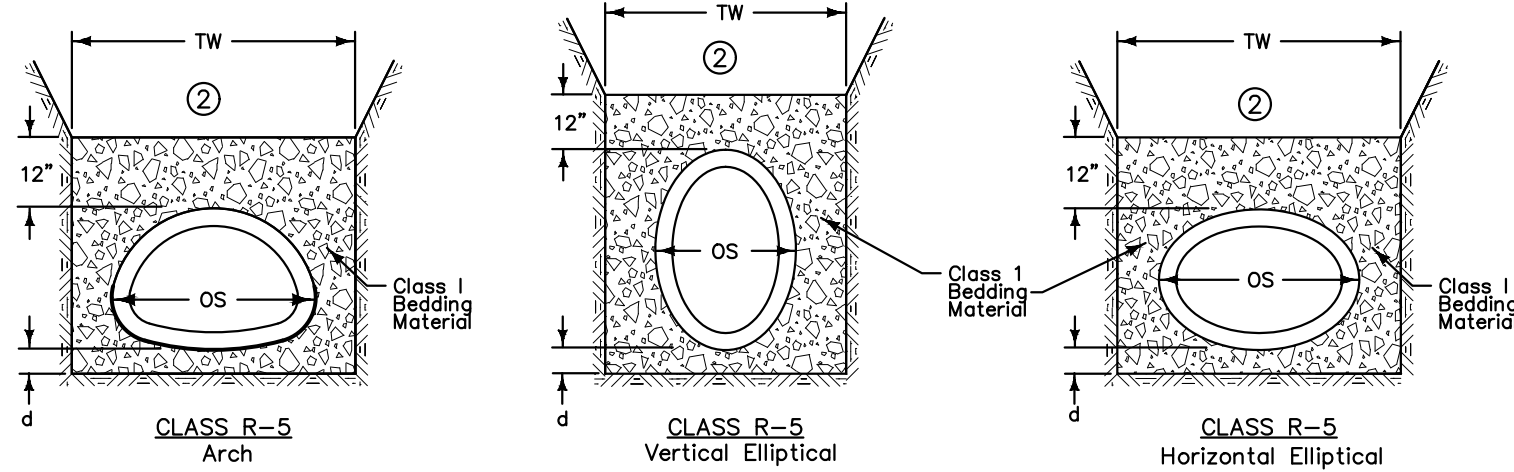


FIGURE 3010.102	STANDARD ROAD PLAN	REVISION	2	04-18-17
SHEET 1 of 2		SW-102		
REVISIONS: Changed title to RCP AND VCP "RIGID" BEDDING. Changed title to Bedding Class R-4 from Concrete Arch to Concrete Top.				
RIGID GRAVITY PIPE TRENCH BEDDING				

ALLOWABLE BURY DEPTH

CLASS III RCP					CLASS IV RCP					CLASS V RCP							
Pipe Diameter (in)	Class R-1 Bedding	Class R-2 Bedding	Class R-3 & R-4 Bedding			Pipe Diameter (in)	Class R-1 Bedding	Class R-2 Bedding	Class R-3 & R-4 Bedding			Pipe Diameter (in)	Class R-1 Bedding	Class R-2 Bedding	Class R-3 & R-4 Bedding		
			No Steel	As=0.4%	As=1.0%				No Steel	As=0.4%	As=1.0%				No Steel	As=0.4%	As=1.0%
12	7'	10'	15'	19'	27'	12	12'	15'	23'	28'	40'	12	16'	23'	35'	40'	40'
15	8'	10'	16'	19'	27'	15	12'	15'	23'	30'	40'	15	15'	24'	35'	40'	40'
18	8'	11'	16'	20'	40'	18	13'	16'	25'	40'	40'	18	15'	30'	40'	40'	40'
21	8'	11'	18'	25'	40'	21	13'	16'	40'	40'	40'	21	25'	30'	40'	40'	40'
24	8'	12'	23'	36'	40'	24	16'	23'	40'	40'	40'	24	34'	40'	40'	40'	40'
27	10'	15'	30'	40'	40'	27	19'	30'	40'	40'	40'	27	40'	40'	40'	40'	40'
30	11'	15'	29'	40'	40'	30	19'	29'	40'	40'	40'	30	40'	40'	40'	40'	40'
33	11'	15'	28'	40'	40'	33	19'	28'	40'	40'	40'	33	40'	40'	40'	40'	40'
36	11'	15'	27'	40'	40'	36	19'	28'	40'	40'	40'	36	40'	40'	40'	40'	40'
42	11'	15'	26'	38'	40'	42	18'	27'	40'	40'	40'	42	37'	40'	40'	40'	40'
48	11'	15'	26'	36'	40'	48	18'	26'	40'	40'	40'	48	35'	40'	40'	40'	40'
54	11'	15'	25'	34'	40'	54	18'	25'	40'	40'	40'	54	33'	40'	40'	40'	40'
60	11'	15'	25'	33'	40'	60	18'	25'	40'	40'	40'	60	32'	40'	40'	40'	40'
66	11'	15'	24'	32'	40'	66	18'	25'	40'	40'	40'	66	31'	40'	40'	40'	40'
72	11'	15'	24'	32'	40'	72	18'	24'	40'	40'	40'	72	31'	40'	40'	40'	40'

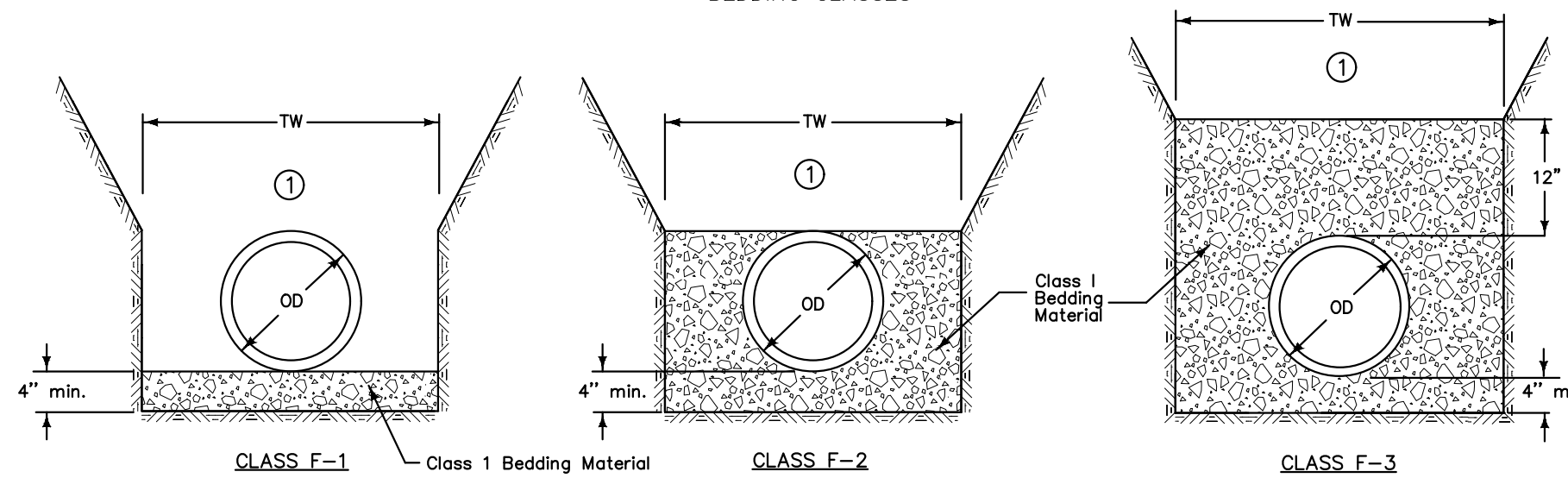
As = Area of Steel Reinforcing

EXTRA STRENGTH VCP					CONCRETE ARCH PIPE					HORIZONTAL ELLIPTICAL RCP					VERTICAL ELLIPTICAL RCP					
Pipe Dia (in)	Bedding Class		Class R-3 & R-4			Pipe Size (in x in)	Equiv. Dia (in)	Pipe Class			Pipe Size (in x in)	Equiv. Dia (in)	Pipe Class							
	R-1	R-2	No Steel	As=0.4%	As=1.0%			A-III	A-IV	HE-III			HE-IV	VE-III	VE-IV	VE-V	VE-VI			
6	25'	30'	30'	30'	30'	18 x 11	15	6'	1 1/4"	14 x 23	18	12'	22'	23 x 14	18	10'	15'	22'	33'	
8	20'	26'	30'	30'	30'	22 x 13	18	6'	1 1/4"	19 x 30	24	15'	29'	30 x 19	24	10'	16'	34'	40'	
10	16'	23'	30'	30'	30'	26 x 15	21	6'	1 3/8"	22 x 34	27	15'	28'	34 x 22	27	11'	20'	40'	40'	
12	16'	20'	30'	30'	30'	29 x 18	24	7'	1 1/2"	24 x 38	30	15'	27'	38 x 24	30	12'	23'	40'	40'	
15	15'	19'	28'	30'	30'	36 x 22	30	8'	1 1/2"	27 x 42	33	15'	27'	42 x 27	33	15'	30'	40'	40'	
18	14'	18'	30'	30'	30'	44 x 27	36	8'	1 1/2"	29 x 45	36	15'	26'	45 x 29	36	15'	29'	40'	40'	
21	15'	22'	30'	30'	30'	51 x 31	42	8'	1 1/2"	32 x 49	39	15'	26'	49 x 32	39	15'	29'	40'	40'	
24	18'	28'	30'	30'	30'	58 x 36	48	8'	1 1/2"	34 x 54	42	15'	25'	54 x 34	42	15'	28'	40'	40'	
27	20'	30'	30'	30'	30'	65 x 40	54	8'	1 1/2"	38 x 60	48	15'	25'	60 x 38	48	15'	27'	40'	40'	
30	19'	29'	30'	30'	30'	73 x 45	60	8'	1 1/2"	43 x 68	54	15'	24'	68 x 43	54	15'	27'	40'	40'	
33	20'	30'	30'	30'	30'	88 x 54	72	9'	1 1/2"	48 x 76	60	15'	24'	76 x 48	60	15'	26'	40'	40'	
36	20'	30'	30'	30'	30'	Based on Class R-5 bedding	53 x 63	66	15'	24'	53 x 53	66	15'	25'	63 x 53	66	15'	25'	40'	40'
39	19'	29'	30'	30'	30'	63 x 96	78	15'	23'	58 x 91	72	15'	25'	91 x 58	72	15'	25'	40'	40'	
42	18'	26'	30'	30'	30'	68 x 106	84	15'	23'	63 x 96	78	15'	25'	96 x 63	78	15'	25'	40'	40'	
						Based on Class R-5 bedding	106 x 68	84	15'	24'	106 x 68	84	15'	24'	68 x 106	84	15'	24'	40'	40'

As = Area of Steel Reinforcing

FIGURE 3010.102	STANDARD ROAD PLAN	REVISION	2	04-18-17
SHEET 2 of 2		SW-102		
REVISIONS: Changed title to RCP AND VCP "RIGID" BEDDING. Changed title to Bedding Class R-4 from Concrete Arch to Concrete Top.				
RIGID GRAVITY PIPE TRENCH BEDDING				

BEDDING CLASSES



- ① Place remainder of bedding and backfill materials as specified in the contract documents.
- ② Minimum depth of bury 12 inches or as specified by the manufacturer.

ALLOWABLE BEDDING CLASSES

PIPE MATERIAL	STORM SEWER	SANITARY SEWER
Ductile Iron	F-1, F-2, F-3	F-1, F-2, F-3
HDPE	F-2, F-3	Not allowed
Polypropylene	F-2, F-3	F-3
PVC	F-2, F-3	F-3

Key

- OD = Outside diameter of pipe
- TW = Trench width at top of pipe: Min. = OD+18 inches OR 1.25xOD+12 inches (whichever is greater)

ALLOWABLE BURY DEPTH

Pipe Diameter (in)	PVC PIPE					DUCTILE IRON, AWWA C151, CLASS 52				HDPE PIPE		POLYPROPYLENE PIPE		
	Solid Wall		Corrug. Exterior			Pipe Diameter (in)	Class F-1 Bedding	Class F-2 Bedding	Class F-3 Bedding	Pipe Diameter (in)	AASHTO M 294	Pipe Diameter (in)	ASTM F 2736	ASTM F 2764
	SDR 23.5	SDR 26	SDR 35	SDR 35	Corrug. Exterior									
8	30'	28'	24'	---	24'	---	---	32'	4	40'	12	24'	---	
10	30'	28'	24'	---	24'	---	32'	---	6	40'	15	25'	---	
12	30'	28'	24'	---	24'	---	32'	---	8	40'	18	22'	---	
15	30'	28'	24'	---	24'	---	32'	---	10	40'	24	20'	---	
18	---	---	---	---	24'	---	---	---	12	37'	30	22'	22'	
21	---	---	---	---	24'	24'	24'	---	14	31'	36	---	21'	
24	---	---	---	---	24'	24'	24'	---	16	28'	42	---	22'	
27	---	---	---	---	24'	---	24'	---	18	25'	48	---	23'	
30	---	---	---	---	24'	24'	24'	---	20	23'	54	---	21'	
33	---	---	---	---	24'	---	---	---	24	20'	60	---	21'	
36	---	---	---	---	24'	24'	24'	---	30	18'	---	---	---	
42	---	---	---	---	24'	---	---	---	36	18'	---	---	---	
48	---	---	---	---	24'	---	---	---	42	17'	---	---	---	
54	---	---	---	---	24'	---	---	---	48	16'	---	---	---	
60	---	---	---	---	24'	---	---	---	54	16'	---	---	---	

*Storm Sewer Only

FIGURE 3010.103	STANDARD ROAD PLAN	REVISION	2	04-18-17
SHEET 1 of 1		SW-103		
REVISIONS: Added polypropylene pipe for storm sewer applications.				
FLEXIBLE GRAVITY PIPE TRENCH BEDDING				

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PROJECT

BONDURANT SILO COMMONS

BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	26-33617
FILE NAME	33617 CO-DETAILS
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	---/---/---
CLIENT PROJECT NO.	---

TITLE

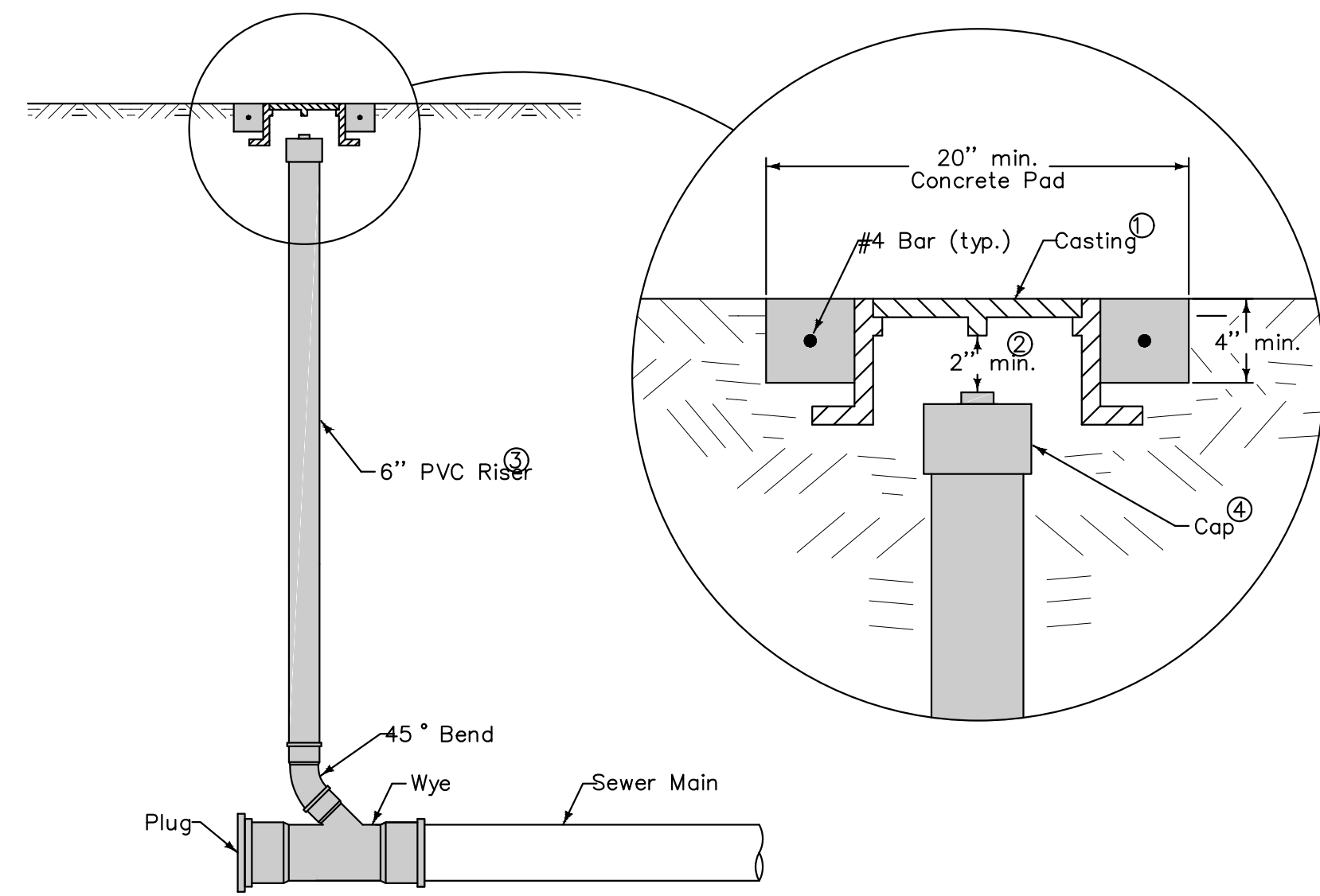
SITE DETAILS

SHEET

C0-31

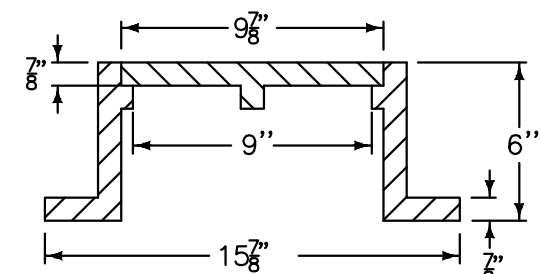


FIGURE 4030.203 SHEET 1 OF 1



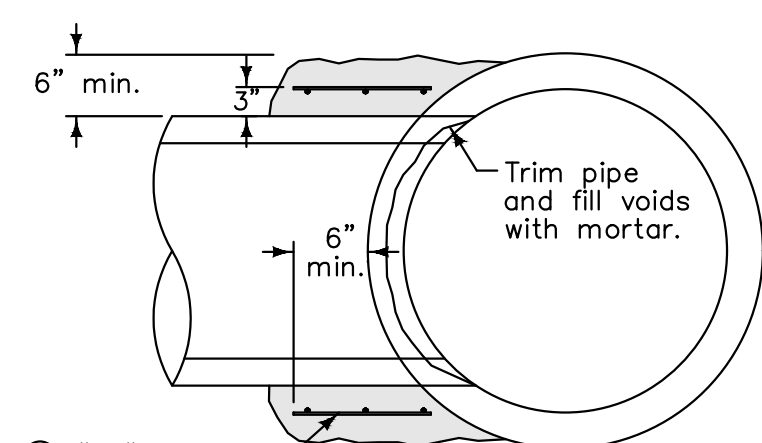
CLEANOUT

- ① Standard duty casting complying with AASHTO M 306. Mark lid with "Sanitary" or "Sanitary C.O."
- ② Do not allow casting to bear on top of riser pipe.
- ③ 6 inch PVC Service Pipe
- ④ Threaded PVC cap or iron body ferrule with brass screw plug

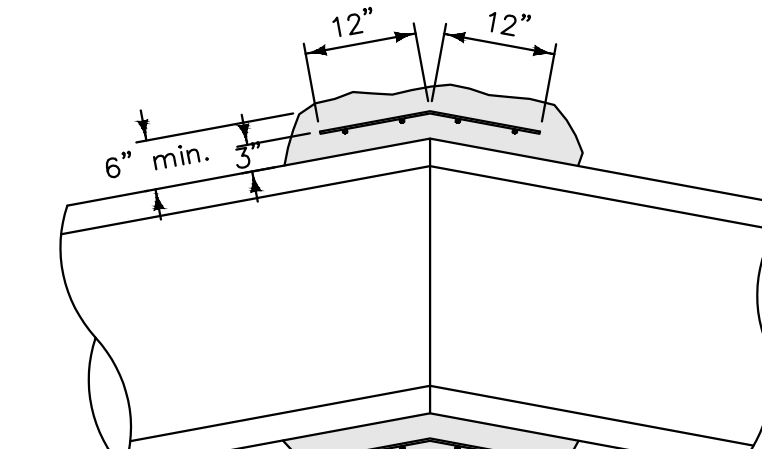


CASTING
(Dimensions are nominal)

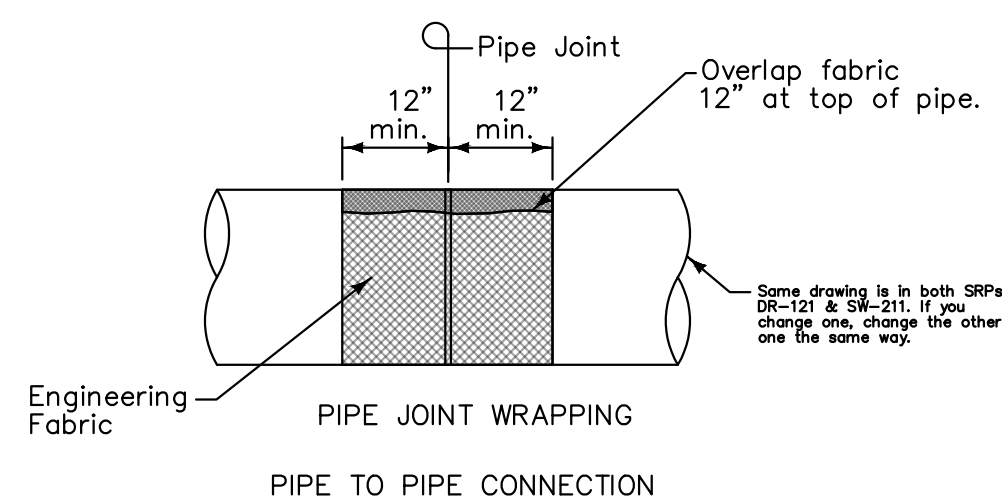
SUDAS	IOWADOT	REVISION	1	04-17-18
FIGURE 4010.203	STANDARD ROAD PLAN	SW-203	SHEET 1 of 1	
REVISIONS: Replaced Iowa DOT and SUDAS logos.				
<i>Paul D. Wiegand</i> (SUDAS PROJECT ENGINEER) <i>Brian Somers</i> (SUDAS PROJECT ENGINEER)				
SANITARY SEWER CLEANOUT				



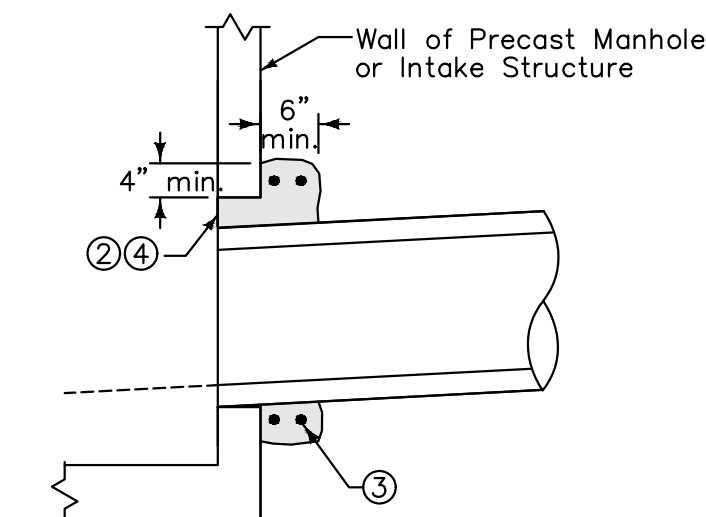
TYPE PC-1 CONCRETE COLLAR CONNECTION



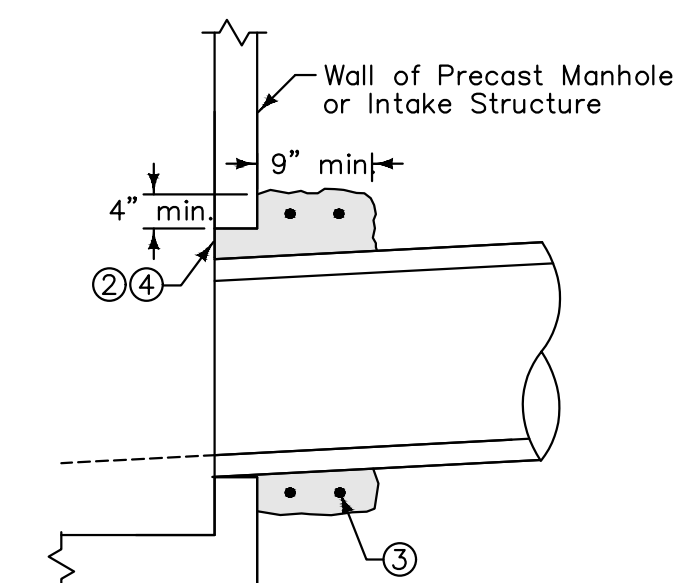
TYPE PC-2 CONCRETE COLLAR CONNECTION



PIPE JOINT WRAPPING
PIPE TO PIPE CONNECTION



CONCRETE COLLAR FOR PIPES 12" AND SMALLER

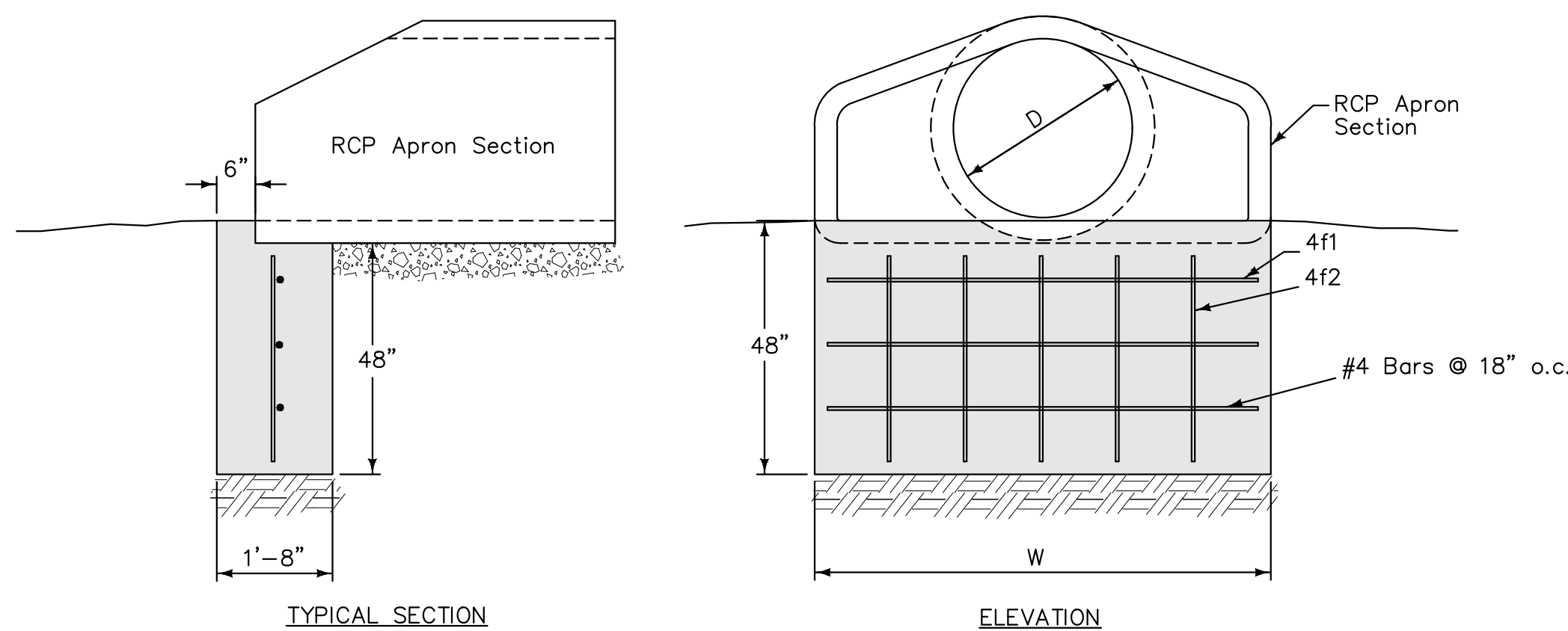


CONCRETE COLLAR FOR PIPES GREATER THAN 12"
PIPE TO STRUCTURE CONNECTION

- ① Lap ends of wire mesh a minimum of 6 inches.
- ② Concrete collar is required when annular space between the outside of the pipe and the wall of the structure is 2 inches or greater.
- ③ Provide two #4 hoop bars in concrete collar. Lap bars a minimum of 6 inches.
- ④ Trowel concrete flush with inside wall of structure.

SUDAS	IOWADOT	REVISION	2	04-17-18
FIGURE 4020.211	STANDARD ROAD PLAN	SW-211	SHEET 1 of 1	
REVISIONS: Removed 'Insert' callout on Pipe to Structure View. Revised and re-drawn old Iowa DOT and SUDAS logos with new logos.				
<i>Paul D. Wiegand</i> (SUDAS PROJECT ENGINEER) <i>Brian Somers</i> (SUDAS PROJECT ENGINEER)				
STORM SEWER PIPE CONNECTIONS				

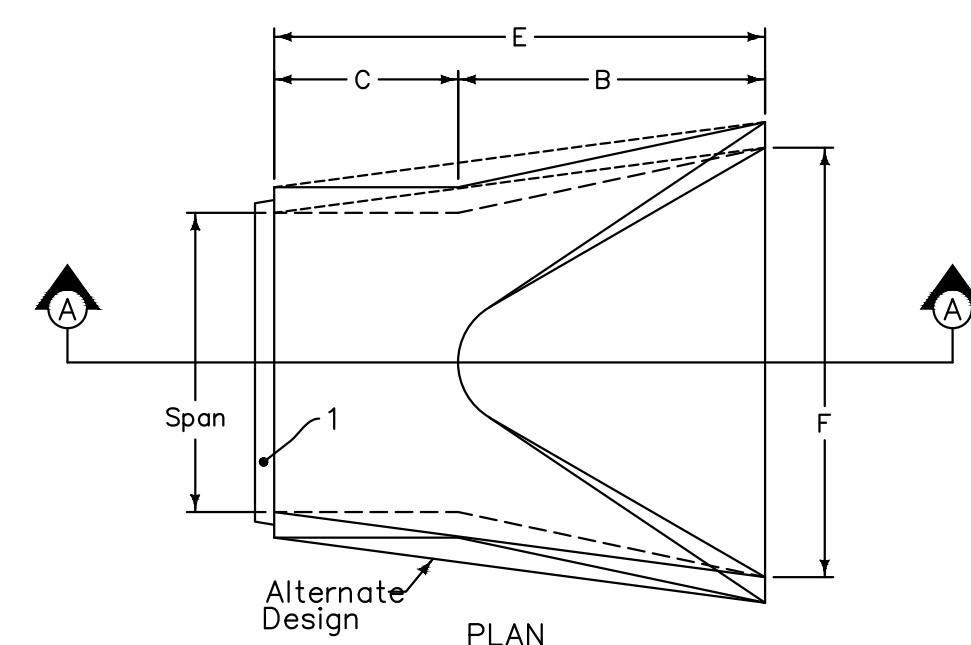
FIGURE 4030.221 SHEET 1 OF 1



REINFORCING BAR LIST

D	W	Mark	Size	Length	Count	D	W	Mark	Size	Length	Count
12"	2'-4"	4f1	4	2'-0"	3	48"	7'-10"	4f1	4	7'-6"	3
		4f2	4	3'-8"	2			4f2	4	3'-8"	6
15"	2'-10 1/2"	4f1	4	2'-6 1/2"	3	54"	8'-5"	4f1	4	8'-1"	3
		4f2	4	3'-8"	2			4f2	4	3'-8"	6
18"	3'-5"	4f1	4	3'-1"	3	60"	8'-11"	4f1	4	8'-7"	3
		4f2	4	3'-8"	3			4f2	4	3'-8"	6
24"	4'-6"	4f1	4	4'-2"	3	66"	8'-11"	4f1	4	8'-7"	3
		4f2	4	3'-8"	3			4f2	4	3'-8"	6
30"	5'-7"	4f1	4	5'-3"	3	72"	10'-0"	4f1	4	9'-8"	3
		4f2	4	3'-8"	4			4f2	4	3'-8"	7
36"	6'-8"	4f1	4	6'-4"	3	78"	10'-7"	4f1	4	10'-3"	3
		4f2	4	3'-8"	5			4f2	4	3'-8"	7
42"	7'-3"	4f1	4	6'-11"	3	84"	11'-1"	4f1	4	10'-9"	3
		4f2	4	3'-8"	5			4f2	4	3'-8"	8

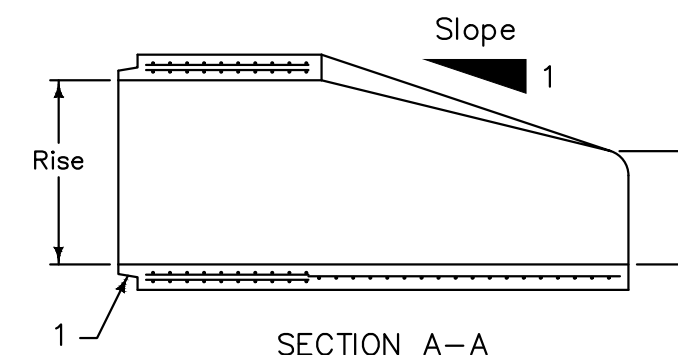
SUDAS	REVISION	1	10-21-14
4030.221	SHEET 1 of 1		
SUDAS Standard Specifications			
RCP APRON SECTION FOOTING			



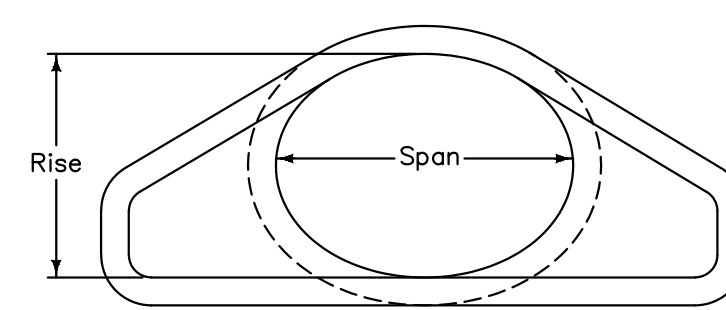
END (ARCH)

EQUIVALENT DIAMETER	SLOPE	APPROXIMATE DIMENSIONS					
		Inches					
Inches		A	B	C	E	F	
18	3:1	7	27	45	72	36	
24	3:1	8 1/2	39	33	72	48	
30	3:1	9 1/2	50	46	96	60	
36	3:1	11 1/2	60	36	96	72	
42	3:1	15 1/2	60	36	96	78	
48	3:1	21	60	36	96	84	
54	3:1	25 1/2	60	36	96	90	
60	3:1	31	60	36	96	96	
72	2:1	31	60	39	99	120	
84	2:1	21 1/2	83	19	102	144	

ARCH PIPE



SECTION A-A



END (ELLIPTICAL)

EQUIVALENT DIAMETER	SLOPE	APPROXIMATE DIMENSIONS					
		Inches					
Inches		A	B	C	E	F	
18	3:1	7 1/2	27	45	72	36	
24	3:1	8 1/2	39	33	72	48	
30	3:1	9 1/2	54	18	72	60	
36	2.5 to 1	11 1/2	60	24	84	72	
42	2.5 to 1	15 1/2	60	36	96	78	
48	2.5 to 1	21	60	36	96	84	
54	2.5 to 1	25 1/2	60	36	96	90	
60	2.5 to 1	30	60	36	96	96	
72	2.5 to 1	36	63	33	96	108	
90	1.6 to 1	36	58	38	96	113	

ELLIPTICAL PIPE

Dimension 'E' shown is the minimum and is considered the design length. Adjust for any difference between the actual length of concrete apron installed and the length indicated below for the length of concrete culvert pipe furnished.

- ① Tongue end used on inlet end section. Groove end used on outlet end section.

SUDAS	REVISION	New	10-18-10
4030.223	SHEET 1 of 1		
SUDAS Standard Specifications			
ARCH AND ELLIPTICAL CONCRETE PIPE APRONS			

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PROJECT

**BONDURANT
SILO COMMONS**

BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	26-33617
FILE NAME	33817 CO-DETAILS
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	---/---/---
CLIENT PROJECT NO.	---

TITLE

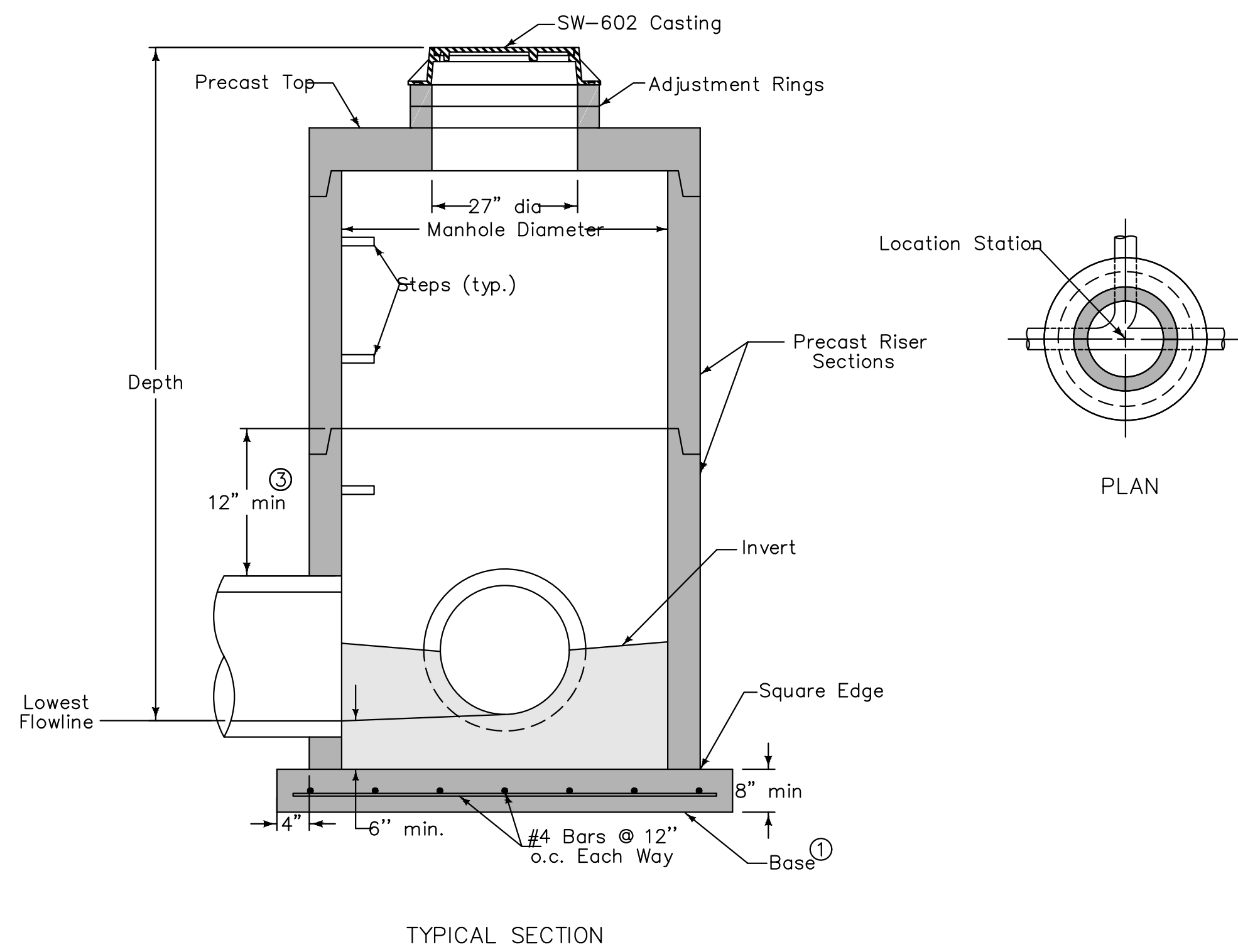
SITE DETAILS

SHEET

C0-32



PRELIMINARY NOT FOR CONSTRUCTION

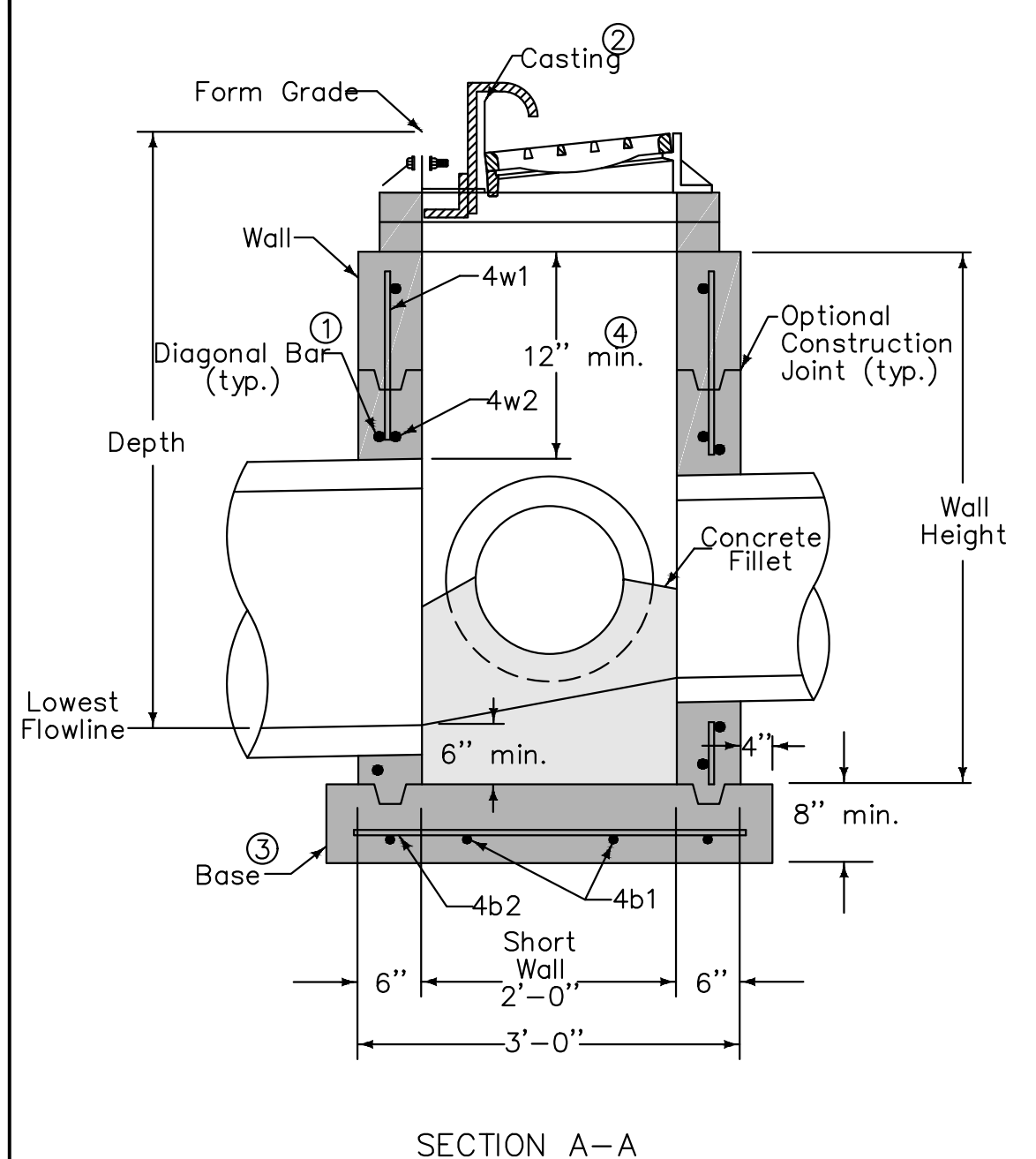


- ① Cast-in-place base shown. If base is precast integral with bottom riser, the footprint of the base is not required to extend beyond the outer edge of the riser.
- ② For additional configurations, maintain a minimum of 12 inches of concrete between vertical edges of pipe openings.
- ③ 12 inch minimum riser height above all pipe openings.

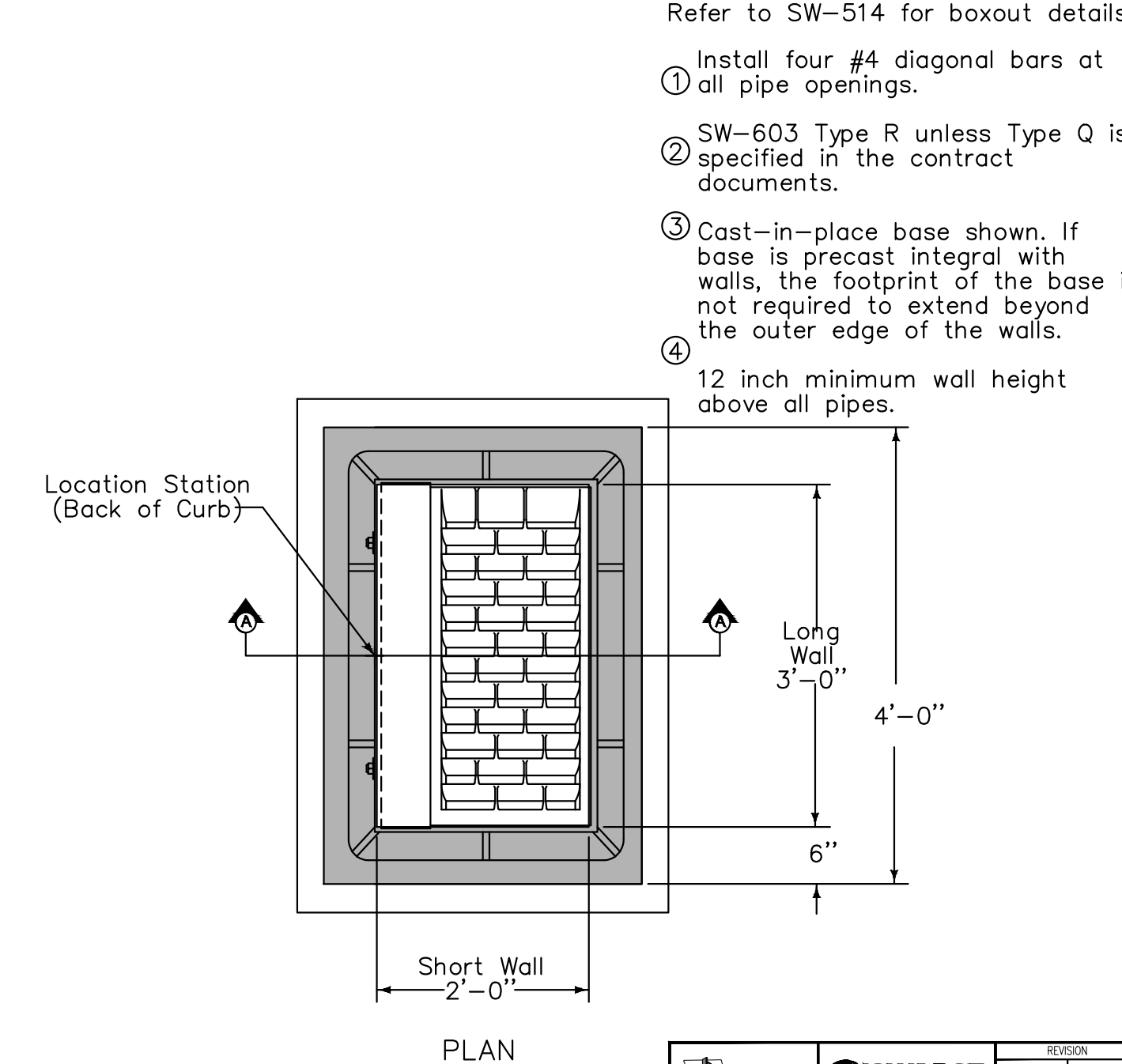
Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	At 180° Separation	At 90° Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

SUDAS	IOWADOT	REVISION	1	04-17-18
		FIGURE 6010.401	STANDARD ROAD PLAN	SW-401
REVISIONS: Changed 'invert' callout to 'Concrete Fillet'. Updated Invert and Sudas and SW tags.		SHEET 1 of 1		
<i>Paul D. Wiegand</i> DESIGN ENGINEER <i>Brian J. Smith</i> DESIGN ENGINEER		CIRCULAR STORM SEWER MANHOLE		

FIGURE 6010.501 SHEET 1 OF 1

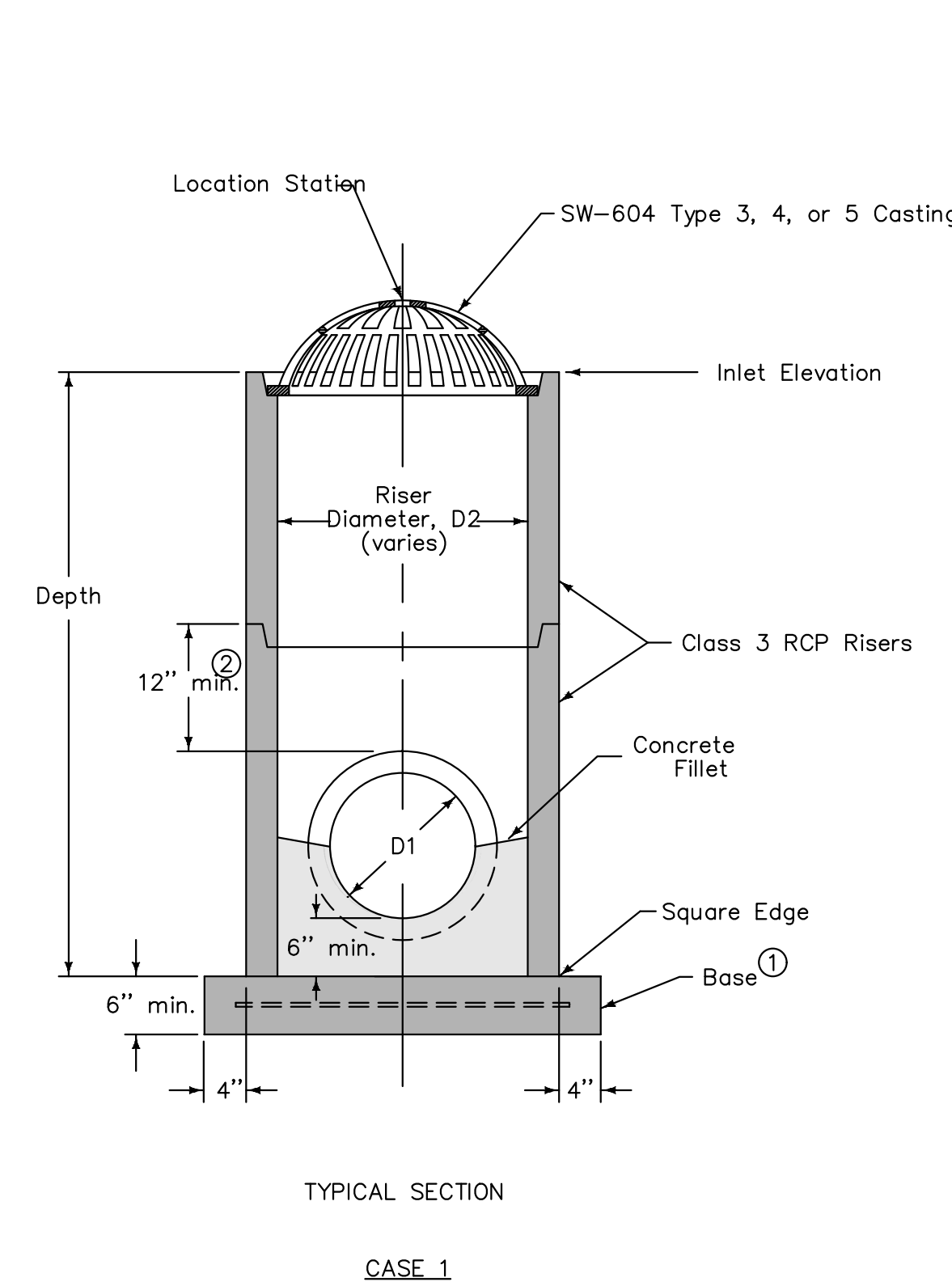


Mark	Size	Location	Shape	Length	Count	Spacing
4w1	4	Walls	Wall	Height minus 4"	14	12"
4w2	4	Long Walls	---	3'-8"	Varies	12"
4w3	4	Short Walls	---	2'-8"	Varies	12"
4b1	4	Base	---	4'-2"	4	10"
4b2	4	Base	---	3'-2"	5	10"



SUDAS	IOWADOT	REVISION	2	04-17-18
		FIGURE 6010.501	STANDARD ROAD PLAN	SW-501
REVISIONS: Changed 'invert' callout to 'Concrete Fillet'. Updated SWI and Sudas tags.		SHEET 1 of 1		
<i>Paul D. Wiegand</i> DESIGN ENGINEER <i>Brian J. Smith</i> DESIGN ENGINEER		SINGLE GRATE INTAKE		

MAXIMUM PIPE DIAMETERS		
Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"



- ① Precast (shown) or cast-in-place base:
 - Precast: 6 inch thick concrete with #6 welded wire mesh on 4 inch centers (WWF 4" x 4"). Center mesh vertically within base.
 - Cast-in-place: 8 inch thick non-reinforced concrete.
- ② 12 inch minimum riser height above all pipes.

INTAKE SIZE - CASE 1	
Outlet Pipe Diameter, D1	Minimum Riser Diameter, D2
12"	18"
15"	24"
18"	24"
21"	30"
24"	30"
27"	36"

SUDAS	IOWADOT	REVISION	3	04-17-18
		FIGURE 6010.512	STANDARD ROAD PLAN	SW-512
REVISIONS: Changed 'invert' callout to 'Concrete Fillet'.		SHEET 1 of 2		
<i>Paul D. Wiegand</i> DESIGN ENGINEER <i>Brian J. Smith</i> DESIGN ENGINEER		CIRCULAR AREA INTAKE		

FIGURE 6010.512 SHEET 1 OF 2

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PROJECT		
BONDURANT SILO COMMONS		
BONDURANT		IOWA
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CLIENT PROJECT NO.	-

TITLE

SITE DETAILS

SHEET

C0-33

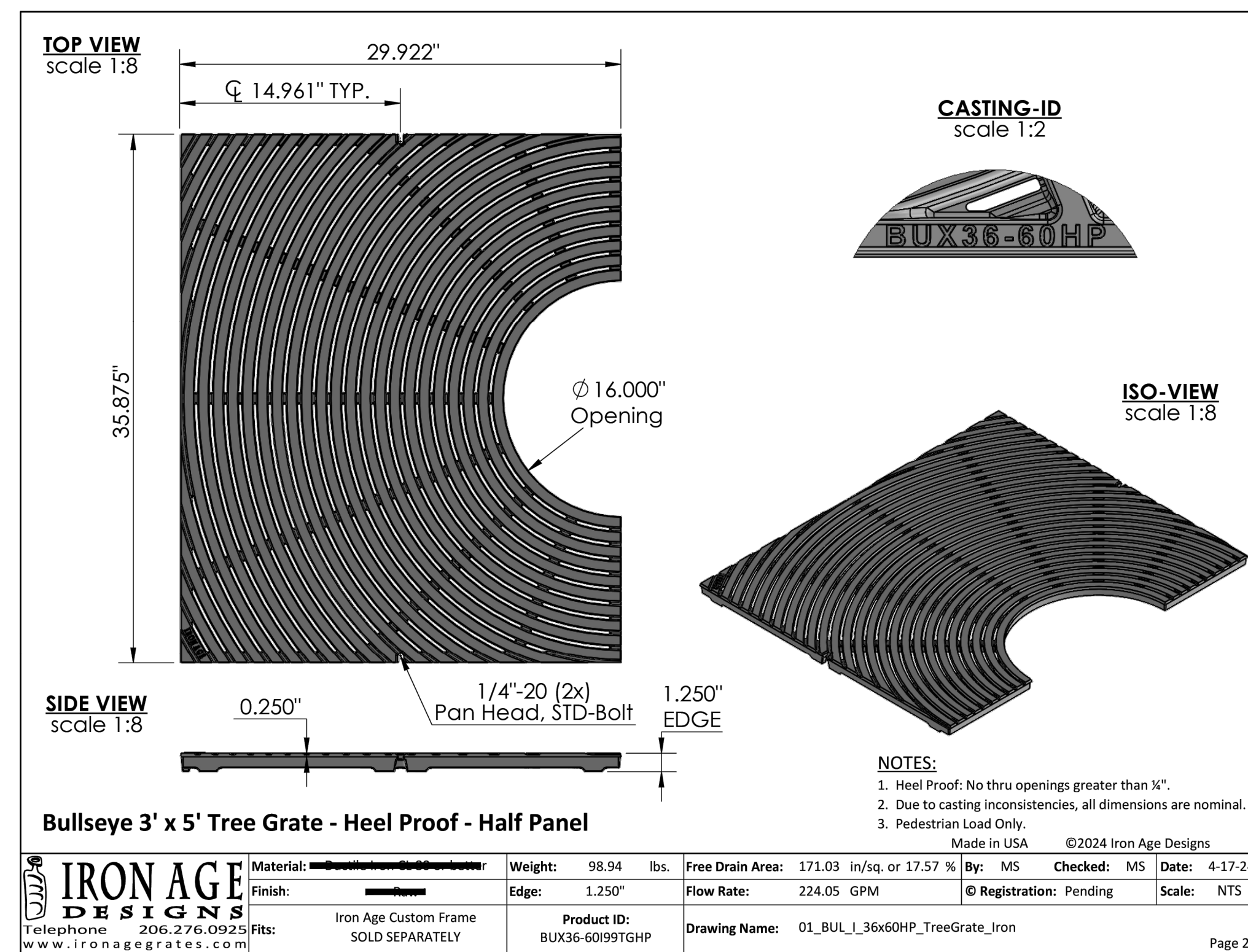
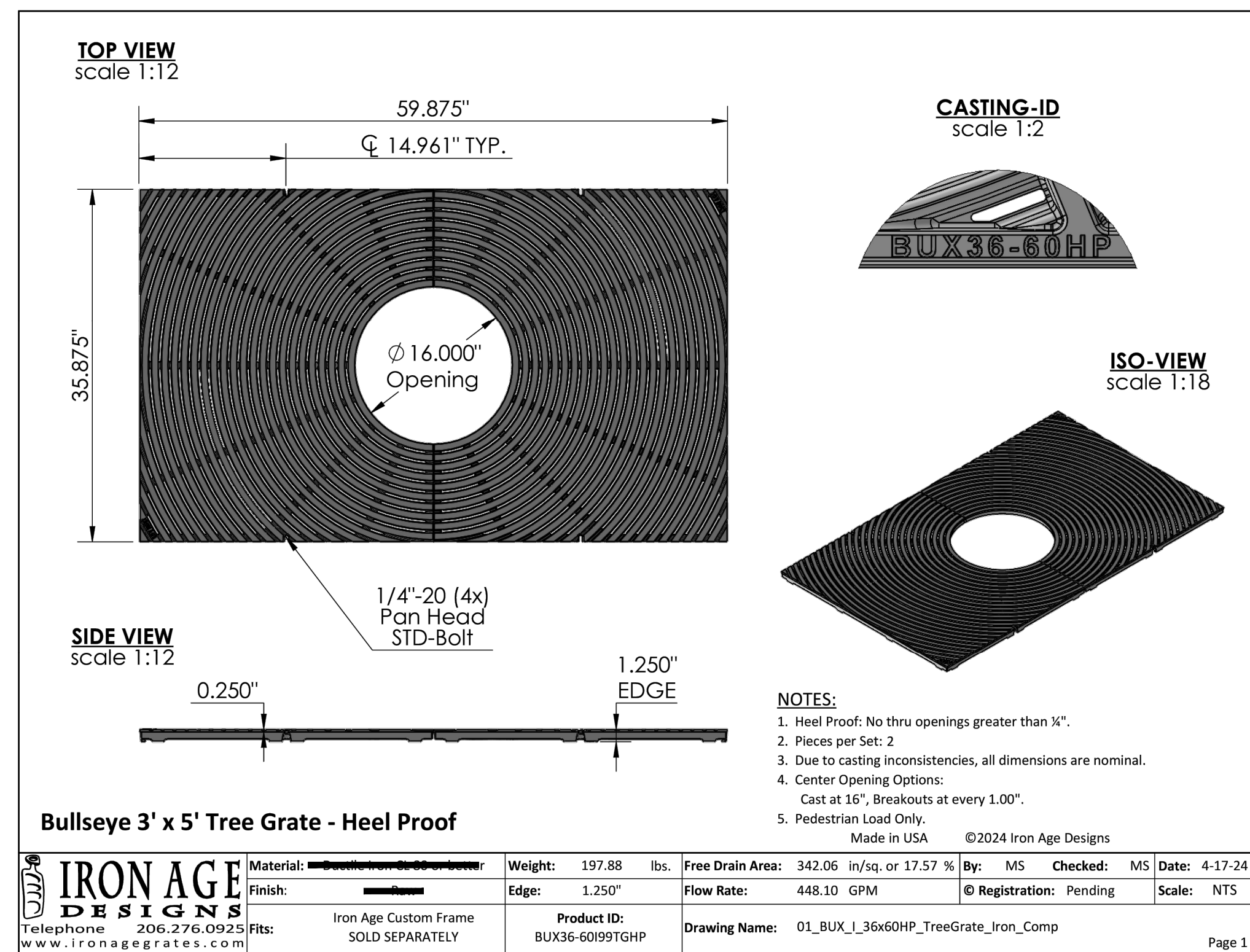
FIGURE 6010.401 SHEET 1 OF 1

FIGURE 6010.512 SHEET 1 OF 2

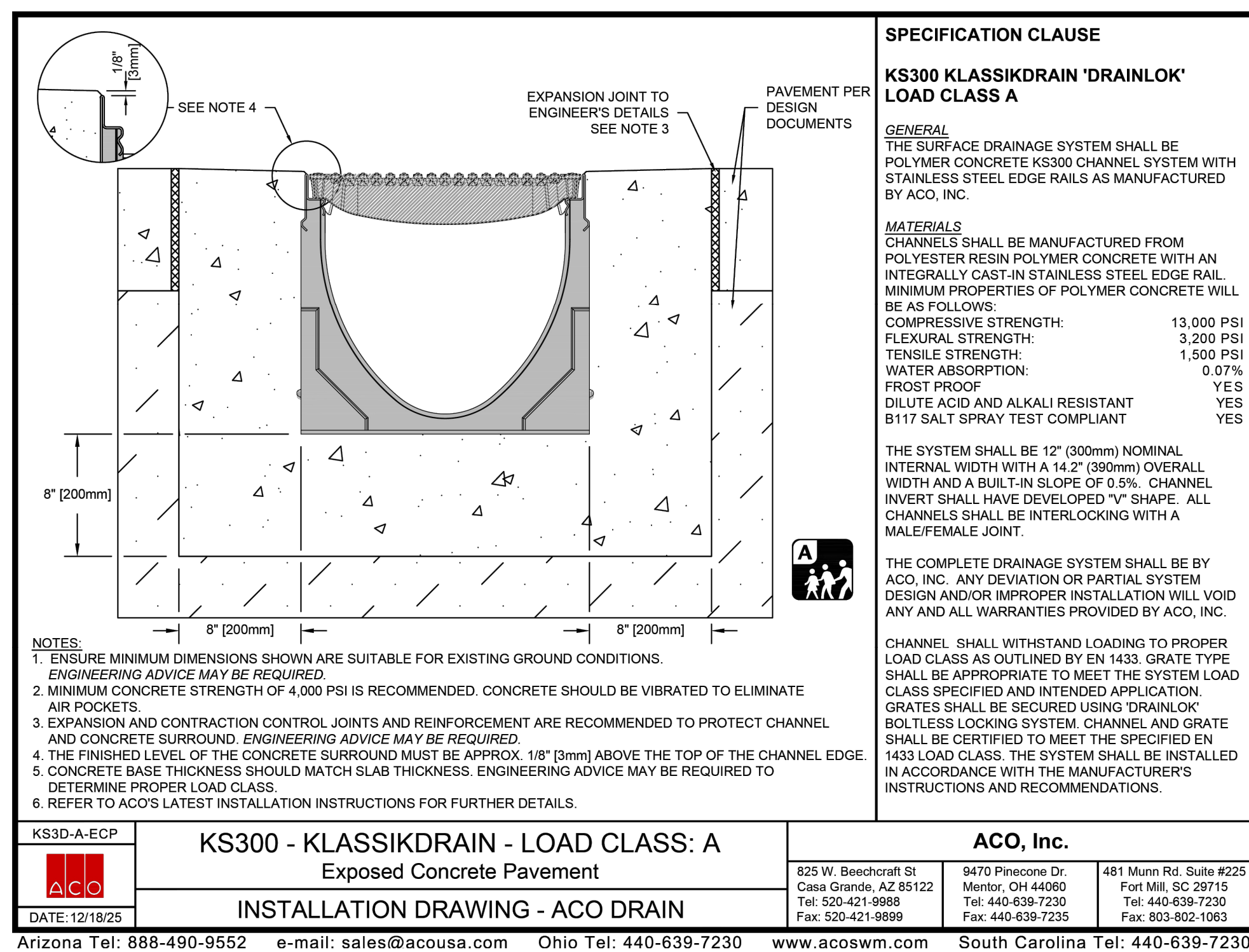
PLOT DATE: 4/30/2025 2:48 PM

NOTES:

GRATES TO BE CAST ALUMINUM



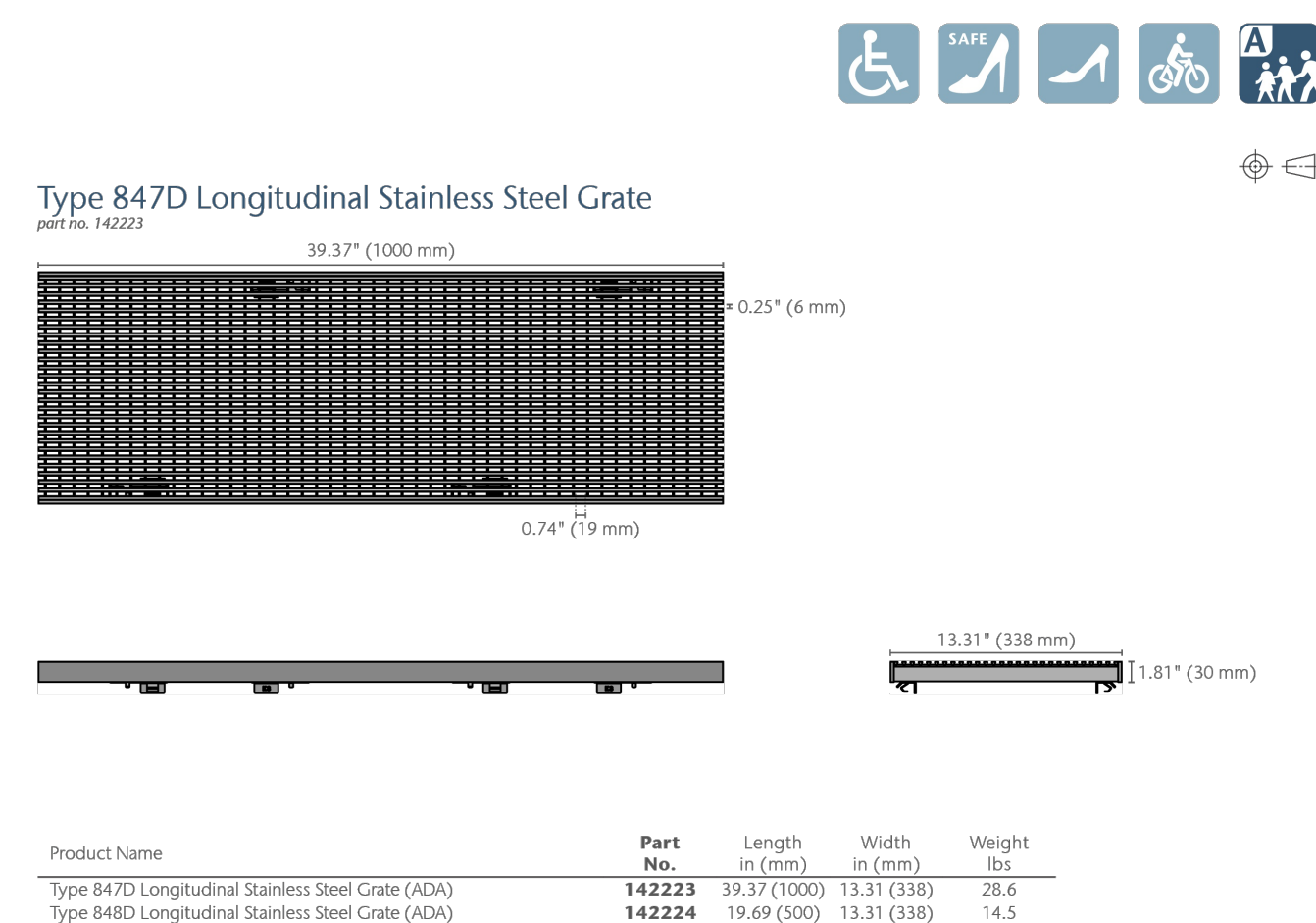
TREE GRATE (BASIS OF DESIGN)
NTS



TRENCH DRAIN (BASIS OF DESIGN)
NTS

ACO Drain® | KlassikDrain

Type 847D/848D Longitudinal Stainless Steel Grate (ADA) Spec Sheet



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SILO COMMONS

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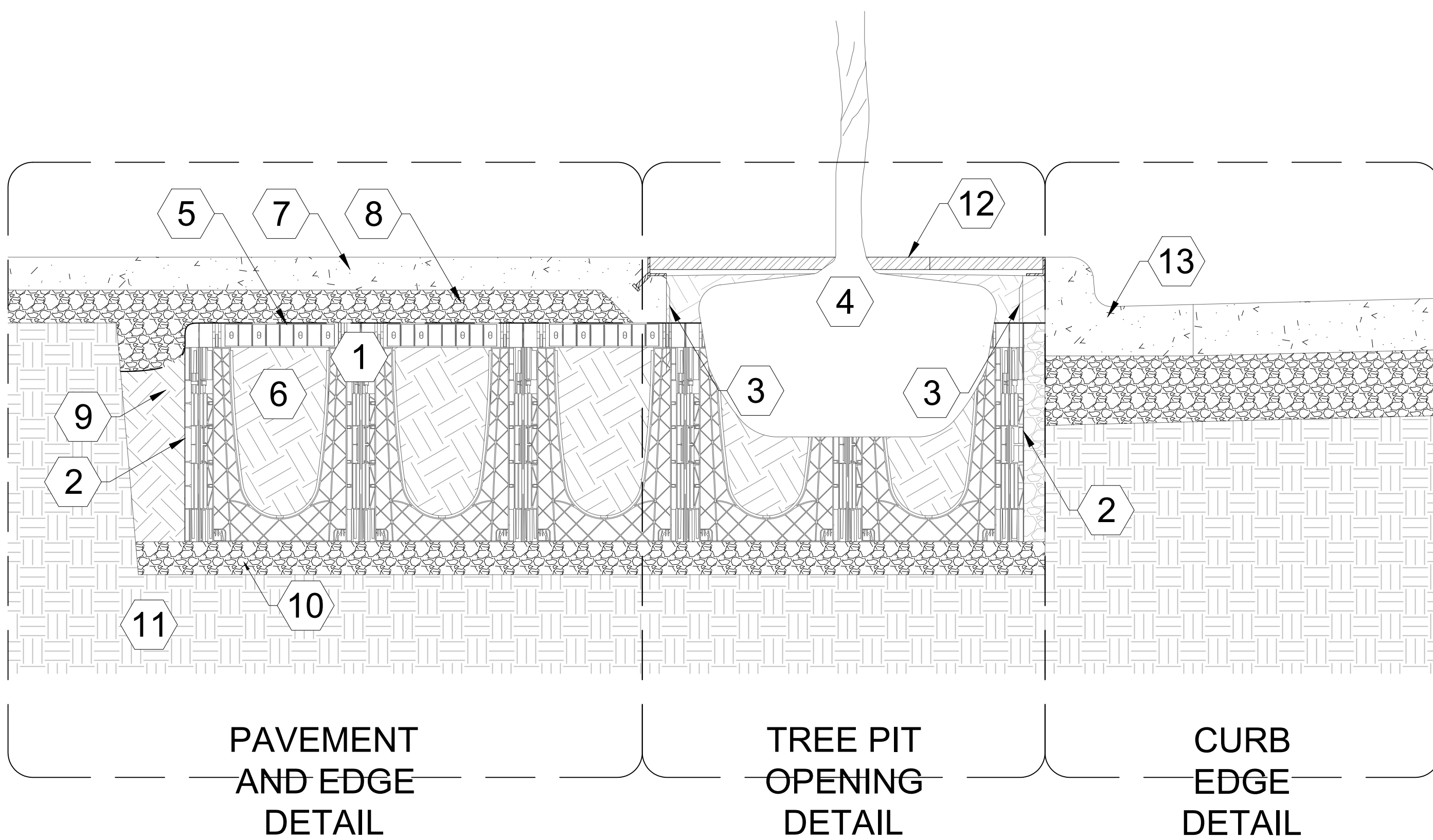
TITLE

SITE DETAILS

SHEET

C0-34

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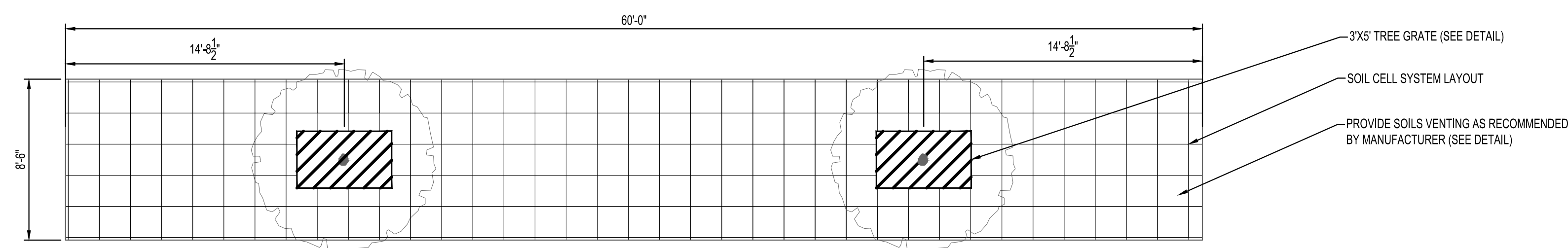
ARBORSYSTEM® URBAN TREE PLANTING SYSTEM

1. RootSpace® 600 Series Soil Cell System (24" depth)
2. RootStop™ 600 Root & Moisture Barrier (24" depth)
3. ReRoot™ 300 Ribbed Root Barrier (12" depth)
4. Tree / Rootball
5. CombiGrid® Geocomposite Fabric/Grid
6. Planting Soil
7. Pavement
8. Aggregate Base
9. Compacted Backfill Material
10. Aggregate Sub-base
11. Compacted Native Subgrade
12. Tree Grate (optional)
13. Curb and Gutter

SOIL CELL (BASIS OF DESIGN)
NTS

NOTES:

PROVIDE SOIL VENTING, PLACEMENT AND QUANTITY, AS REQUIRED BY MANUFACTURER.



SOIL CELL LAYOUT (BASIS OF DESIGN)
1"=5'

RootRain™ ArborVent™ 150 Aeration/Irrigation Inlet

DESCRIPTION
The ArborVent™ is a heavy-duty cast irrigation inlet for heavily trafficked hardscape areas. The RootRain™ tree irrigation and aeration system maintains long term soil health and fertility by facilitating high volumes of nutrients such as water and oxygen to reach the tree rooting area directly and allowing toxic gasses to escape – all critical factors in tree welfare.

CODE
FAN/WAL -150

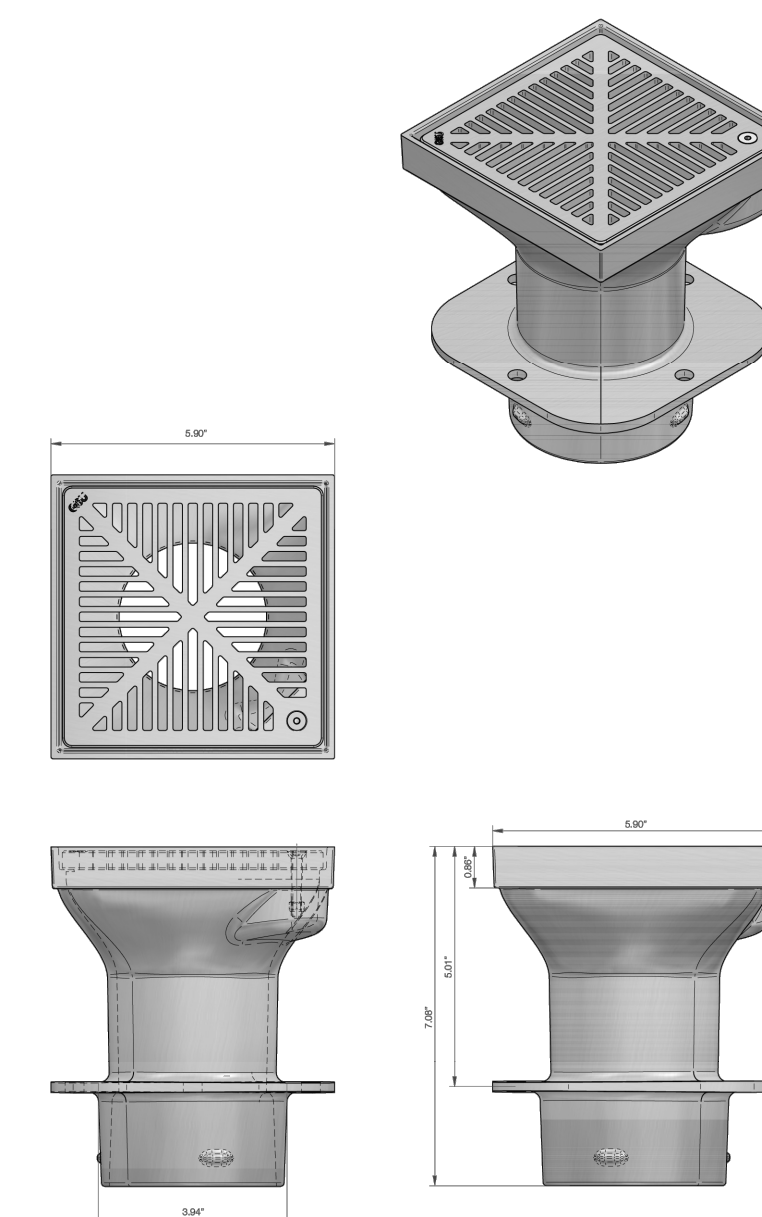
MATERIAL
Body: Aluminum
Grate: Aluminum

FINISH
Body: Natural Aluminum
Grate: Brushed Aluminum

COMPLIANCE
Meets ADA Compliance for 1/2" or smaller openings in the grate.
Meets the heel-safe requirements for 3/4" or smaller openings in the grate.

DIMENSIONS
Width x Depth: 5.90" x 7.08"

COUNTRY OF MANUFACTURE
United Kingdom, EU, Canada, United States, India, China



Establishing the future urban landscape
2533 Holt Avenue
Knoxville, TN USA
www.greenblue.com
inquiries@greenblue.com
Sales and Service: 1 866 282 2743

SOIL VENT (BASIS OF DESIGN)
1"=5'

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SILO COMMONS**

BONDURANT IOWA

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TITLE

SITE DETAILS

SHEET

C0-35

PRELIMINARY NOT FOR CONSTRUCTION



NOTES:

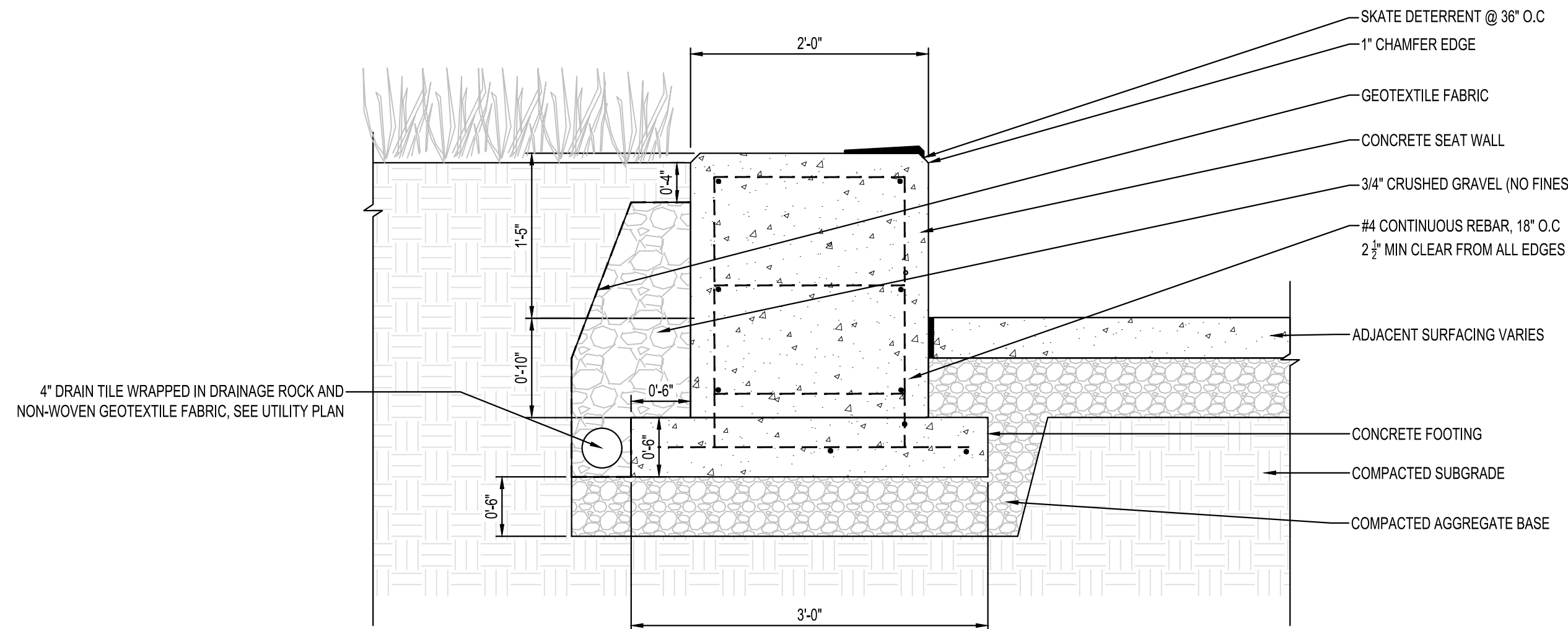
MOCK UP OF 4 FOOT LENGTH OF SEAT WALL SECTION SHALL BE MADE FOR APPROVAL BY CLIENT AND ARCHITECT. MOCK-UPS SHALL BE PLACED IN A LOCATION AS NOT TO BE DAMAGED DURING CONSTRUCTION AND CAN BE EASILY VIEWED AND COMPARED AGAINST ONE ANOTHER. APPROVED MOCKUP SHALL BE USED AS A STANDARD FOR DESIGN INTENT MOVING FORWARD.

CAST IN PLACE SEAT WALLS SHALL CONFORM TO ASTM C-150 SPECIFICATIONS FOR PORTLAND CEMENT AND INCLUDE REINFORCEMENT AS INDICATED ON DETAIL. COLOR IS TO BE STANDARD CONCRETE WITH A SMOOTH FINISH. ALL SEAT WALLS SHALL CONFORM TO THE DETAILS IN RELATION TO DESIGN AND SIZE. ALL EXPOSED EDGES TO HAVE 1 INCH CHAMFER TO PREVENT CHIPPING. ALL FINISHED SURFACES TO MATCH APPROVED MOCKUP SAMPLE.

SKATE DETERRENTS SHALL BE INSTALLED AS INDICATED ON DRAWINGS ONLY AFTER FULL CURING OF CONCRETE SEAT WALLS. SKATE DETERRENT SHALL BE GORILLA 135 (SKATESTOPPERS.COM) CLEAR ANODIZE FINISH OR APPROVED EQUAL.

SEAT WALLS TO BE 4500 PSI FC @28 DAYS WITH 6%+1.5% AIR ENTRAINMENT AND .45 MAX W/C RATION

CURING AND SEALING MATERIALS FOR CAST IN PLACE CONCRETE SEAT WALLS: PENETRATING SEALER - SIKACEM 102 FIRST SEAL. REFER TO MANUFACTURERS RECOMMENDATION FOR APPLICATION METHOD. SIKACEM 102 FIRST SEAL SHALL BE DRY TO TOUCH PRIOR TO APPLICATION OF SIKACEM ACRYLIC SEALERS. CURING AND SEALING COMPOUND - SIKACEM 100 CLEAR GUARD. REFERENCE ASHTO C309-19, ASHTO M 148, ASHTO C315-19. REFER TO MANUFACTURERS RECOMMENDATION FOR APPLICATION METHOD, OR APPROVED EQUAL.



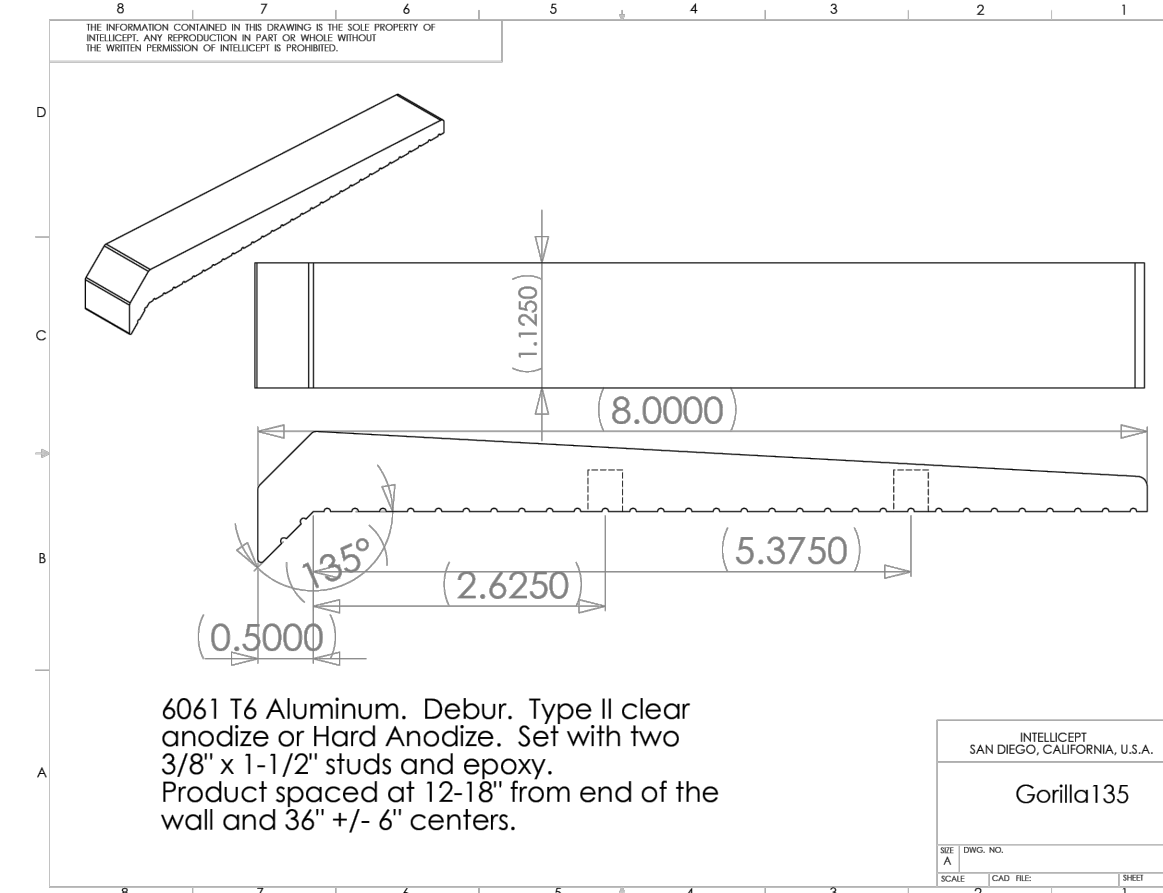
CAST IN PLACE CONCRETE SEAT WALL – BACKFILLED

1"=1'

NOTES:

SKATE DETERRENTS SHALL BE INSTALLED AS INDICATED ON DRAWINGS ONLY AFTER FULL CURING OF CONCRETE SEAT WALLS. SKATE DETERRENT SHALL BE GORILLA 135 (SKATESTOPPERS.COM) CLEAR ANODIZE FINISH OR APPROVED EQUAL.

REFER TO SITE FURNISHING PLAN FOR SKATE DETERRENT LOCATIONS



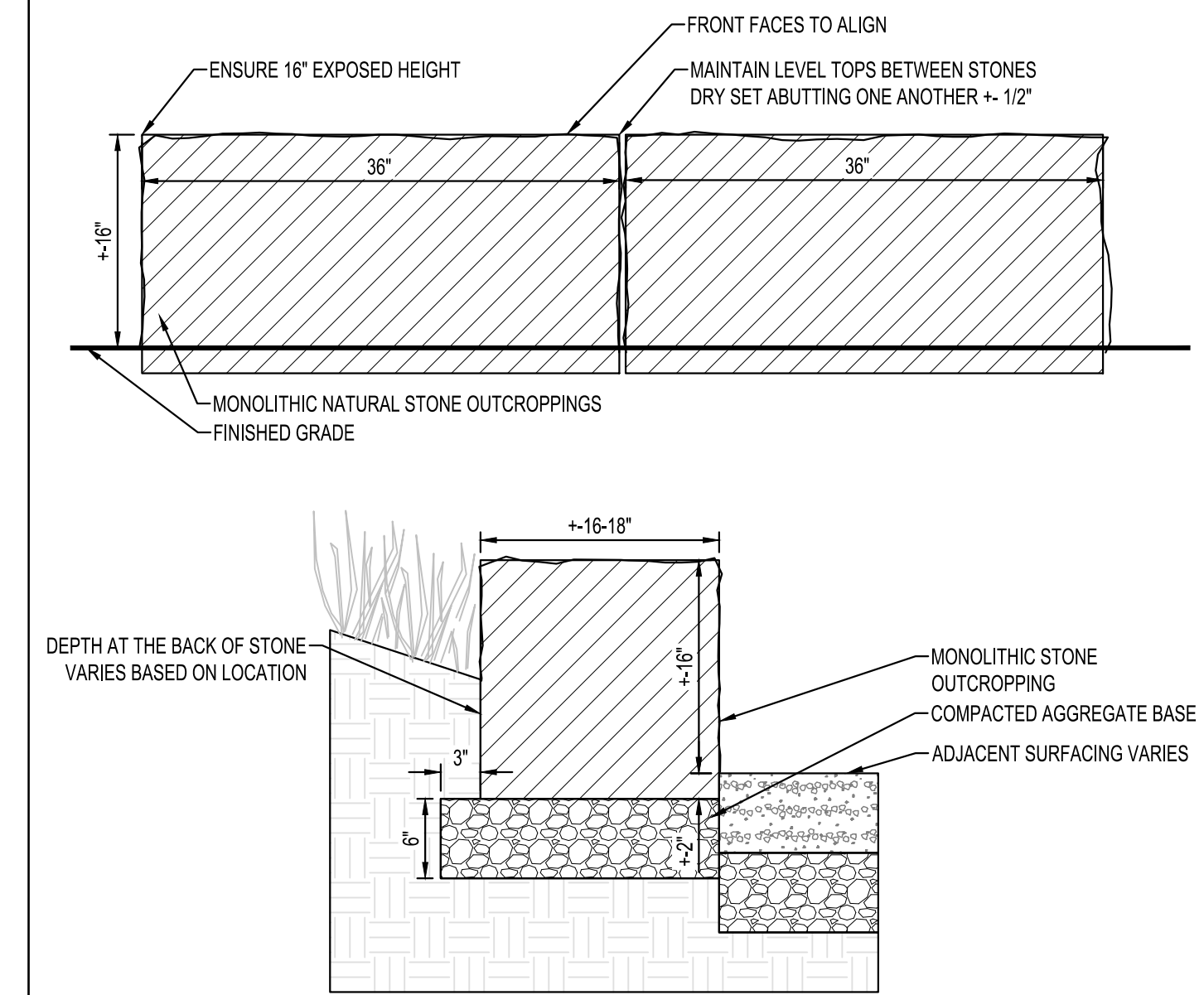
SKATE DETERRENT (BASIS OF DESIGN)

NTS

NOTES:

STONE OUTCROPPINGS TO BE LARGE IOWA BUFF WALLSTONE. SPLIT SIDES AND FACES

OVERALL SIZE TO BE 17-18" HEIGHT WITH 16-18" DEPTH AND +36" LONG.



MONOLITHIC STONE OUTCROPPING

1"=1'

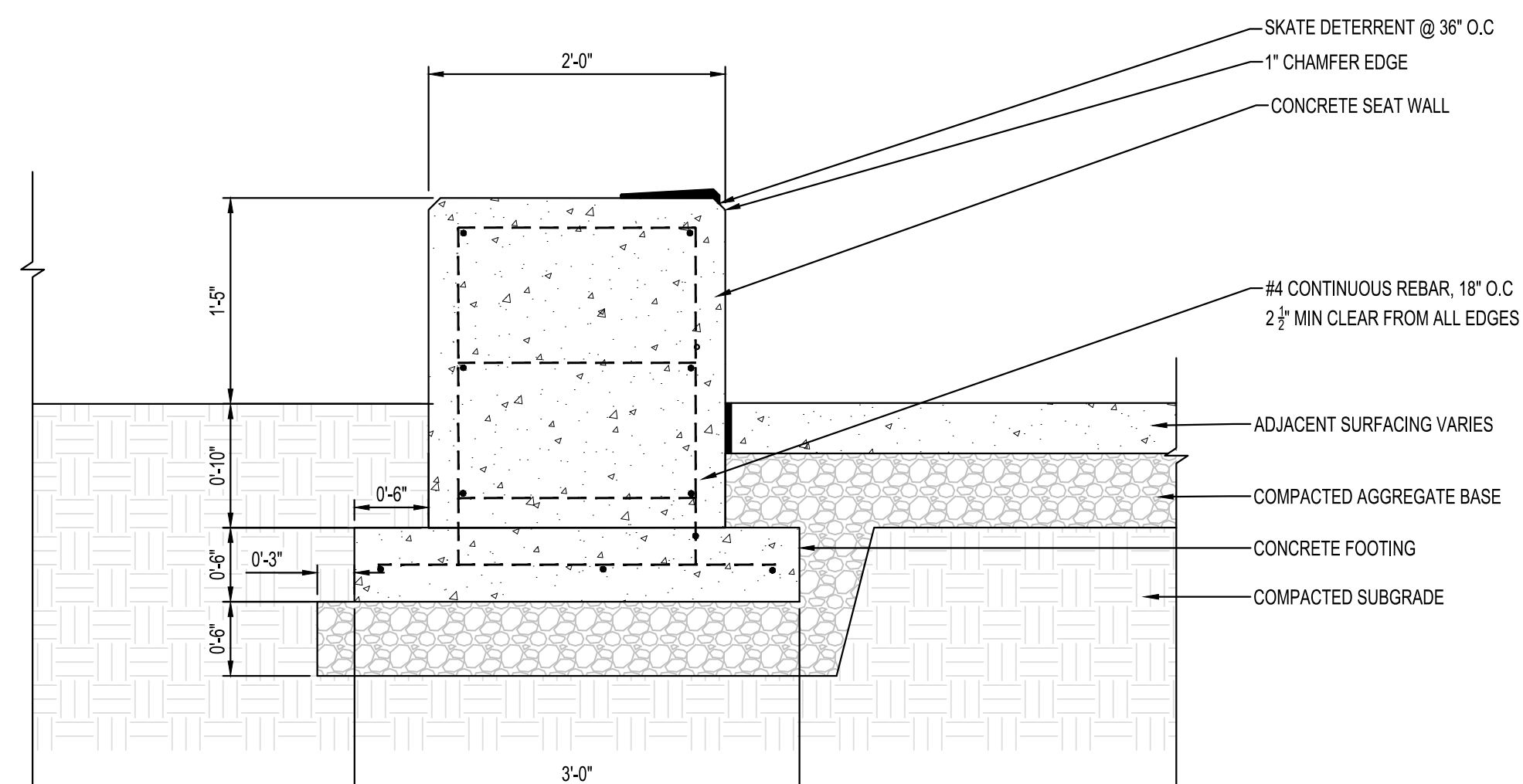
NOTES:

CAST IN PLACE SEAT WALLS SHALL CONFORM TO ASTM C-150 SPECIFICATIONS FOR PORTLAND CEMENT AND INCLUDE REINFORCEMENT AS INDICATED ON DETAIL. COLOR IS TO BE STANDARD CONCRETE WITH A SMOOTH FINISH. ALL SEAT WALLS SHALL CONFORM TO THE DETAILS IN RELATION TO DESIGN AND SIZE. ALL EXPOSED EDGES TO HAVE 1 INCH CHAMFER TO PREVENT CHIPPING. ALL FINISHED SURFACES TO MATCH APPROVED MOCKUP SAMPLE.

SKATE DETERRENTS SHALL BE INSTALLED AS INDICATED ON DRAWINGS ONLY AFTER FULL CURING OF CONCRETE SEAT WALLS. SKATE DETERRENT SHALL BE GORILLA 135 (SKATESTOPPERS.COM) CLEAR ANODIZE FINISH OR APPROVED EQUAL.

SEAT WALLS TO BE 4500 PSI FC @28 DAYS WITH 6%+1.5% AIR ENTRAINMENT AND .45 MAX W/C RATION

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CAST IN PLACE CONCRETE SEAT WALL – FREE STANDING

1"=1'

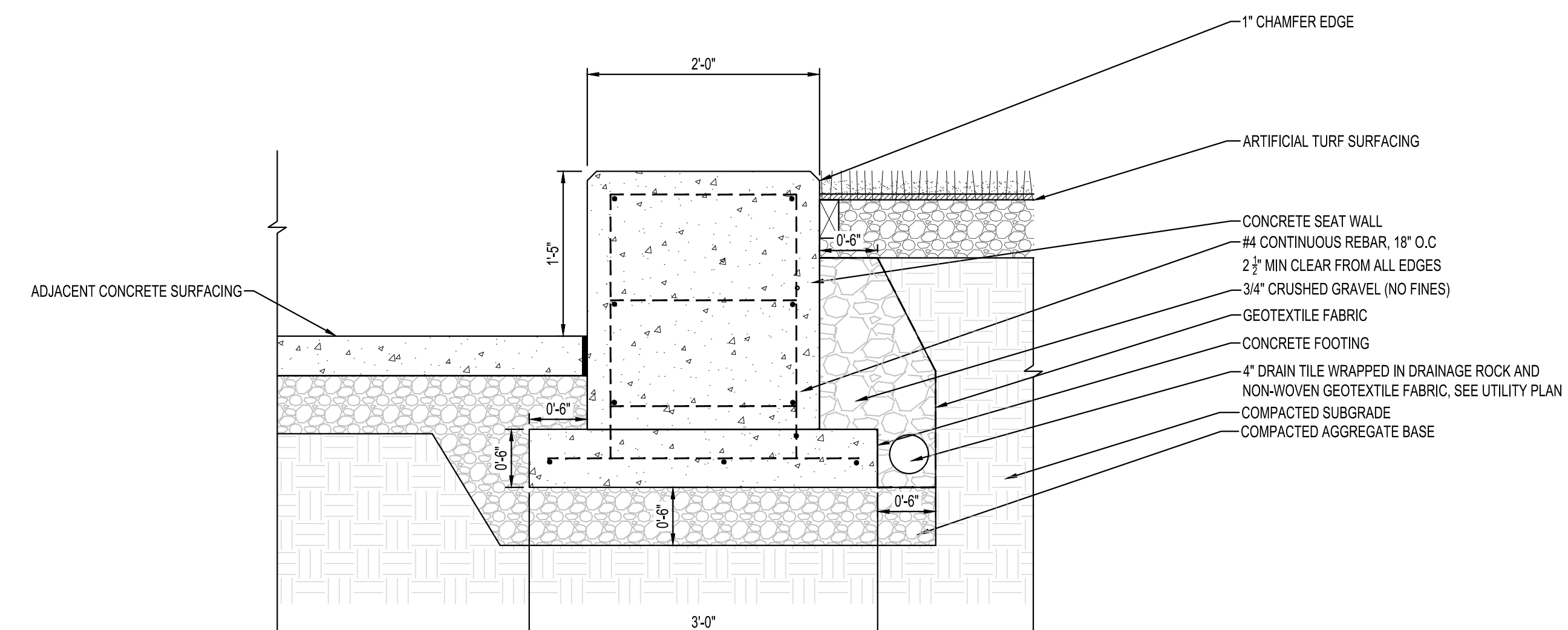
NOTES:

CAST IN PLACE SEAT WALLS SHALL CONFORM TO ASTM C-150 SPECIFICATIONS FOR PORTLAND CEMENT AND INCLUDE REINFORCEMENT AS INDICATED ON DETAIL. COLOR IS TO BE STANDARD CONCRETE WITH A SMOOTH FINISH. ALL SEAT WALLS SHALL CONFORM TO THE DETAILS IN RELATION TO DESIGN AND SIZE. ALL EXPOSED EDGES TO HAVE 1 INCH CHAMFER TO PREVENT CHIPPING. ALL FINISHED SURFACES TO MATCH APPROVED MOCKUP SAMPLE.

SKATE DETERRENTS SHALL BE INSTALLED AS INDICATED ON DRAWINGS ONLY AFTER FULL CURING OF CONCRETE SEAT WALLS. SKATE DETERRENT SHALL BE GORILLA 135 (SKATESTOPPERS.COM) CLEAR ANODIZE FINISH OR APPROVED EQUAL.

SEAT WALLS TO BE 4500 PSI FC @28 DAYS WITH 6%+1.5% AIR ENTRAINMENT AND .45 MAX W/C RATION

CURING AND SEALING MATERIALS FOR CAST IN PLACE CONCRETE SEAT WALLS: PENETRATING SEALER - SIKACEM 102 FIRST SEAL. REFER TO MANUFACTURERS RECOMMENDATION FOR APPLICATION METHOD. SIKACEM 102 FIRST SEAL SHALL BE DRY TO TOUCH PRIOR TO APPLICATION OF SIKACEM ACRYLIC SEALERS. CURING AND SEALING COMPOUND - SIKACEM 100 CLEAR GUARD. REFERENCE ASHTO C309-19, ASHTO M 148, ASHTO C315-19. REFER TO MANUFACTURERS RECOMMENDATION FOR APPLICATION METHOD, OR APPROVED EQUAL.



CAST IN PLACE CONCRETE SEAT WALL – TURF PANEL

1"=1'

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SILO COMMONS**

BONDURANT IOWA

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TITLE

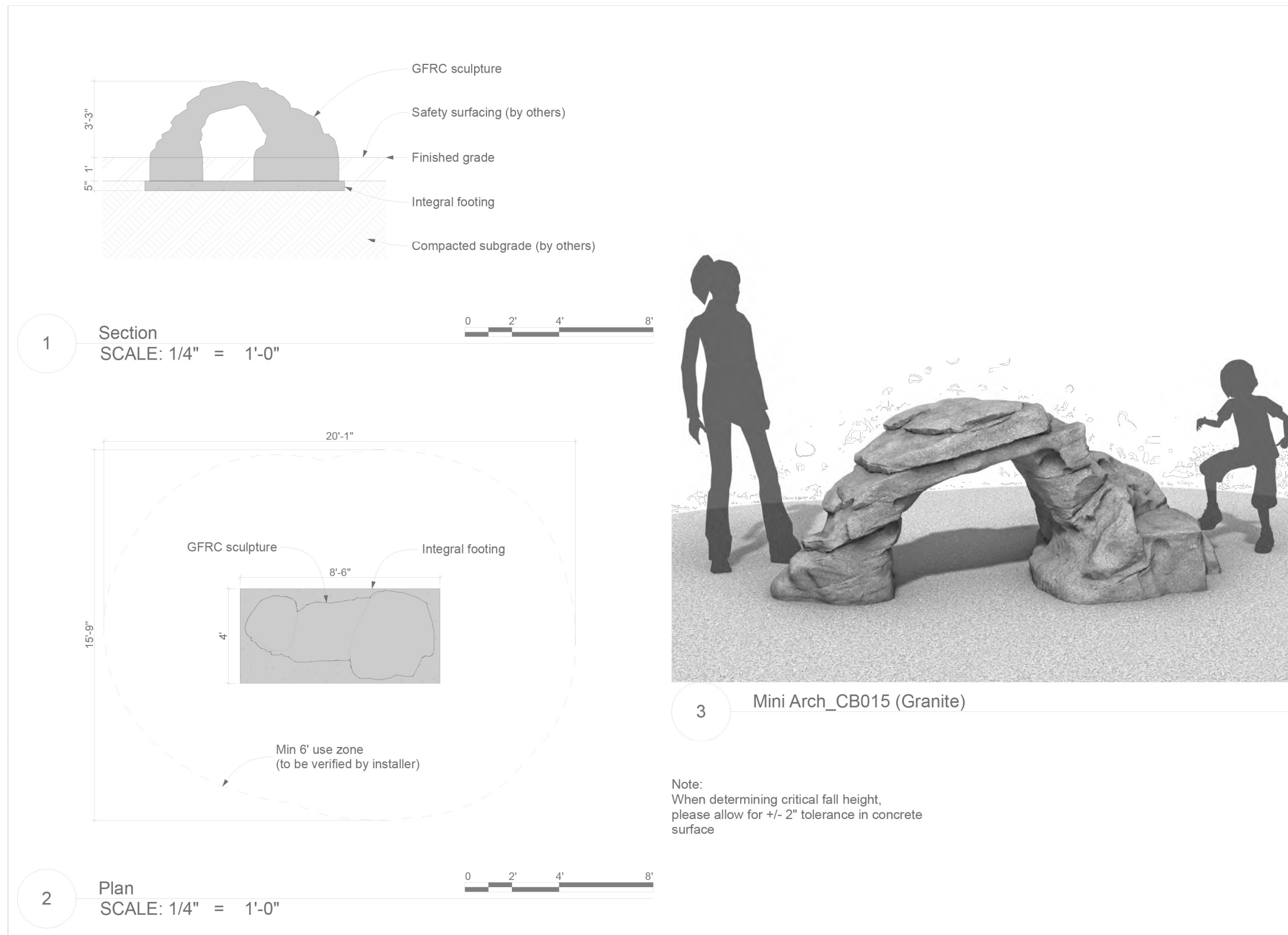
SITE DETAILS

SHEET

C0-36

NOTES:

PLAY FEATURE TO BE GRANITE COLOR



ID SCULPTURE
PLAY. CLIMB. EXPLORE.

Mini Arch
CB015
Age Group: 2-5

100% CONSTRUCTION DRAWINGS

IPEMA CERTIFIED
ASTM F1487

All IDS projects are designed to meet or exceed ASTM 1487. Please consult ASTM 1487 for required hazard warning and signage specifications. Not all equipment may be appropriate for all children. Supervision is required. ASTM compliant safety surfacing is required under and around all play equipment. The Americans with Disabilities Act (ADA) may require your play area to be accessible, please consult with an ADA professional to ensure compliance.

Date: 12/4/2025
Sheet #: A.01.2
Drawing Title: Layout (Granite)
Approved By / Date:

591 South Boulevard Street
Gunnison, Colorado 81230
hello@idsculpture.com

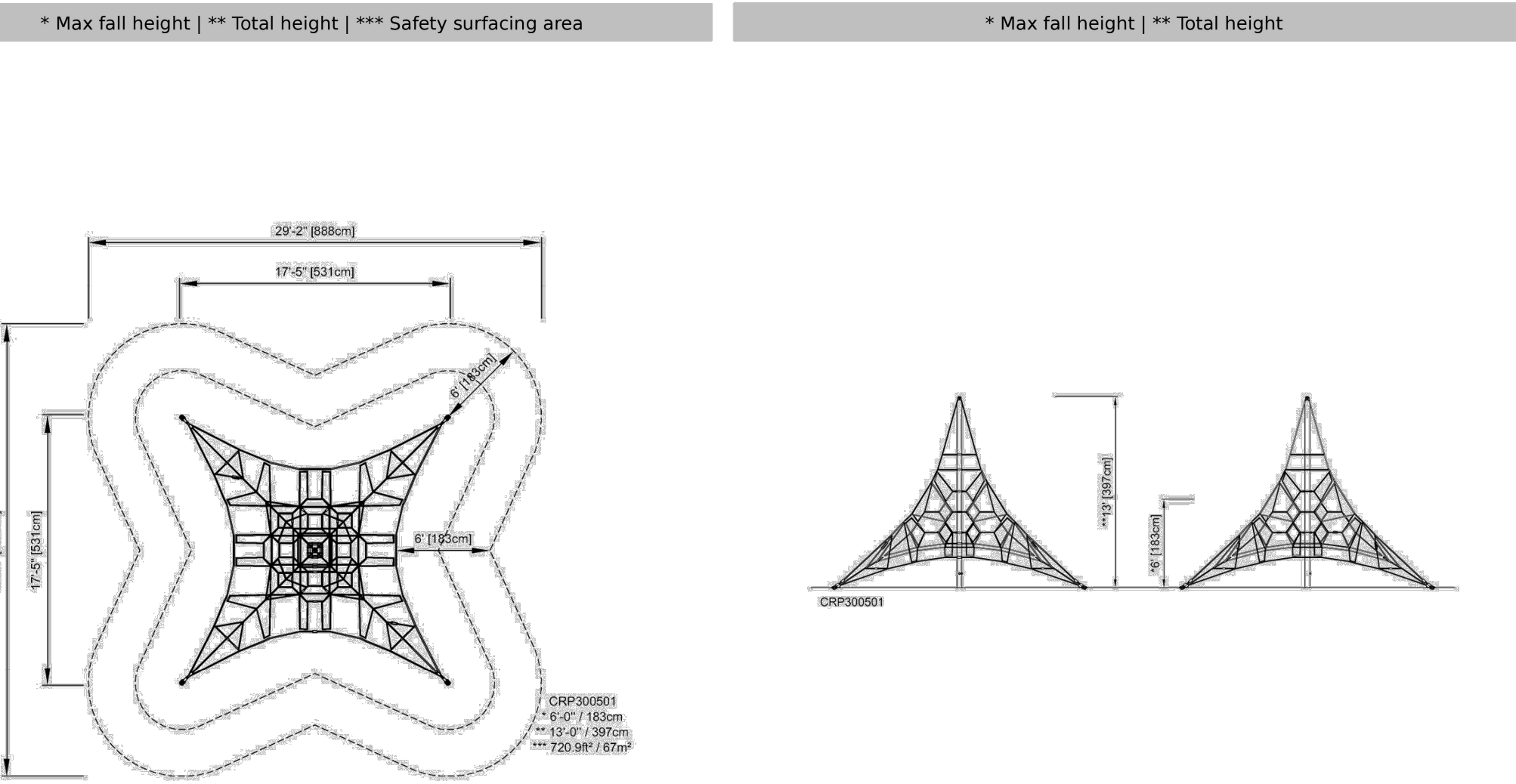
MINI ARCH PLAY FEATURE
NTS

NOTES:

NETTING TO BE MEDIUM GREEN COLOR

Mini Spacenet

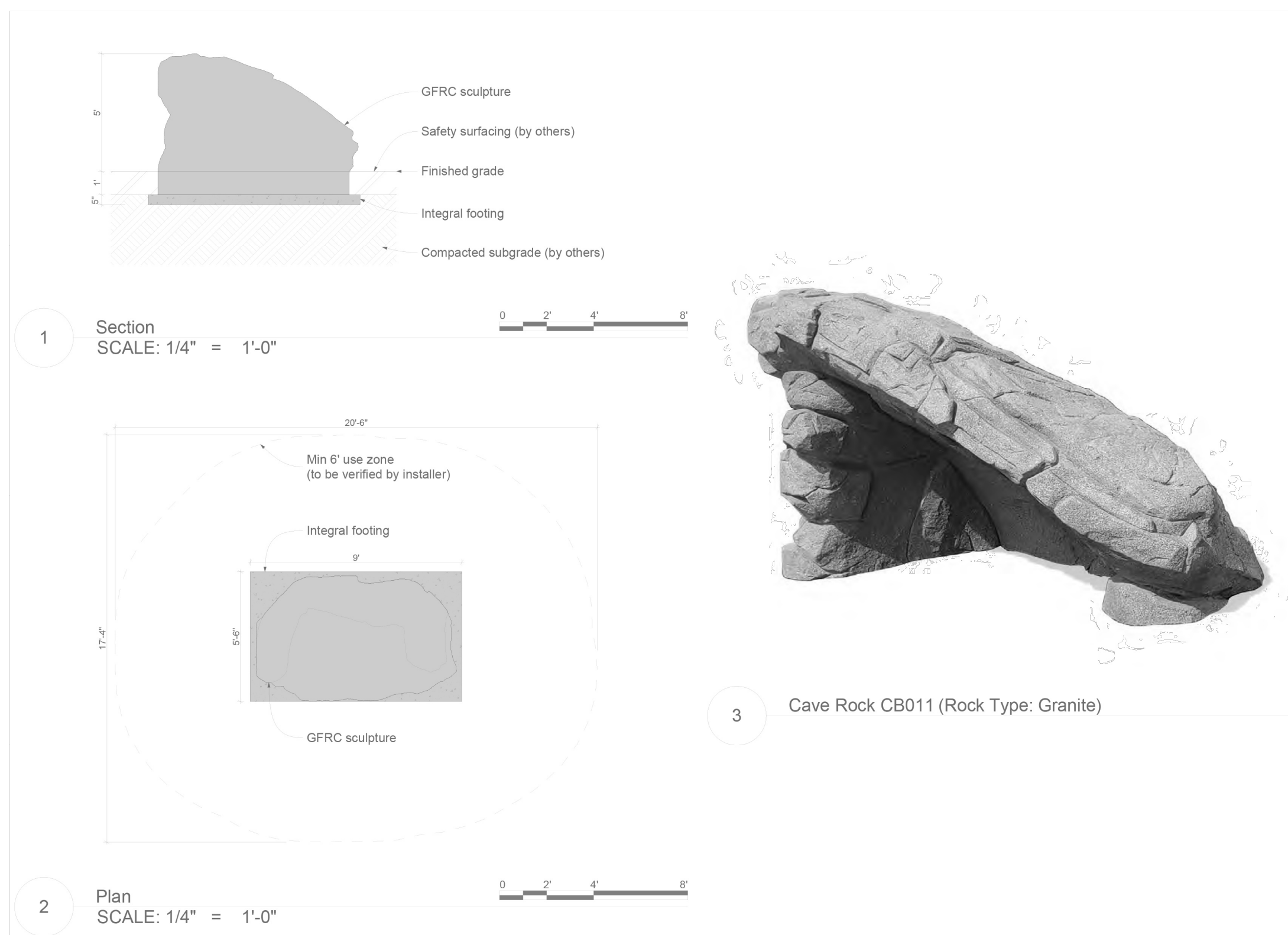
CRP300501



CLIMBING NET PLAY FEATURE (BASIS OF DESIGN)
NTS

NOTES:

PLAY FEATURE TO BE GRANITE COLOR



ID SCULPTURE
PLAY. CLIMB. EXPLORE.

Cave Rock
CB011
Age Group: 2-5

SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

IPEMA CERTIFIED
ASTM F1487

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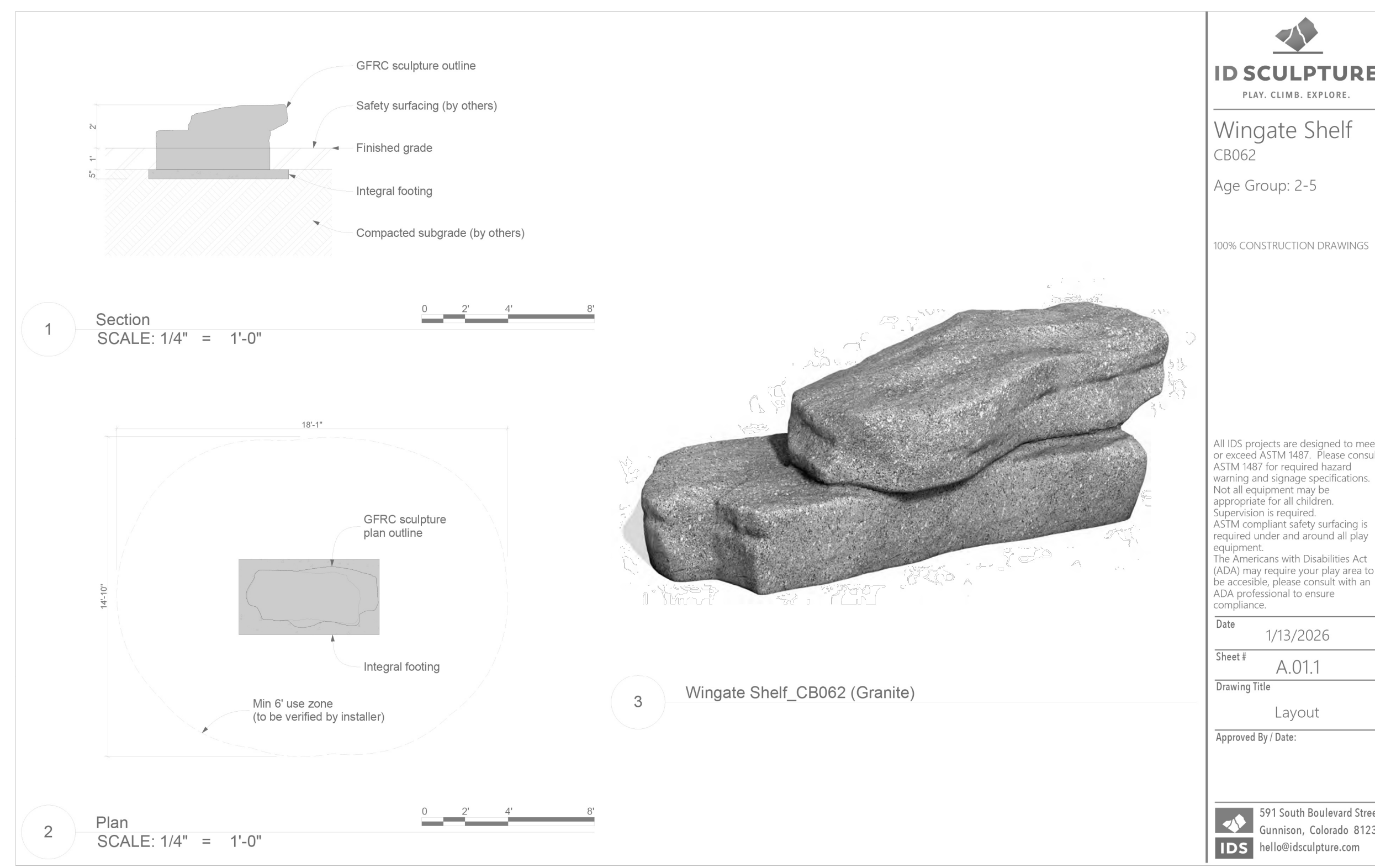
Date: 4/29/2025
Sheet #: A.01.1
Drawing Title: Layout
Approved By / Date:

591 South Boulevard Street
Gunnison, Colorado 81230
info@idsculpture.com

CAVE ROCK PLAY FEATURE
NTS

NOTES:

PLAY FEATURE TO BE GRANITE COLOR



ID SCULPTURE
PLAY. CLIMB. EXPLORE.

Wingate Shelf
CB062
Age Group: 2-5

100% CONSTRUCTION DRAWINGS

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Date: 1/13/2026
Sheet #: A.01.1
Drawing Title: Layout
Approved By / Date:

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WINGATE SHELF PLAY FEATURE
NTS



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SITE DETAILS

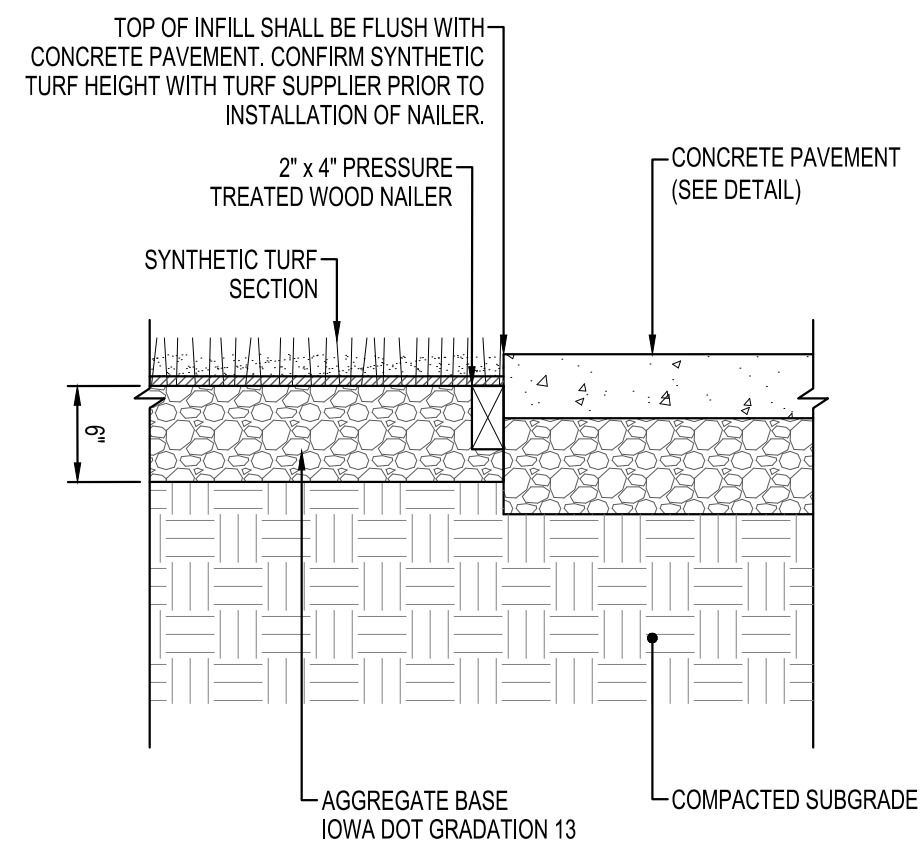
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C0-37

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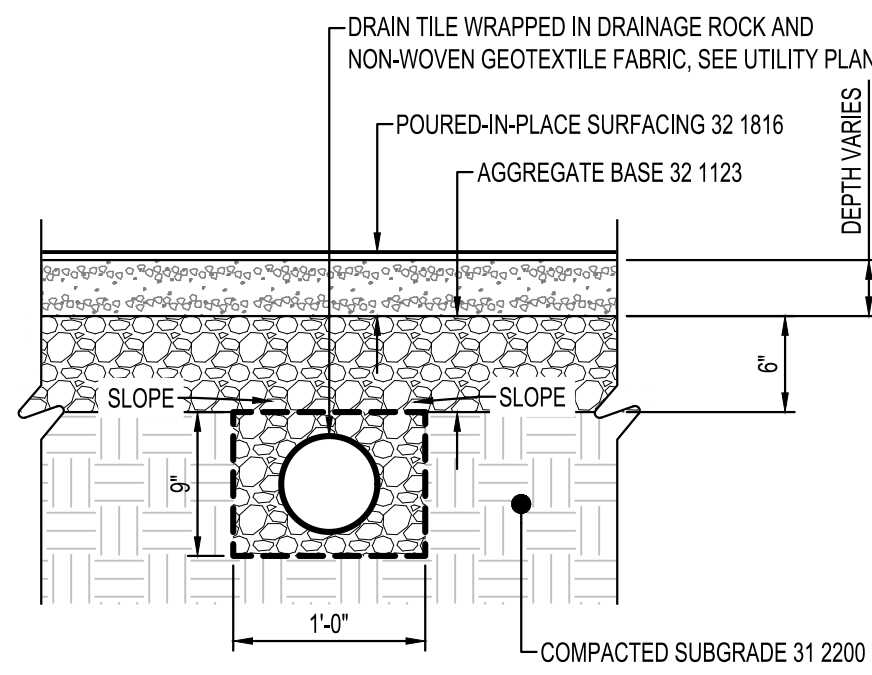


SYNTHETIC TURF EDGE AT CONCRETE PAVEMENT
NTS

NOTES:

POURED IN PLACE SURFACING TO BE SOLID FIELD OF COLOR - NO FAULT SURFACES, OR APPROVED EQUAL

PROVIDE COLOR SAMPLES FOR APPROVAL BY ARCHITECT AND OWNER. COLOR TO BE 25% REGAL BLUE/25% LIGHT BLUE/50% BLACK.

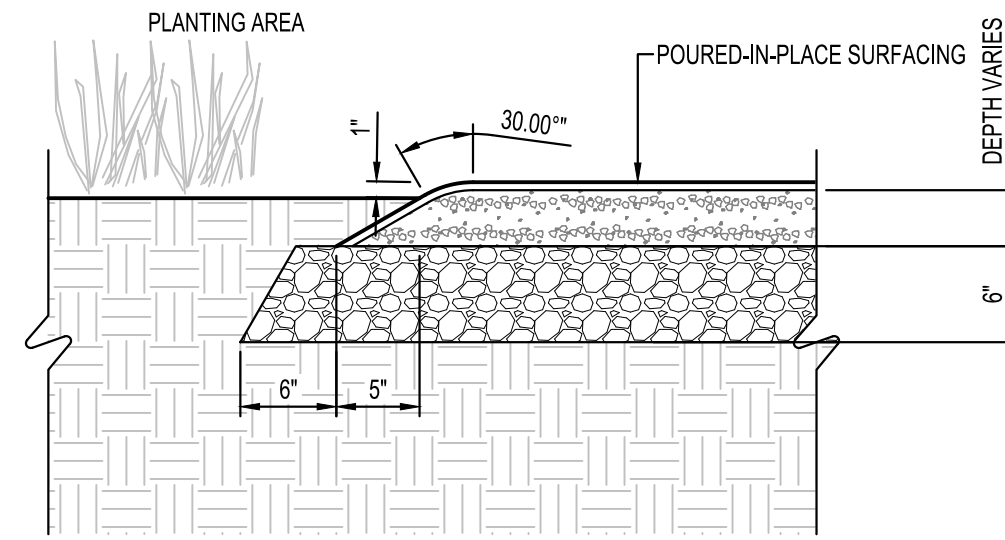


POURED-IN-PLACE SURFACING (PIP)
SCALE: 1" = 1'-0"

NOTES:

POURED IN PLACE SURFACING TO BE SOLID FIELD OF COLOR - NO FAULT SURFACES, OR APPROVED EQUAL

PROVIDE COLOR SAMPLES FOR APPROVAL BY ARCHITECT AND OWNER. COLOR TO BE 25% REGAL BLUE/25% LIGHT BLUE/50% BLACK.

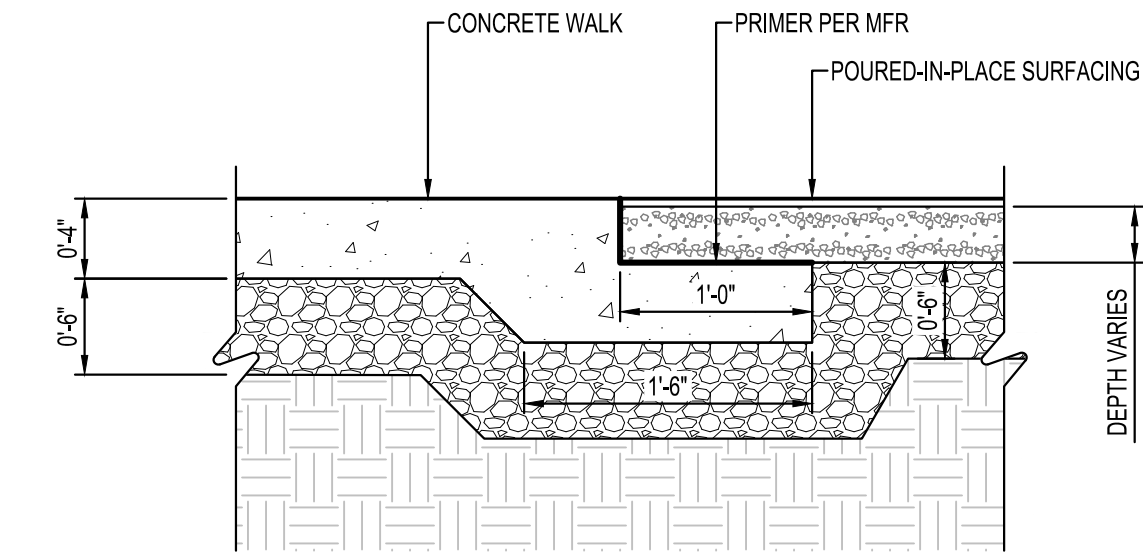


POURED-IN-PLACE SURFACING AT PLANTING AREA
SCALE: 1" = 1'-0"

NOTES:

POURED IN PLACE SURFACING TO BE SOLID FIELD OF COLOR - NO FAULT SURFACES, OR APPROVED EQUAL

PROVIDE COLOR SAMPLES FOR APPROVAL BY ARCHITECT AND OWNER. COLOR TO BE 25% REGAL BLUE/25% LIGHT BLUE/50% BLACK.



POURED-IN-PLACE SURFACING AT CONCRETE WALK
SCALE: 1" = 1'-0"

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TITLE

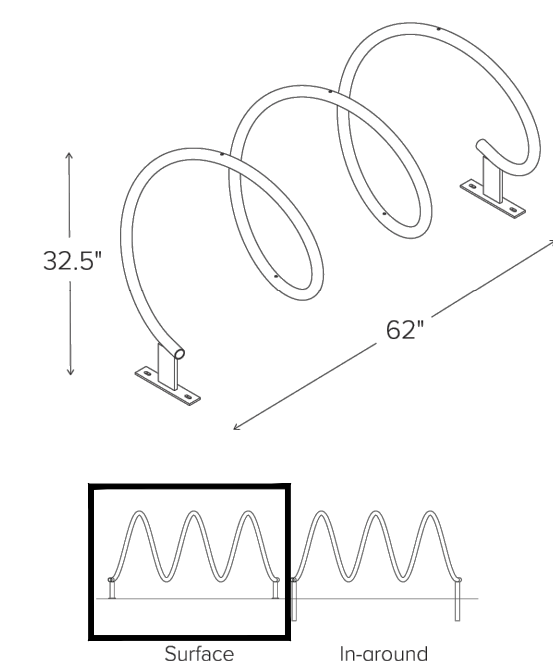
SITE DETAILS

SHEET

C0-38

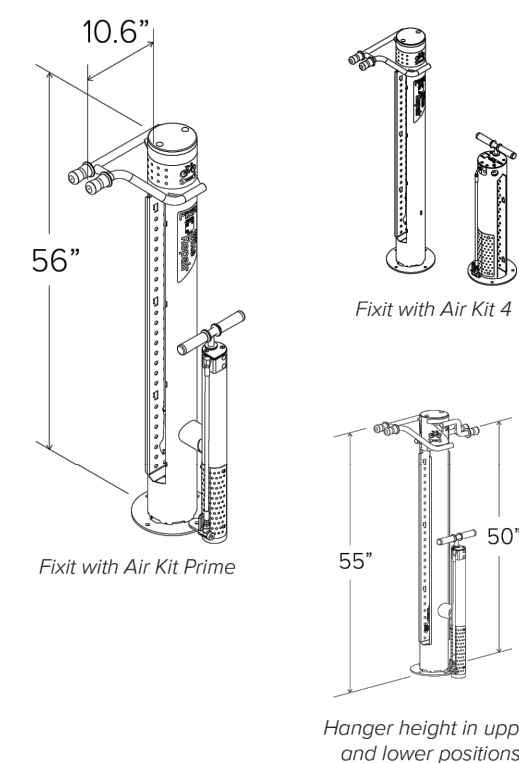
NOTES:

COLOR SHALL BE POWDER COATED YELLOW



- CAPACITY** 6 Bikes
- MATERIALS** 1.25" Pipe (1.66" OD)
- FINISHES**
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
 - Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
 - Stainless**
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.
- MOUNT OPTIONS**
- Surface**
Foot Mount has two 2.5" x 6" x .25" feet with two anchors per foot. Specify foot mount for this option. Tamper-resistant fasteners available upon request.
 - In-Ground**
In-ground mount is embedded into concrete base. Specify in-ground mount for this option

BICYCLE RACK (BASIS OF DESIGN)
NTS



NOTES:

COLOR SHALL BE POWDER COATED YELLOW

- CAPACITY**
- 1 Bike** (One set of hanger arms)
 - 2 Bikes** (Two sets of hanger arms)
- MATERIALS**
- Main body:** 6" x 12g tube
 - Bike Hanger:** 1" solid round bar
 - Foot:** 10" dia. x .25" plate
 - Tool tethers:** 3/16" stainless steel cable
 - Manual air pump**
 - Hand tools:**
Phillips and flat head screwdrivers
2.5, 3, 4, 5, 6, 8mm Allen wrenches
T25 Torx wrench
32mm Headset wrench
15mm Pedal wrench
8, 9, 10, 11mm box wrenches
Tire levers (2)
- FINISHES**
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option. **Cap, hanger arms, and strike plates are galvanized only.**
 - Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat

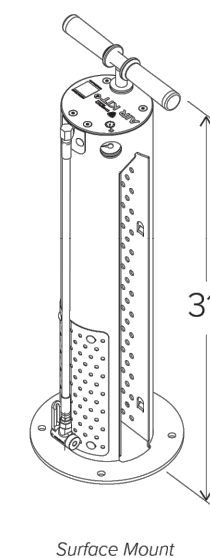
- MOUNT OPTIONS**
- Surface only**
Fixit has 10" diameter x .25" foot with four anchors per foot. Tamper-resistant fasteners are included.
- PUMP OPTIONS**
- No Pump**
 - Air Kit Prime**
 - Attached to Fixit
 - Separate
 - Air Kit 4**

- CANE STOP**
- Add Cane Stop** (Galvanized only)
- A cane-detectable attachment beneath the hanger arms is available for improved safety. (Additional cost)

BICYCLE FIX-IT (BASIS OF DESIGN)
NTS

NOTES:

COLOR SHALL BE POWDER COATED YELLOW



- MATERIALS**
- Main Body:** 6" x 1/8" tube
 - Top:** 1/2" aluminum
 - Manual air pump:** Dero made, max 100psi
 - Foot:** 1/4" steel
- FINISHES**
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
 - Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
 - Stainless**
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.
- MOUNT OPTIONS**
- Surface Only**
Surface Mount has 10" diameter x .25" flange with four anchoring holes for mounting with standard wedge anchors. Tamper-resistant fasteners are included.

BICYCLE AIR KIT (BASIS OF DESIGN)
NTS



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PROJECT

BONDURANT SILO COMMONS

BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	26-33617
FILE NAME	33617 C1-SWPPP
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	--/--
CLIENT PROJECT NO.	-

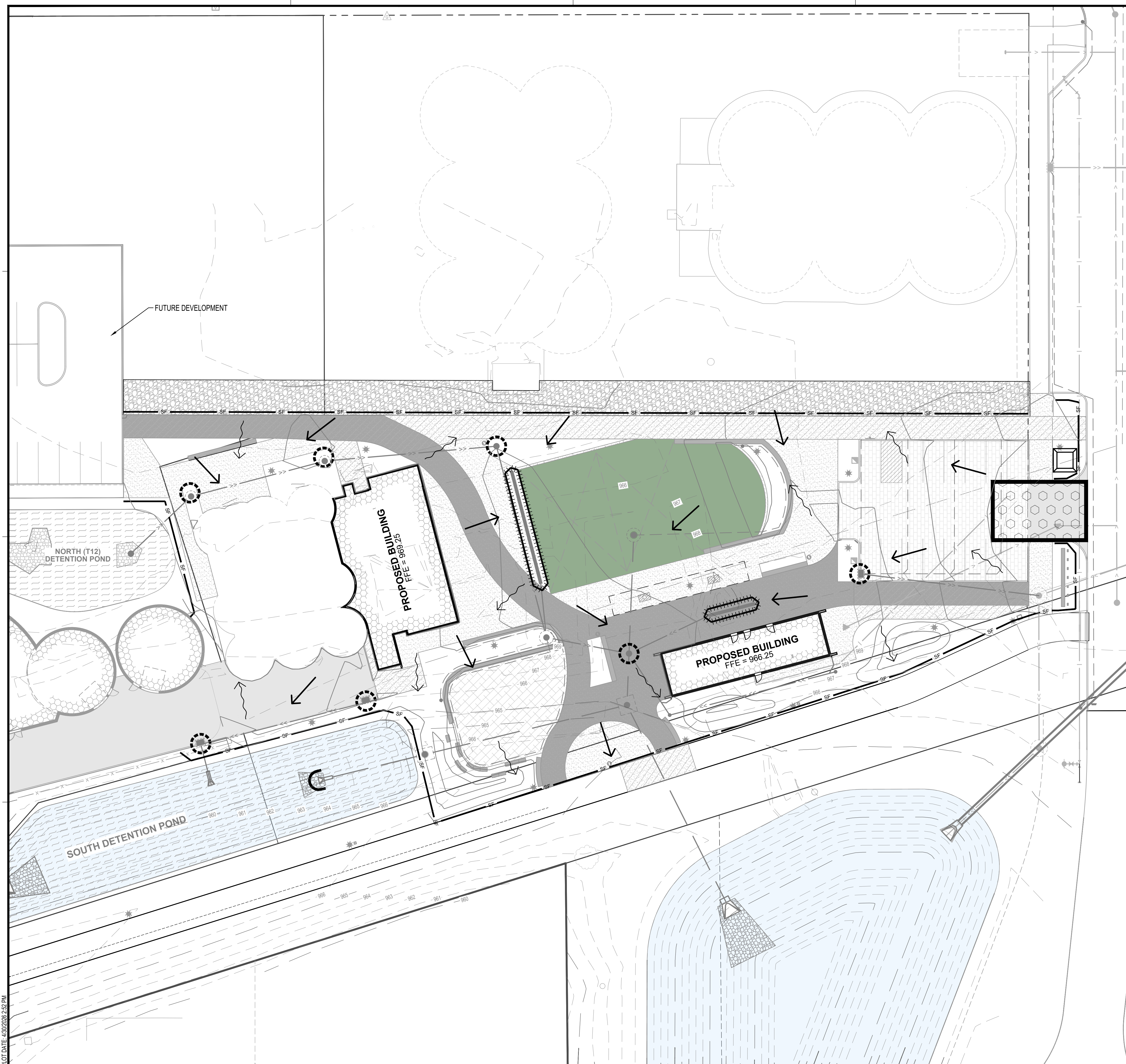
TITLE

SWPPP DETAILS

SHEET

C1-20

PRELIMINARY NOT FOR CONSTRUCTION



EROSION CONTROL LEGEND	
SYMBOL	DESCRIPTION
	RIP RAP, CLASS __
	PERIMETER CONTROL
	SILT FENCE, PREASSEMBLED
	TREE PROTECTION FENCE
	STORM DRAIN INLET PROTECTION
	WATTLE
	STABILIZED CONSTRUCTION EXIT
	ROLLED EROSION CONTROL PRODUCT (RECP), TYPE __
	TURF REINFORCEMENT MAT (TRM), TYPE __
	CONCRETE WASHOUT AREA
	EXISTING DRAINAGE ARROW
	PROPOSED DRAINAGE ARROW
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)

PERIMETER CONTROL CAN BE SILT FENCE OR WATTLE.
 SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.
 NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS PLAN INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.



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PROJECT

**BONDURANT
 SILO COMMONS**

REVISION SCHEDULE		DATE	DESCRIPTION	BY

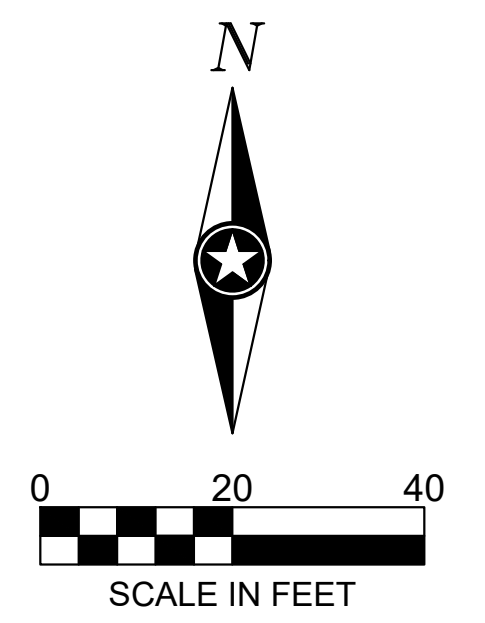
PROJECT NO. 26-33617
 FILE NAME 33817 C1-SWPPP
 DRAWN BY ---
 DESIGNED BY ---
 REVIEWED BY ---
 ORIGINAL ISSUE DATE -/-/-
 CLIENT PROJECT NO. -

TITLE

**STORMWATER
 POLLUTION
 PREVENTION PLAN**

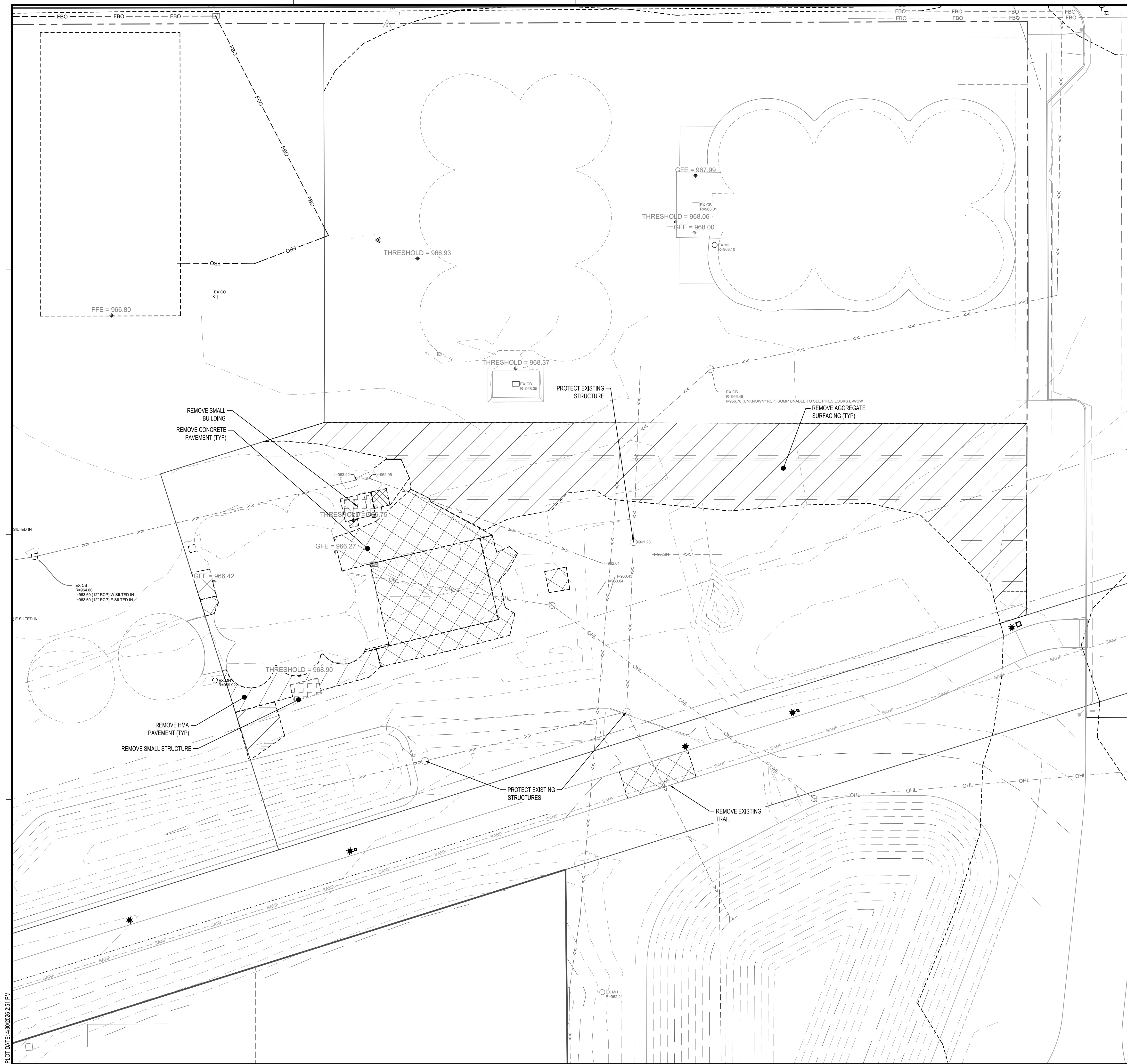
SHEET

C1-30



PLOT DATE 4/30/2024 2:52 PM

PRELIMINARY NOT FOR CONSTRUCTION



REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE AGGREGATE SURFACING
	DEMOLISH BUILDING

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.



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**BONDURANT
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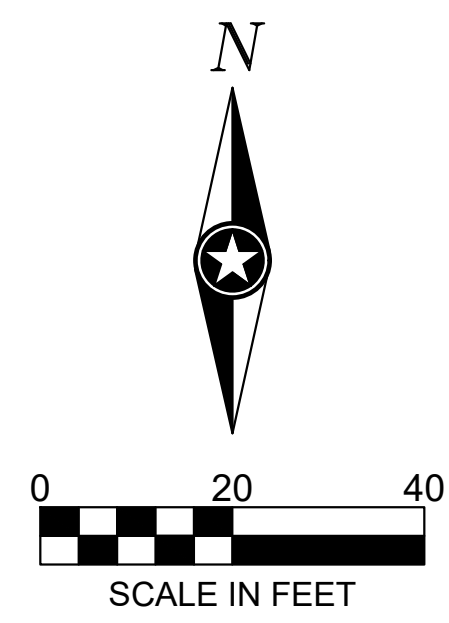
BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	26-33617
FILE NAME	33817 C2-EXIST
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	---/---/---
CLIENT PROJECT NO.	-

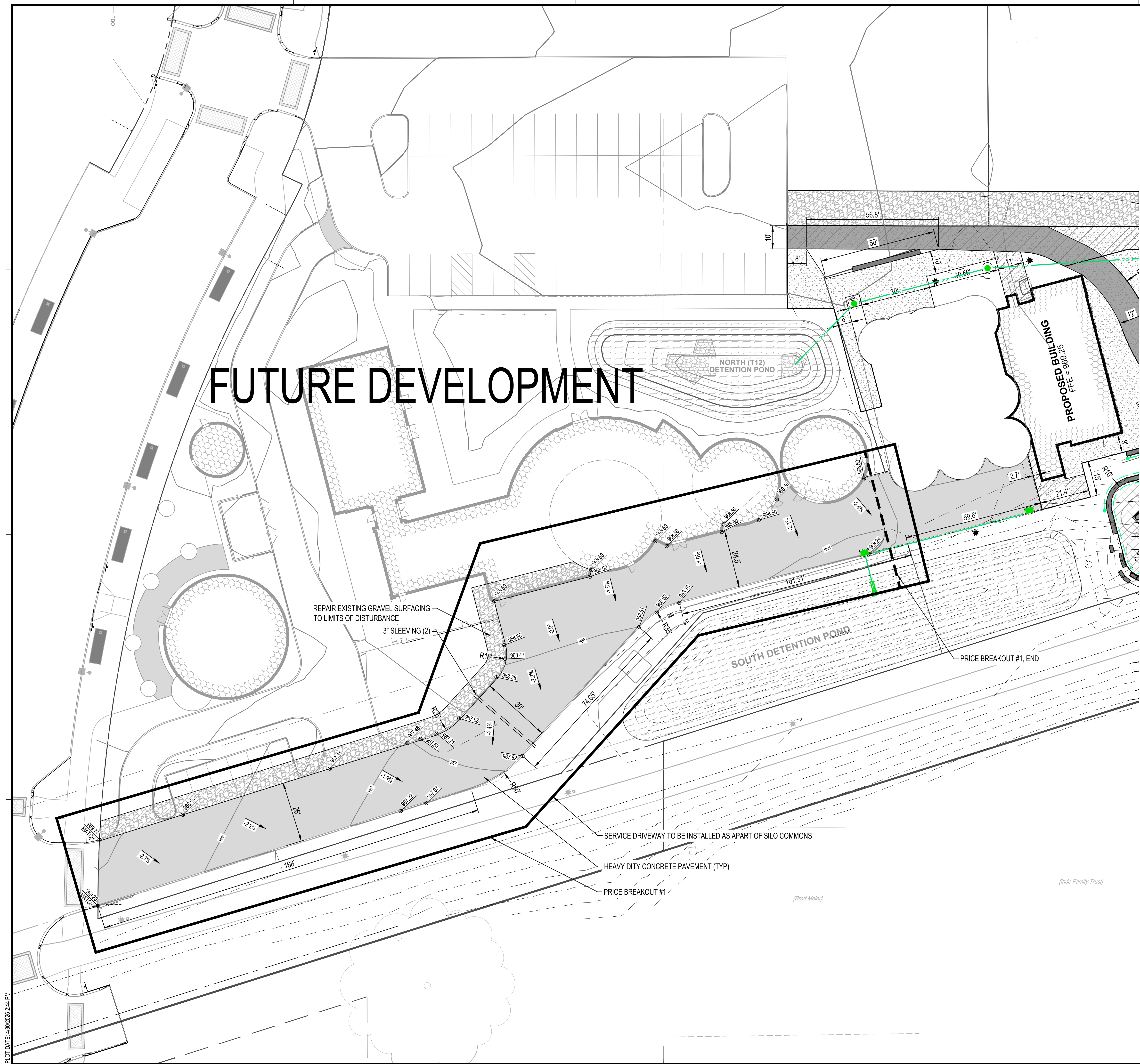
TITLE
**EXISTING SITE AND
 REMOVALS PLAN**

SHEET
C2-10



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FUTURE DEVELOPMENT

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE WALK
	HEAVY DUTY CONCRETE WALK
	DECORATIVE CONCRETE WALK
	PERMEABLE PAVERS
	POURED IN PLACE SURFACING
	SYNTHETIC TURF
	GRAVEL SURFACING



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SILO COMMONS**

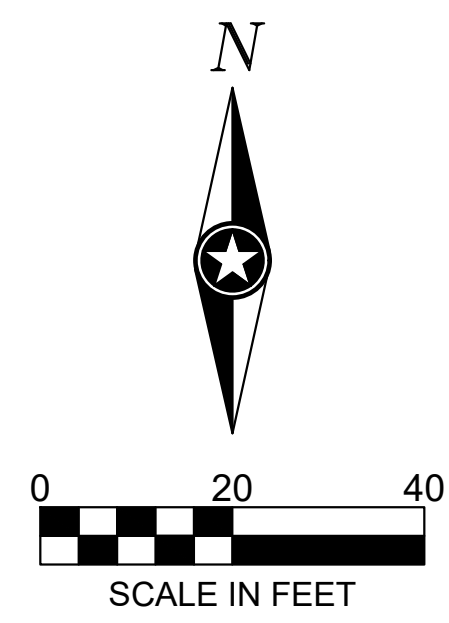
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REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 26-33617
 FILE NAME 33817 C3-SITE
 DRAWN BY ---
 DESIGNED BY ---
 REVIEWED BY ---
 ORIGINAL ISSUE DATE -/-/-
 CLIENT PROJECT NO. -

TITLE
SITE PLAN WEST

SHEET
C3-11

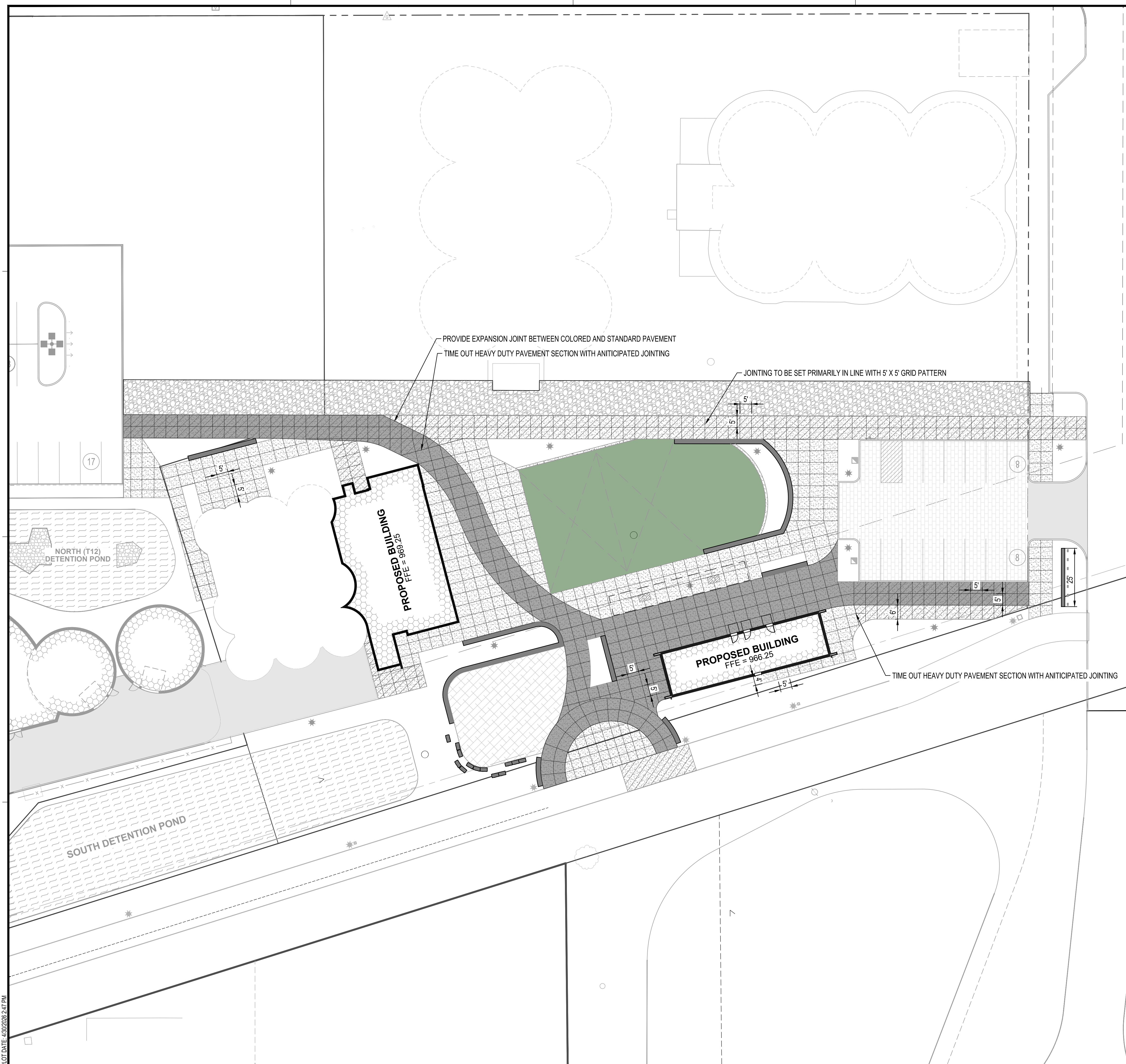


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PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE WALK
	HEAVY DUTY CONCRETE WALK
	DECORATIVE CONCRETE WALK
	PERMEABLE PAVERS
	POURED IN PLACE SURFACING
	SYNTHETIC TURF



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PROJECT
BONDURANT
SILO COMMONS

BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

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 FILE NAME 33817 C3-SITE
 DRAWN BY ---
 DESIGNED BY ---
 REVIEWED BY ---
 ORIGINAL ISSUE DATE -/-/-
 CLIENT PROJECT NO. -

TITLE
SITE PLAN
JOINTING

SHEET
C3-12

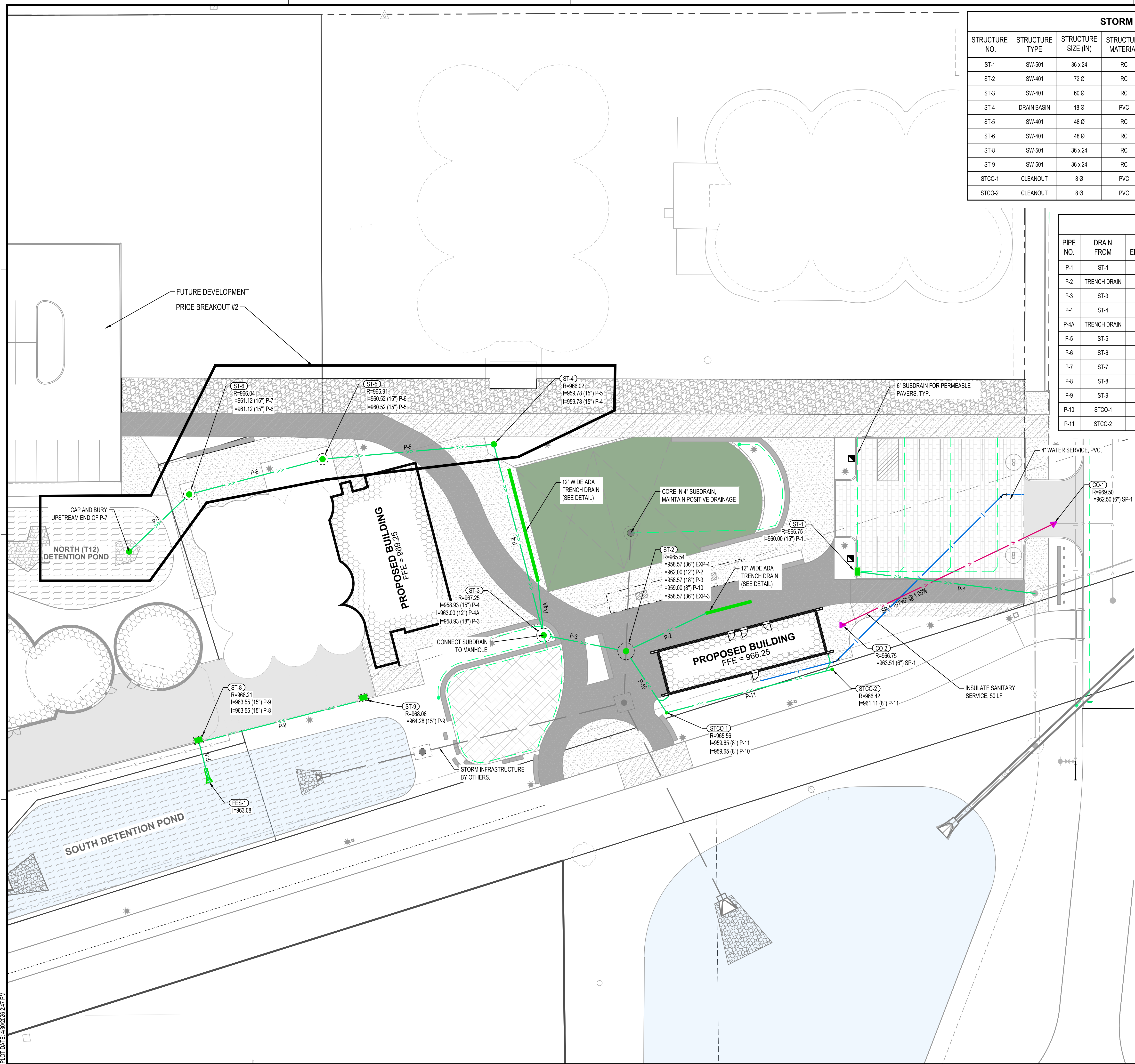
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STORM DRAIN STRUCTURE SCHEDULE								
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (IN)	STRUCTURE MATERIAL	CASTING	STRUCTURE HEIGHT (LN FT)	* TOP OF CASTING ELEVATION	OUTLET INVERT	OUTLET PIPE
ST-1	SW-501	36 x 24	RC	SW-603 TYPE R	6.75	966.75	960.00	P-1
ST-2	SW-401	72 Ø	RC	SW-604 TYPE 4B	6.97	965.54	958.57	EXP-3
ST-3	SW-401	60 Ø	RC	SW-602 TYPE E	8.32	967.25	958.93	P-3
ST-4	DRAIN BASIN	18 Ø	PVC	SOLID COVER	6.24	966.02	959.78	P-4
ST-5	SW-401	48 Ø	RC	SW-604 TYPE 4B	5.39	965.91	960.52	P-5
ST-6	SW-401	48 Ø	RC	SW-604 TYPE 4B	4.92	966.04	961.12	P-6
ST-8	SW-501	36 x 24	RC	SW-603 TYPE R	4.66	968.21	963.55	P-8
ST-9	SW-501	36 x 24	RC	SW-603 TYPE R	3.78	968.06	964.28	P-9
STCO-1	CLEANOUT	8 Ø	PVC	SEE DETAIL	5.91	965.56	959.65	P-10
STCO-2	CLEANOUT	8 Ø	PVC	SEE DETAIL	5.31	966.42	961.11	P-11

STORM DRAIN PIPE SCHEDULE									
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE (IN)	MATERIAL	PIPE CLASS	PIPE GRADE	PIPE LENGTH (FT)
P-1	ST-1	960.00	EXST-1	958.56	15	RCP	RCP	1.85%	78
P-2	TRENCH DRAIN	963.25	ST-2	962.00	12	HDPE	HDPE	3.28%	38
P-3	ST-3	958.93	ST-2	958.57	18	RCP	RCP	1.01%	36
P-4	ST-4	959.78	ST-3	958.93	15	RCP	RCP	1.00%	85
P-4A	TRENCH DRAIN	963.50	ST-3	963.00	12	HDPE	HDPE	2.14%	23
P-5	ST-5	960.52	ST-4	959.78	15	RCP	RCP	1.01%	74
P-6	ST-6	961.12	ST-5	960.52	15	RCP	RCP	1.00%	59
P-7	ST-7	961.48	ST-6	961.12	15	RCP	RCP	1.02%	36
P-8	ST-8	963.55	FES-1	963.08	15	RCP	RCP	2.64%	18
P-9	ST-9	964.28	ST-8	963.55	15	RCP	RCP	1.00%	73
P-10	STCO-1	959.65	ST-2	959.00	8	HDPE	HDPE	2.06%	32
P-11	STCO-2	961.11	STCO-1	959.65	8	HDPE	HDPE	1.99%	73



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PROJECT

**BONDURANT
SILO COMMONS**

BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

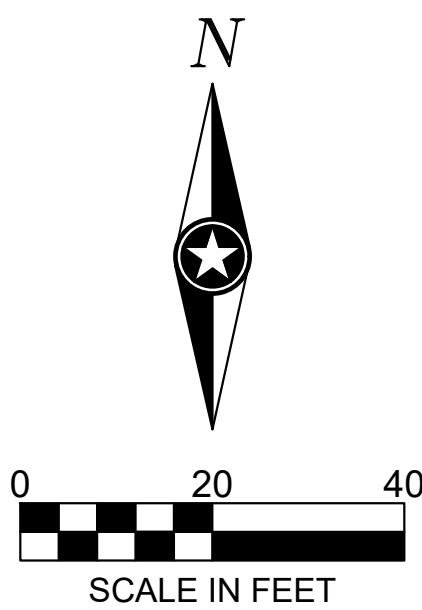
PROJECT NO.	26-33617
FILE NAME	33817 C3-UTILITY
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	---/---/---
CLIENT PROJECT NO.	---

TITLE

UTILITY PLAN

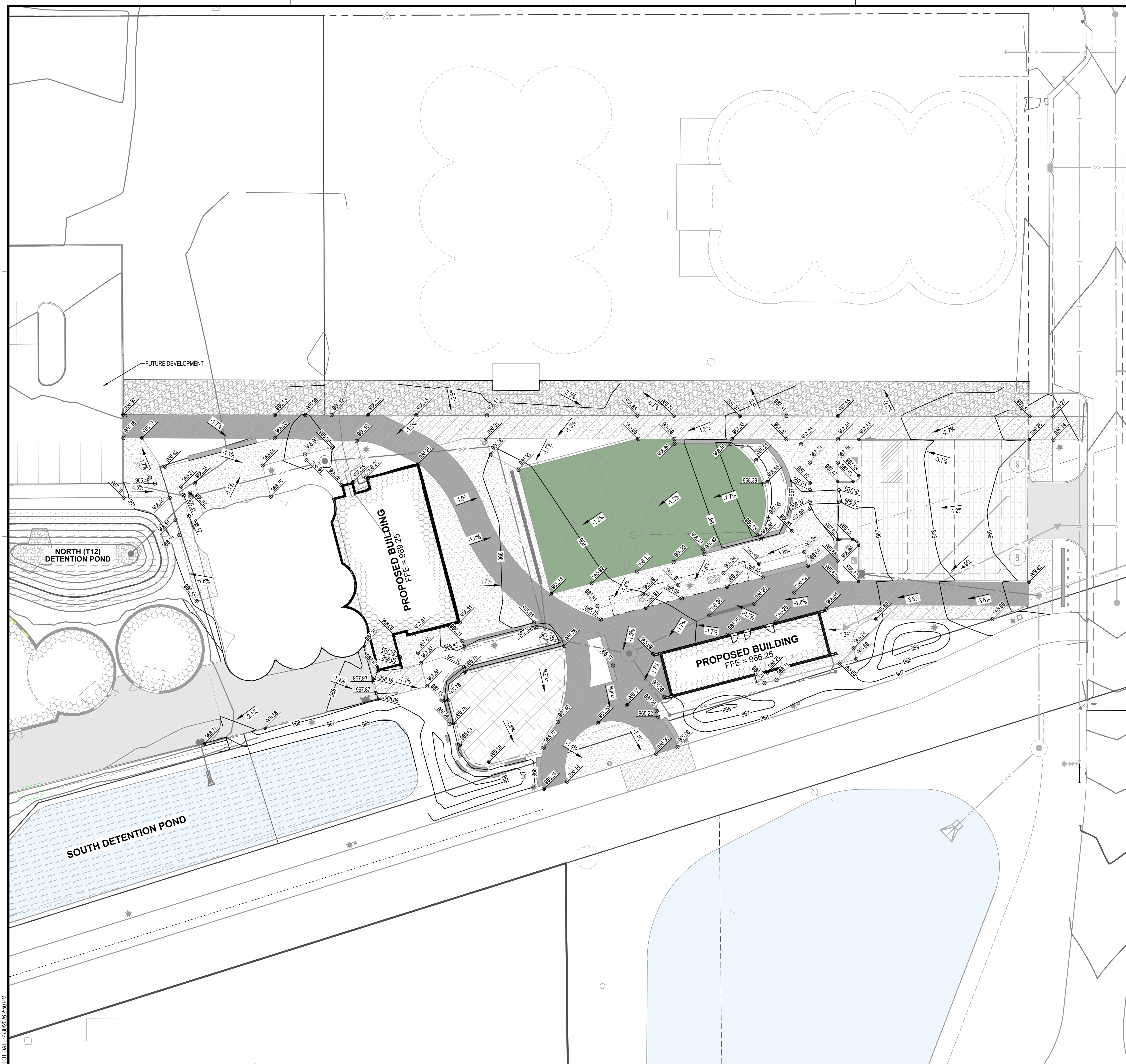
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C3-20



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GRADING LEGEND	
--- .101 ---	EXISTING CONTOUR (MINOR INTERVAL)
--- 100 ---	EXISTING CONTOUR (MAJOR INTERVAL)
— 101 —	PROPOSED CONTOUR (MINOR INTERVAL)
— 100 —	PROPOSED CONTOUR (MAJOR INTERVAL)
⊙ 966.10	PROPOSED SPOT ELEVATION
⊙ 966.10	PROPOSED TOP BACK OF CURB / TOP OF TURNDOWN WALK SPOT ELEVATION
-X.X%	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES
 PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING PADS WITH A HOLD DOWN, GRADE AREAS TO ENSURE POSITIVE BUILDING PAD DRAINAGE.



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**BONDURANT
 SILO COMMONS**

REVISION SCHEDULE	
DATE	DESCRIPTION

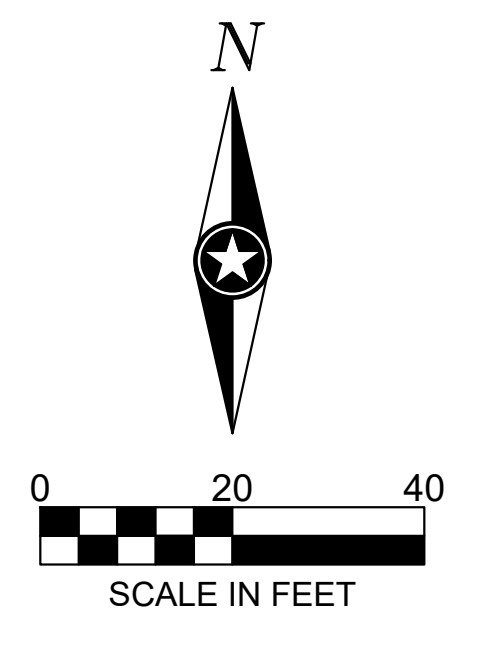
PROJECT NO. 26-33617
 FILE NAME 33817 C4-GRADE
 DRAWN BY ---
 DESIGNED BY ---
 REVIEWED BY ---
 ORIGINAL ISSUE DATE -/-/-
 CLIENT PROJECT NO. -

TITLE

GRADING PLAN

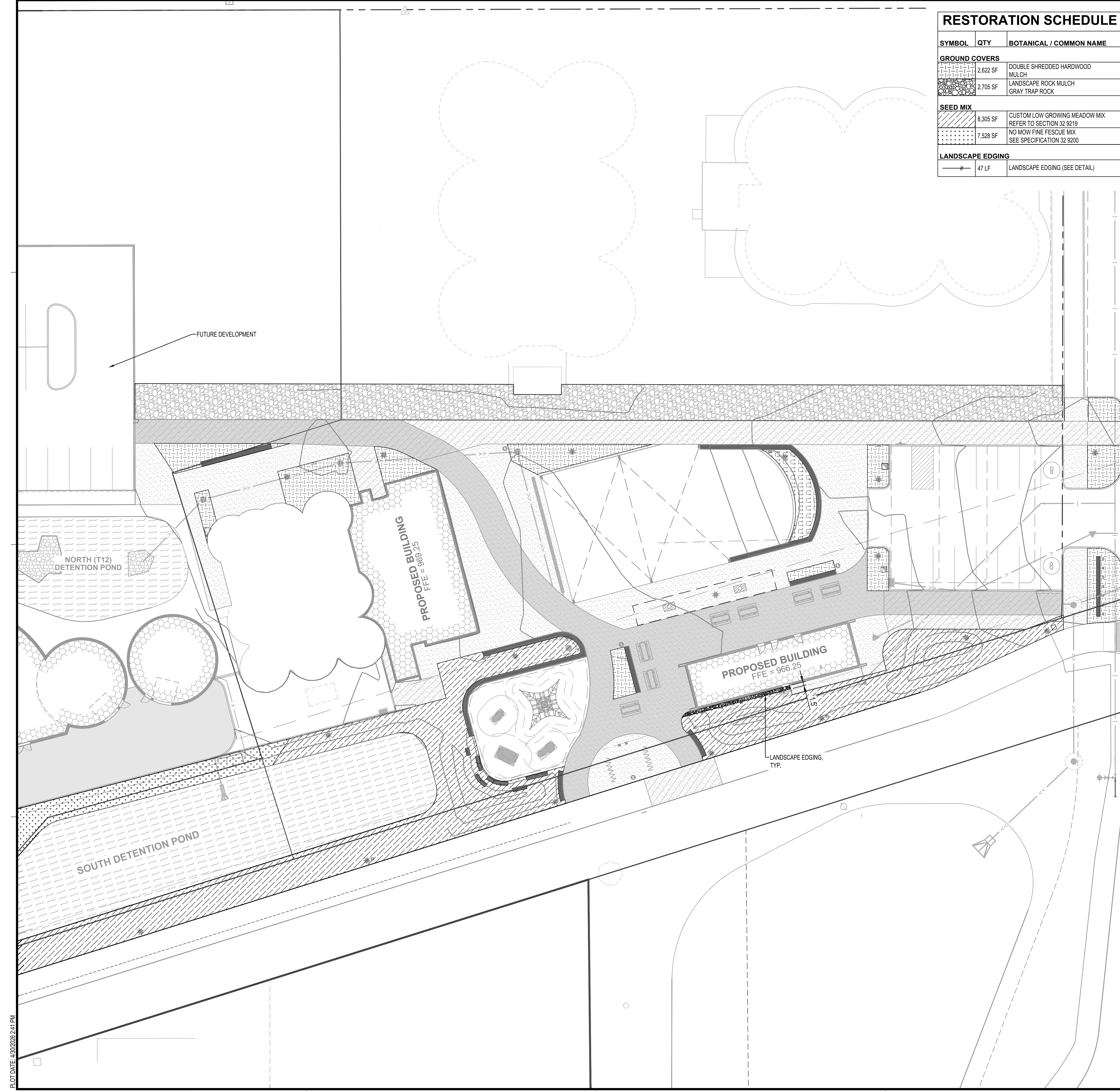
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C4-10



PLOT DATE 4/30/2024 2:50 PM

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RESTORATION SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME
GROUND COVERS		
[Hatched Pattern]	2,622 SF	DOUBLE SHREDDED HARDWOOD MULCH
[Dotted Pattern]	2,705 SF	LANDSCAPE ROCK MULCH GRAY TRAP ROCK
SEED MIX		
[Diagonal Hatched Pattern]	8,305 SF	CUSTOM LOW GROWING MEADOW MIX REFER TO SECTION 32 9219
[Dotted Pattern]	7,528 SF	NO MOW FINE FESCUE MIX SEE SPECIFICATION 32 9200
LANDSCAPE EDGING		
[Line Symbol]	47 LF	LANDSCAPE EDGING (SEE DETAIL)

SITE RESTORATION NOTES

- PART 1: SEED MIXES**
 1. ALL AREAS INDICATED ON PLAN SHALL BE SEEDED WITH THOSE SEED MIXES LISTED IN SPEC SECTION 32-9219 OR APPROVED EQUAL.
- PART 2: SITE PREPARATION**
 1. THE CONTRACTOR SHALL ASSESS THE SITE FOR THREATS TO SEED RESTORATION. THREATS, INCLUDING WEEDS, UNDESIRABLE AND NON-NATIVE SPECIES OF TREES, SHRUBS, VINES, AND HERBACEOUS PLANTS, SHALL BE MINIMIZED THROUGHOUT THE GROWING SEASON IN PREPARATION FOR FALL SEEDING.
 2. SITE PREPARATION METHODOLOGY MAY VARY DEPENDING ON THE PLANTS SPECIES PRESENT ON SITE, LAND USE HISTORY, AND SITE CONDITIONS. THE CONTRACTOR SHALL PERFORM ADAPTIVE WEED MANAGEMENT DEPENDENT ON EXISTING THREATS IDENTIFIED IN THE SITE ASSESSMENT. THE CONTRACTOR SHALL MANAGE BROADLEAF WEEDS BY MECHANICAL REMOVAL OR WITH UP TO 3 APPLICATIONS OF BROADLEAF HERBICIDE SUCH AS 2,4-D. IF NECESSARY, SPRAY EVERY 6-8 WEEKS STARTING IN LATE MAY/EARLY JUNE. GLYPHOSATE IS NOT RECOMMENDED AS IT WILL KILL THE TEMPORARY SEED MIX. THE CONTRACTOR SHALL NOT USE PRE-EMERGENT HERBICIDES. THE CONTRACTOR SHALL MANAGE GRASS WEEDS VIA MOWING, WHERE MOWING OCCURS WHEN PLANTS ARE NO MORE THAN 8 INCHES TALL THROUGHOUT THE GROWING SEASON. THE CONTRACTOR SHALL COLLECT AND COMPOST GRASS CLIPPINGS OFF SITE.
 3. THE CONTRACTOR SHALL APPLY ALL HERBICIDES IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS AND MANUFACTURER'S INSTRUCTIONS.
 4. THE CONTRACTOR SHALL NOT APPLY HERBICIDES DURING OR WITHIN 72 HOURS OF A RAIN EVENT OR WHEN WIND VELOCITIES EXCEED 5 MILES PER HOUR.
- PART 3: SEEDBED PREPARATION**
 1. CONSTRUCTION AND GRADING ACTIVITIES CAN COMPACT THE SOIL. PRIOR TO SEEDING, THE CONTRACTOR SHALL INSPECT SOIL FOR COMPACTION.
 2. ANY COMPACTED AREAS MUST BE REMEDIATED TO PROVIDE A LOOSE, SMOOTH, EVENLY TEXTURED SEEDBED. USE CULTIVATING EQUIPMENT LIKE A DISC AND HARROW, ON SLOPES, OPERATE EQUIPMENT AT RIGHT ANGLES TO THE DIRECTION OF SURFACE DRAINAGE.
 3. THE DISC SHALL NOT INVERT THE SOIL. AVOID SOIL INVERSION AND TILLING TO PRESERVE SOIL BIOLOGY AND PREVENT EMERGENCE OF WEED SEEDS. SOIL DISTURBANCE SHALL NOT EXCEED 2 INCH DEPTH.
 4. IN AREAS WHERE NO COMPACTION OCCURRED, THE CONTRACTOR SHALL TREAT REMAINING VEGETATION WITH GLYPHOSATE AND 2,4-D HERBICIDES TO KILL REMAINING VEGETATION IN SEPTEMBER, AT LEAST 1 MONTH PRIOR TO FALL SEEDING.
- PART 4: SOIL AMENDMENTS**
 1. IN ALL AREAS DESIGNATED AS SEEDBED ESTABLISHMENT, WHERE AGGREGATE SURFACING (EG. GRAVEL, CRUSHED ROCK, OR COMPACTED BASE) EXISTS, THE ENTIRE AGGREGATE SECTION SHALL BE REMOVED IN FULL. EXCAVATION SHALL EXTEND TO THE DEPTH NECESSARY TO ELIMINATE ALL AGGREGATE MATERIAL AND PROVIDE ADEQUATE DEPTH FOR TURF AND SEED ROOT GROWTH. REMOVED MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE. REPLACE WITH TOPSOIL PER SECTION 4.
 2. ALL OTHER SEEDBED AREAS NOT CONTAMINATED ARE TO BE AMENDED WITH COMPOST AS NEEDED TO ACHIEVE MINIMUM STANDARDS.
 3. IN ALL AREAS DESIGNATED AS PLANTING BED, WHERE AGGREGATE SURFACING (EG. GRAVEL, CRUSHED ROCK, OR COMPACTED BASE) EXISTS, THE ENTIRE AGGREGATE SECTION SHALL BE REMOVED IN FULL. EXCAVATION SHALL EXTEND TO THE DEPTH NECESSARY TO ELIMINATE ALL AGGREGATE MATERIAL TO A MINIMUM DEPTH OF 18" WHICHEVER IS GREATER. REMOVED MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE. REPLACE WITH AMENDED PLANTING SOIL.
 4. TOPSOIL: FERTILE, AGRICULTURAL SOIL, TYPICAL FOR LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, TAKEN FROM DRAINED SITE, FREE OF SUBSOIL, CLAY OR IMPURITIES, PLANTS, WEEDS AND ROOTS
 4.1. TOPSOIL SHALL HAVE A MINIMUM PH VALUE OF 5.5 AND MAXIMUM 8.0.
 4.2. SOIL ORGANIC MATTER SHALL BE A MINIMUM OF 3%. A COMPOST AMENDMENT SHALL BE ADDED TO ACHIEVE SOIL ORGANIC AMENDMENT THRESHOLD IF NEEDED.
 5. PLANTING SOIL
 5.1. PLANTING SOIL SHALL CONSIST OF 33% SAND, 33% COMPOST, 33% TOPSOIL
- PART 5: SEEDING METHODOLOGY**
 1. THE CONTRACTOR SHALL SOW SEED IN SPRING OR FALL SEEDING: SPRING SEEDING (APRIL 15TH - JULY 1ST), FALL SEEDING: OCTOBER 1 - NOVEMBER 30, AFTER A HARD FROST HAS OCCURRED. SUMMER SEEDING (JULY - SEPTEMBER) IS NOT PERMITTED.
 2. THE CONTRACTOR SHALL SEED AFTER ALL GRADING, CONSTRUCTION, AND SITE PREPARATION ACTIVITIES ARE COMPLETED. THE CONTRACTOR MUST WAIT THREE (3) DAYS AFTER GLYPHOSATE APPLICATION TO SEED NATIVE SPECIES. IF OTHER HERBICIDES HAVE BEEN USED ON SITE, CONSULT THE MANUFACTURER'S RECOMMENDATION FOR SAFE RE-ENTRY PERIOD PRIOR TO SEEDING. SOME HERBICIDES CAN STAY IN THE SOIL FOR MONTHS AND HINDER THE GERMINATION OF NATIVE PLANTS.
 3. THE CONTRACTOR SHALL BROADCAST OR DRILL SEED.
 4. HAND OR MECHANICAL BROADCASTING - BEST FOR SMALL SITES (LESS THAN 1 ACRE) OR AREAS WHERE LARGE EQUIPMENT (TRACTORS, DRILLS, ETC) CANNOT BE USED. THIS METHOD REQUIRES A CARRIER OR FILLER MATERIAL (DAMP SAWDUST, PEAT MOSS, PERLITE, VERMICULITE, CRACKED CORN, PARBOILED RICE HULLS, ETC) TO EVENLY DISTRIBUTE DIFFERENT SIZED SEED. CONSULT ARCHITECT / OWNER'S REPRESENTATIVE FOR FURTHER INFORMATION ON SEED CARRIERS IF NEEDED. THE CONTRACTOR SHALL ENSURE AN EVEN DISTRIBUTION OF SEED ACROSS THE SITE.
 5. DRILLING WITH A NATIVE SEED DRILL - BEST FOR LARGE (>1 ACRE), RELATIVELY FLAT SITES. PLANTING DEPTH SHALL BE 1/4" - 1/2". THE DRILL SHALL ACCURATELY METER THE TYPES OF SEED TO BE PLANTED AND KEEP ALL SEEDS UNIFORMLY MIXED DURING THE DRILLING. THE DRILL SHALL CONTAIN A MINIMUM OF TWO SEED BOXES: A SMALL SEED BOX FOR FINE SEED AND ANOTHER SEED BOX FOR LARGE/FLUFFY SEEDS. THE DRILL SHALL BE EQUIPPED WITH DISC FURROW OPENERS AND PACKER ASSEMBLY TO COMPACT THE SOIL DIRECTLY OVER THE DRILL ROWS. MAXIMUM ROW SPACING SHALL BE 8 INCHES. SMALL SEED SHALL BE DROP-SEEDED ONTO THE GROUND SURFACE FROM THE FINE SEED BOX. DRILL SEEDING SHALL BE DONE AT A RIGHT ANGLE TO SURFACE DRAINAGE IF POSSIBLE. A FILLER OR CARRIER MATERIAL (DAMP SAWDUST, PEAT MOSS, PERLITE, VERMICULITE, CRACKED CORN, PARBOILED RICE HULLS, ETC) MAY BE USED TO FACILITATE PROPER SEED METERING.
 5.1. SEED BOX 1: SMALL FLOWABLE SEED = MOST WILDFLOWER SPECIES + SOME SEDGES + RUSHES.
 5.2. SEED BOX 2: LARGE FLOWABLE SEED = COVER CROP + SOME WILDFLOWER SPECIES + SOME GRASS (DEPENDING ON TO WHAT DEGREE THE SEED WAS CLEANED)
 5.3. SEED BOX 3: FLUFFY NON-FLOWABLE SEED = GRASSES + SOME WILDFLOWER SEEDS (DEPENDING ON TO WHAT DEGREE THE SEED WAS CLEANED)
 6. THE CONTRACTOR IS RESPONSIBLE FOR CALIBRATING EQUIPMENT TO DELIVER SEED AT THE SPECIFIED RATE AND TO OPERATE EQUIPMENT IN A MANNER NECESSARY TO EVENLY DISTRIBUTE THE SEEDS OVER THE SPECIFIED AREA AT THE SPECIFIED RATE.
 7. SEEDED AREAS MAY HAVE ONE PASS WITH A ROLLER OR CULTIPACKER TO FIRM THE SOIL AND ENSURE SEED-TO-SOIL CONTACT.



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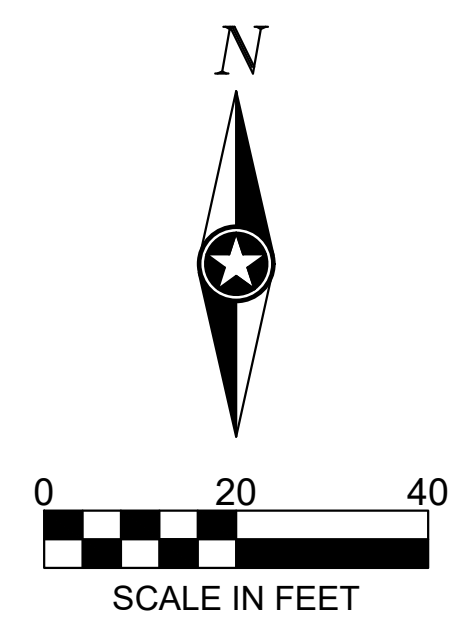
PROJECT
BONDURANT
SILO COMMONS

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 26-33617
 FILE NAME 33817 CS-LAND
 DRAWN BY ---
 DESIGNED BY ---
 REVIEWED BY ---
 ORIGINAL ISSUE DATE --/--/--
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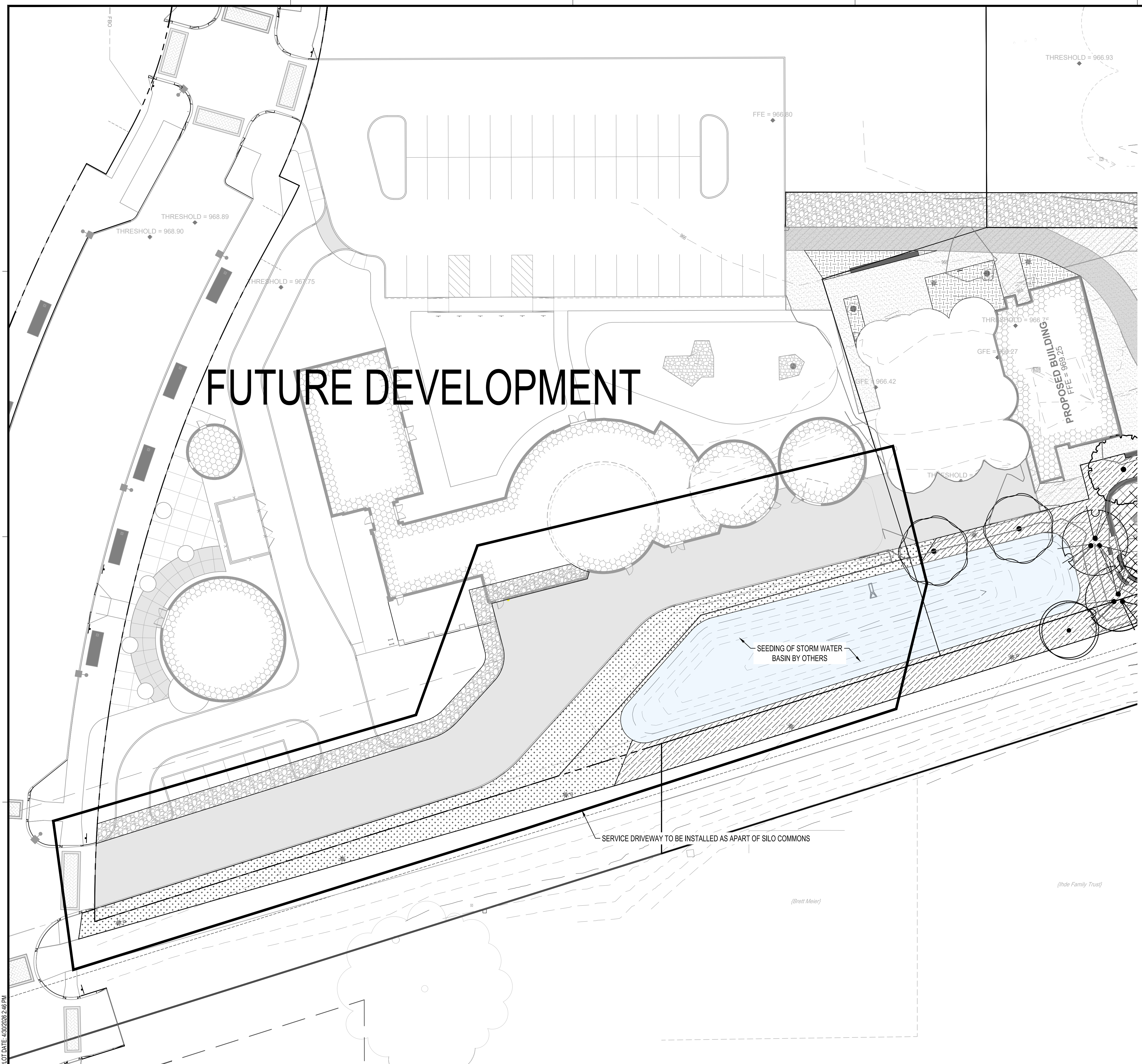
TITLE
RESTORATION
PLAN

SHEET
C5-10



PLOT DATE: 4/30/2024 2:41 PM

PRELIMINARY NOT FOR CONSTRUCTION



FUTURE DEVELOPMENT

SEEDING OF STORM WATER
BASIN BY OTHERS

SERVICE DRIVEWAY TO BE INSTALLED AS APART OF SILO COMMONS

PROPOSED BUILDING

RESTORATION SCHEDULE		
SYMBOL	QTY	BOTANICAL / COMMON NAME
GROUND COVERS		
[Symbol]	2,622 SF	DOUBLE SHREDED HARDWOOD MULCH
[Symbol]	2,705 SF	LANDSCAPE ROCK MULCH GRAY TRAP ROCK
SEED MIX		
[Symbol]	8,305 SF	CUSTOM LOW GROWING MEADOW MIX REFER TO SECTION 32 9219
[Symbol]	7,526 SF	NO MOW FINE FESCUE MIX SEE SPECIFICATION 32 9200
LANDSCAPE EDGING		
[Symbol]	47 LF	LANDSCAPE EDGING (SEE DETAIL)

NOTE: REFER TO SHEET C5-10 FOR SITE RESTORATION NOTES.



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PROJECT

**BONDURANT
SILO COMMONS**

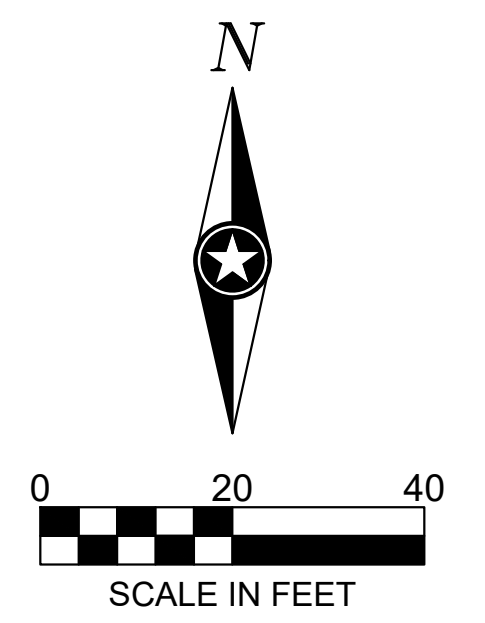
BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

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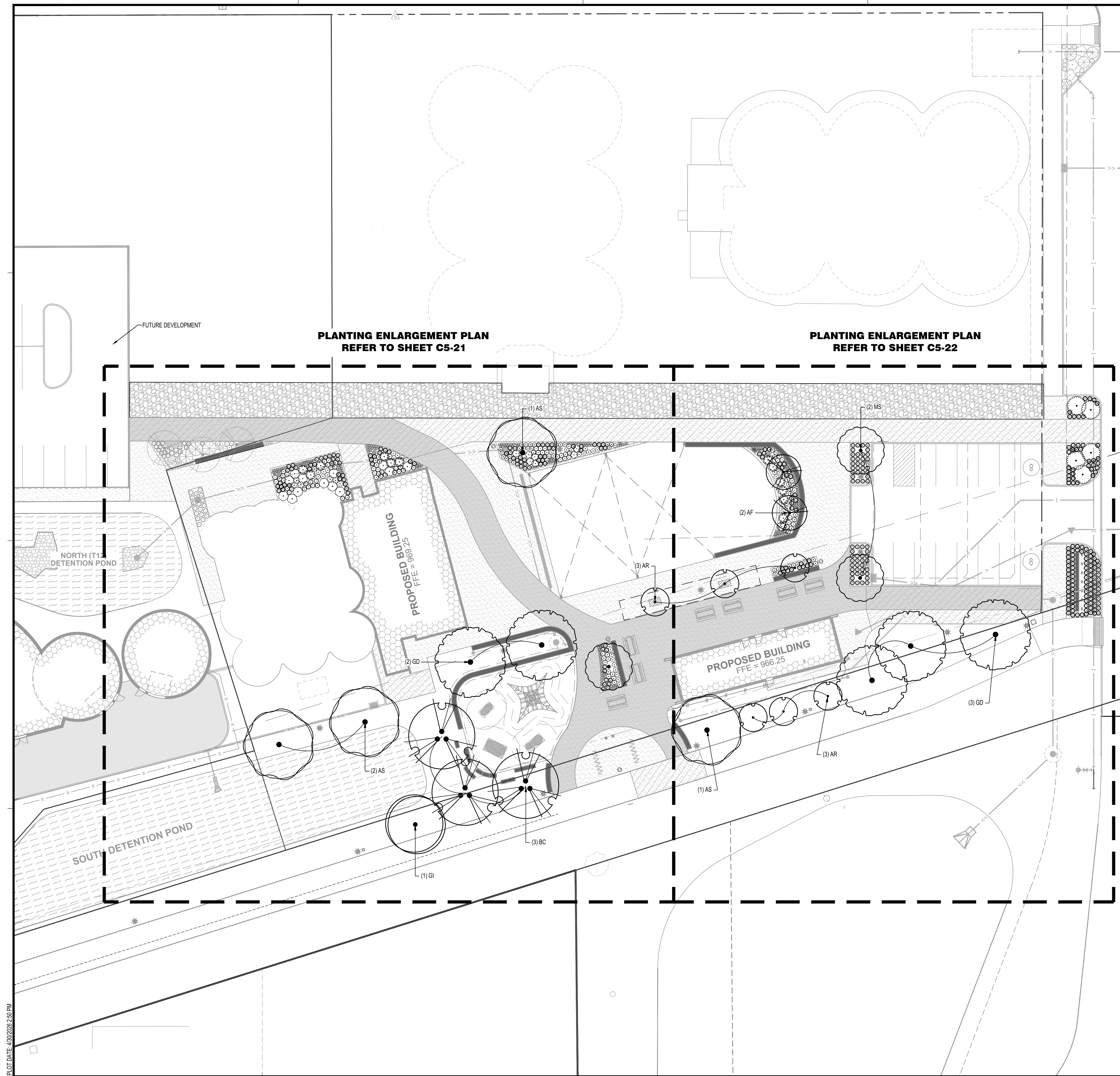
TITLE
**RESTORATION
PLAN WEST**

SHEET
C5-11



PLOT DATE: 11/01/24 2:46 PM

PRELIMINARY NOT FOR CONSTRUCTION



PLANTING ENLARGEMENT PLAN
REFER TO SHEET C5-21

PLANTING ENLARGEMENT PLAN
REFER TO SHEET C5-22

MASTER PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
DECIDUOUS TREES					
	AR	6	ACER RUBRUM 'JFS-KW78' ARMSTRONG GOLD® MAPLE	2.5" CAL	B & B
	AS	4	ACER X FREEMANII 'SIENNA' PP11.322 SIENNA GLEN® MAPLE	2.5" CAL	B & B
	BC	3	BETULA NIGRA 'CULLY' HERITAGE® RIVER BIRCH (MULTI-TRUNK)	6' HT MIN	B & B
	GI	1	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' SKYLINE® HONEY LOCUST	2.5" CAL	B & B
	GD	5	GYMNOCALADUS DIOICUS 'ESPRESSO-JFS' ESPRESSO KENTUCKY COFFEE TREE	2.5" CAL	B & B
ORNAMENTAL TREES					
	AF	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE SERVICEBERRY	8' HT MIN	B & B
	MS	3	MALUS X 'SPRING SNOW' SPRING SNOW CRABAPPLE	2" CAL	B & B
SHRUBS					
	CG	6	CORNUS STOLONIFERA 'FARROW' ARCTIC FIRE® RED TWIG DOGWOOD	3 GAL	CONT
	HB	13	HYDRANGEA PANICULATA 'LVOBO' BOBO® PANICLE HYDRANGEA	3 GAL	CONT
	RG	5	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	3 GAL	CONT
PERENNIALS					
	AP	46	ASTER NOVAE-ANGLIAE 'PURPLE DOME' PURPLE DOME NEW ENGLAND ASTER	1 GAL	CONT
	BA	7	BAPTISIA AUSTRALIS BLUE WILD INDIGO	1 GAL	CONT
	CI	32	CAREX MORROWII 'ICE DANCE' ICE DANCE JAPANESE SEDGE	1 GAL	CONT
	CM	126	CAREX MUSKINGUMENSIS PALM SEDGE	1 GAL	CONT
	CP	198	CAREX PENNSYLVANICA PENNSYLVANIA SEDGE	6"	PLUG
	DT	32	DESCHAMPSIA CESPITOSA TUFTED HAIR GRASS	1 GAL	CONT
	EM	24	ECHINACEA PURPUREA 'MAGNUS' MAGNUS PURPLE CONEFLOWER	1 GAL	CONT
	MD	6	MONARDA DIDYMA BEE BALM	1 GAL	CONT
	PA	7	PEROVSKIA ATRIPLICIFOLIA 'BLUE JEAN BABY' PP #29.281 BLUE JEAN BABY RUSSIAN SAGE	1 GAL	CONT
	RH	10	RUDBECKIA HIRTA BLACK-EYED SUSAN	1 GAL	CONT
	SS	21	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' STANDING OVATION LITTLE BLUESTEM	1 GAL	CONT
	SH	183	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED	6"	PLUG



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PROJECT

**BONDURANT
SILO COMMONS**

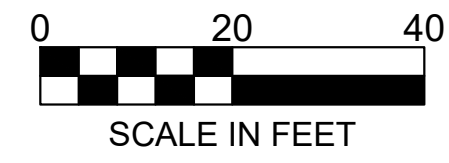
BONDURANT IOWA

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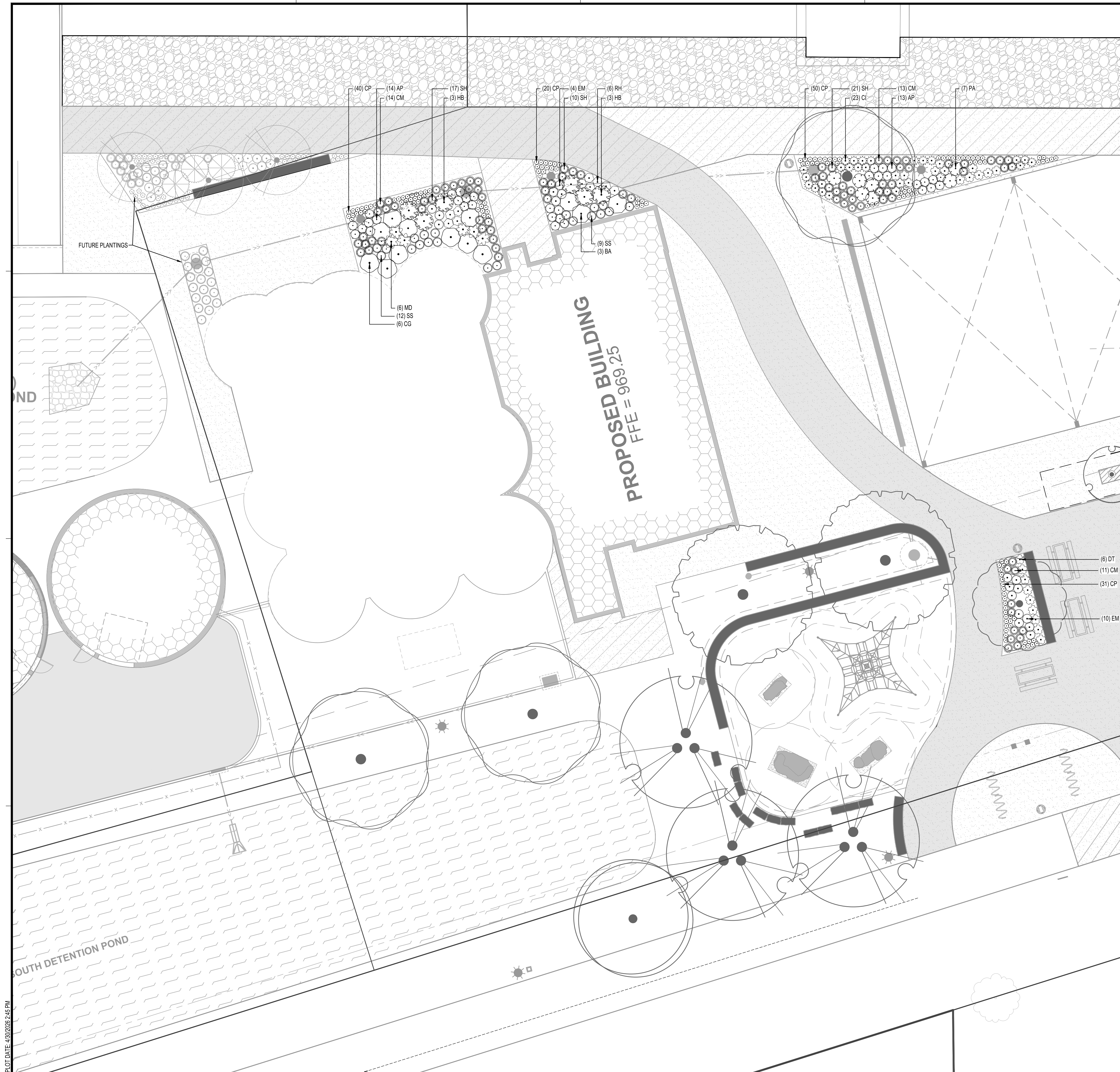
**OVERALL
PLANTING PLAN**

SHEET
C5-20



PLOT DATE: 4/30/2024 2:50 PM

PRELIMINARY NOT FOR CONSTRUCTION



PLANT SCHEDULE ENLG 01

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
SHRUBS					
CG	6	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	3 GAL	CONT
HB	6	HYDRANGEA PANICULATA 'L'VOBO'	BOBO® PANICLE HYDRANGEA	3 GAL	CONT
PERENNIALS					
AP	32	ASTER NOVAE-ANGLIAE 'PURPLE DOME'	PURPLE DOME NEW ENGLAND ASTER	1 GAL	CONT
BA	7	BAPTISIA AUSTRALIS	BLUE WILD INDIGO	1 GAL	CONT
CI	23	CAREX MORROWII 'ICE DANCE'	ICE DANCE JAPANESE SEDGE	1 GAL	CONT
CM	38	CAREX MUSKINGUMENSIS	PALM SEDGE	1 GAL	CONT
CP	141	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	6"	PLUG
DT	23	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	CONT
EM	17	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	1 GAL	CONT
MD	6	MONARDA DIDYMA	BEE BALM	1 GAL	CONT
PA	7	PEROVSKIA ATRIPLICIFOLIA 'BLUE JEAN BABY' PP	#29,281 BLUE JEAN BABY RUSSIAN SAGE	1 GAL	CONT
RH	10	RUDBECKIA HIRTA	BLACK-EYED SUSAN	1 GAL	CONT
SS	21	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM	1 GAL	CONT
SH	48	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	6"	PLUG

NOTE: PLANTING SCHEDULE IS FOR THIS SHEET ONLY. REFER TO MASTER SCHEDULE ON SHEET C5-20 FOR PROJECT TOTALS.



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PROJECT

**BONDURANT
SILO COMMONS**

BONDURANT IOWA

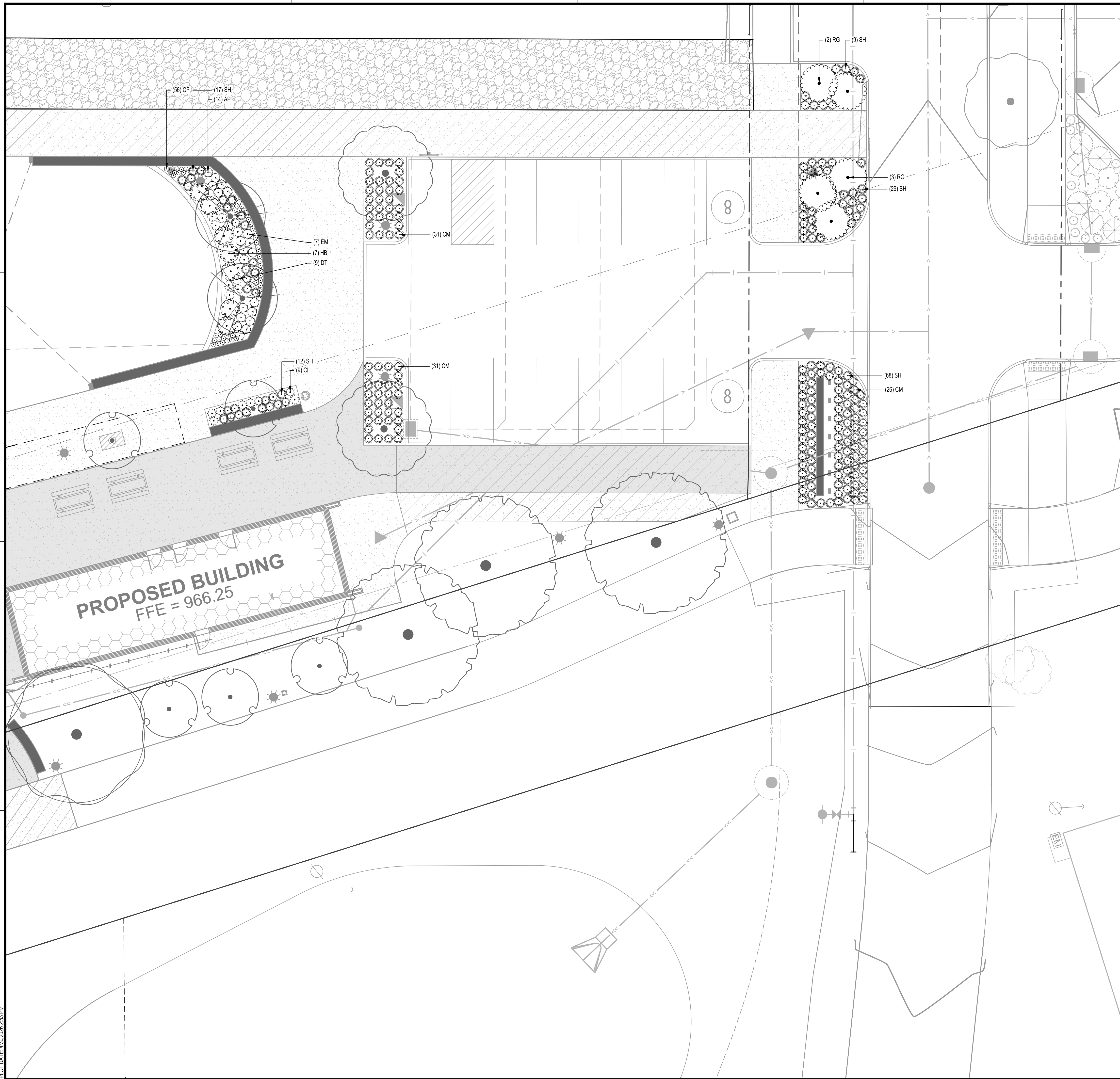
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TITLE
**PLANTING PLAN
ENLARGEMENT
WEST**

SHEET
C5-21





PLANT SCHEDULE ENLG 02

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
SHRUBS					
	HB	7	HYDRANGEA PANICULATA 'LVOBO' BOBO® PANICLE HYDRANGEA	3 GAL	CONT
	RG	5	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	3 GAL	CONT
PERENNIALS					
	AP	14	ASTER NOVAE-ANGLIAE 'PURPLE DOME' PURPLE DOME NEW ENGLAND ASTER	1 GAL	CONT
	CI	9	CAREX MORROWII 'ICE DANCE' ICE DANCE JAPANESE SEDGE	1 GAL	CONT
	CM	88	CAREX MUSKINGUMENSIS PALM SEDGE	1 GAL	CONT
	CP	56	CAREX PENNSYLVANICA PENNSYLVANIA SEDGE	6"	PLUG
	DT	9	DESCHAMPSIA CESPITOSA TUFTED HAIR GRASS	1 GAL	CONT
	EM	7	ECHINACEA PURPUREA 'MAGNUS' MAGNUS PURPLE CONEFLOWER	1 GAL	CONT
	SH	135	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED	6"	PLUG

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PROJECT

**BONDURANT
SILO COMMONS**

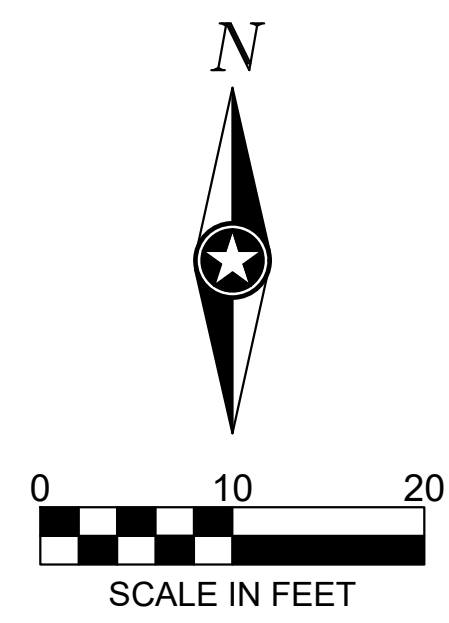
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TITLE
**PLANTING PLAN
ENLARGEMENT
EAST**

SHEET
C5-22



PLOT DATE: 4/30/2024 2:55 PM

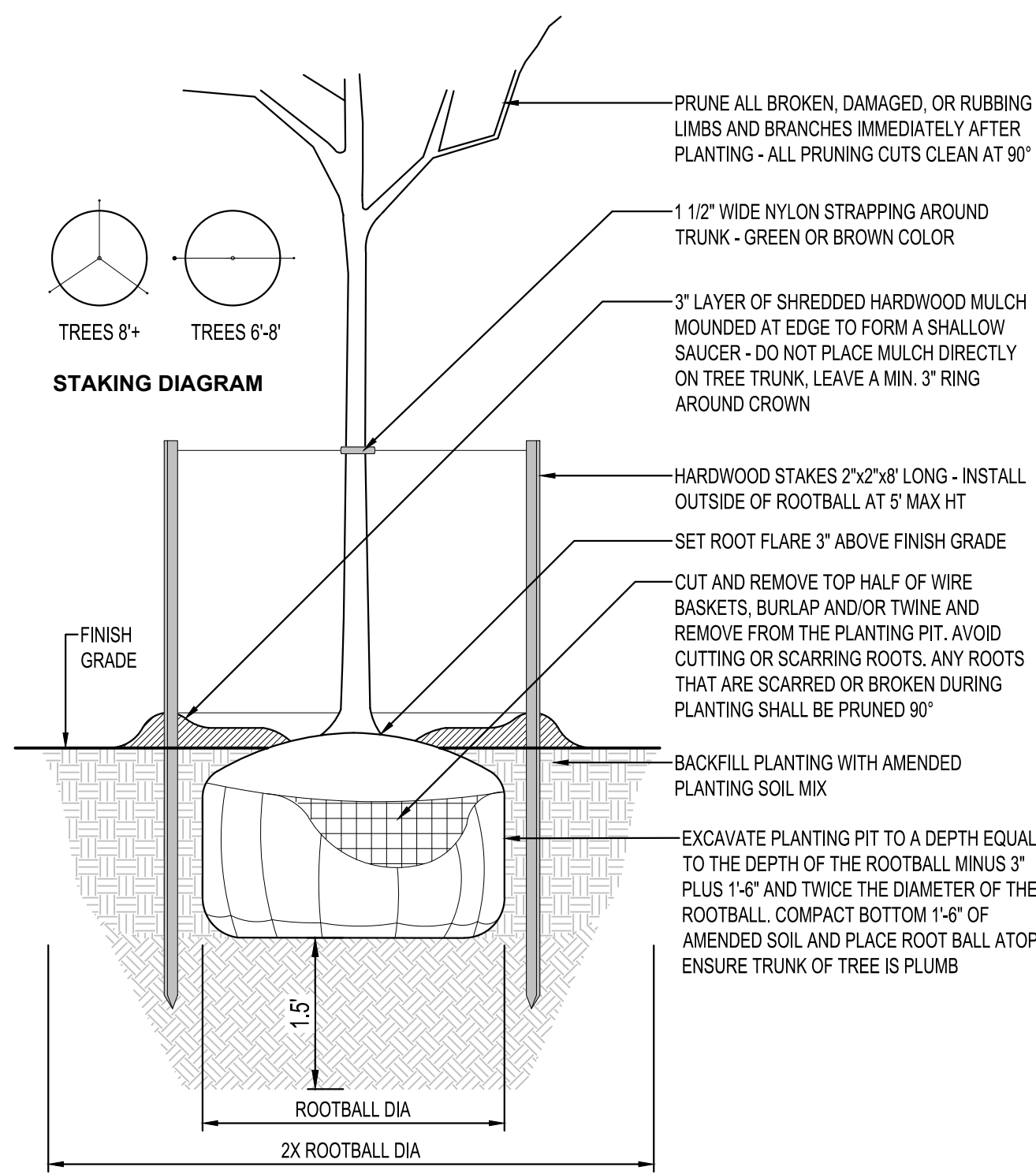
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PLANTING NOTES

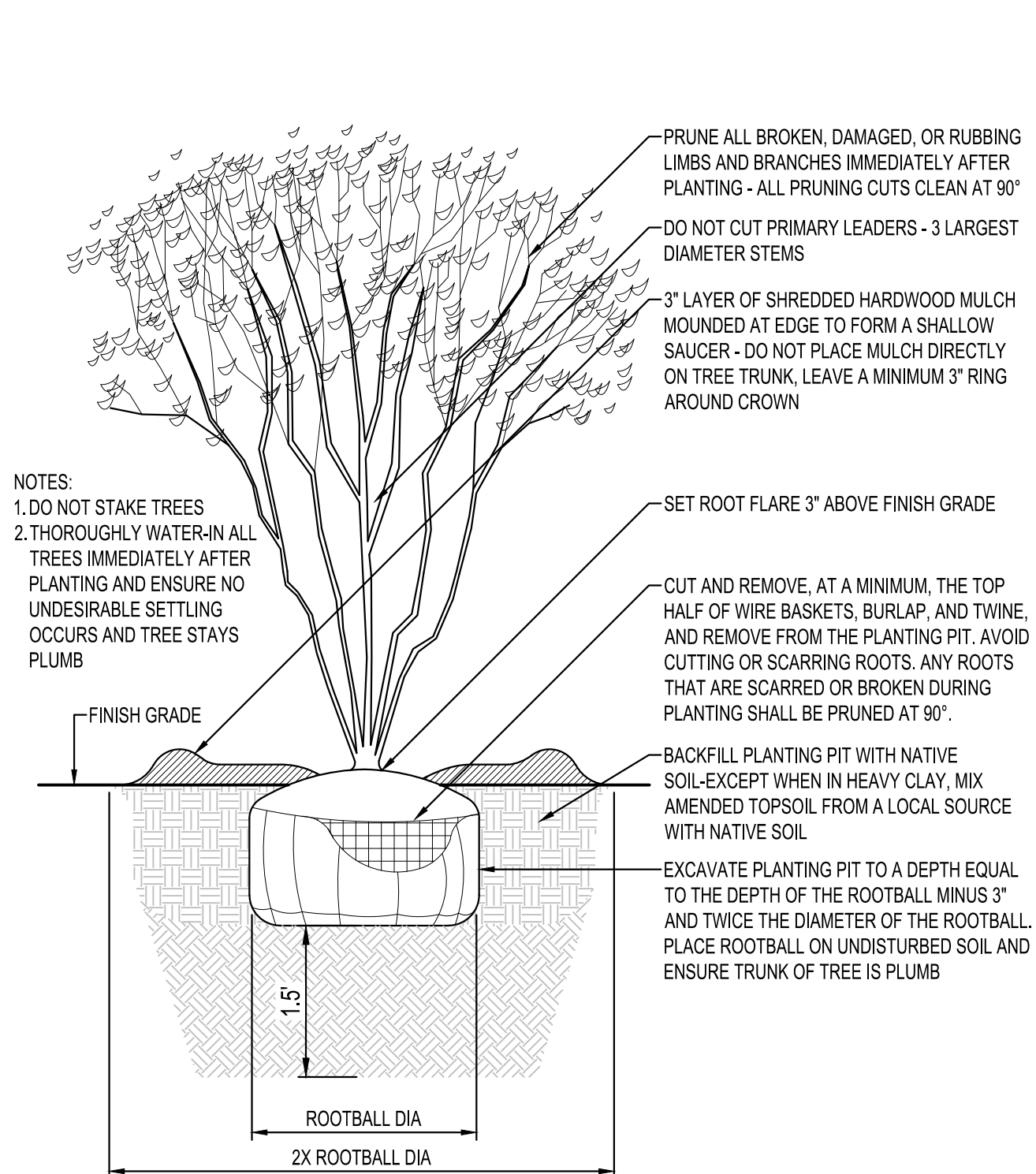
- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- REFER TO PLANTING DETAILS FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
- ALL TREES SHALL HAVE A STRONG CENTRAL LEADER. ANY TREES DEEMED NOT TO HAVE A STRONG CENTRAL LEADER SHALL BE REJECTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE SHREDDED HARDWOOD MULCH SURROUNDING ALL PROPOSED TREES (5' Ø) AND WITHIN PLANTING BEDS TO A 3" MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
- PROVIDE LANDSCAPE ROCK MULCH AT AREAS INDICATED ON PLAN. PROVIDE UNDERLAYMENT FABRIC AT ROCK MULCH BEDS.
- MULCHING MATERIAL SHALL BE SHREDDED HARDWOOD MULCH, WITH NO INDIVIDUAL PIECES LARGER THAN 3", FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS, 3" MINIMUM DEPTH. MINIMUM DEPTHS AT LOCATIONS INDICATED ON DRAWINGS. ROCK MULCH SHALL BE 2" GRAY TRAP ROCK OF APPROVED EQUAL.
- CONTRACTOR SHALL PROVIDE SAMPLE OF MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- INDICATED QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.

AMENDED PLANTING SOIL
33% SAND
33% TOPSOIL
33% COMPOST

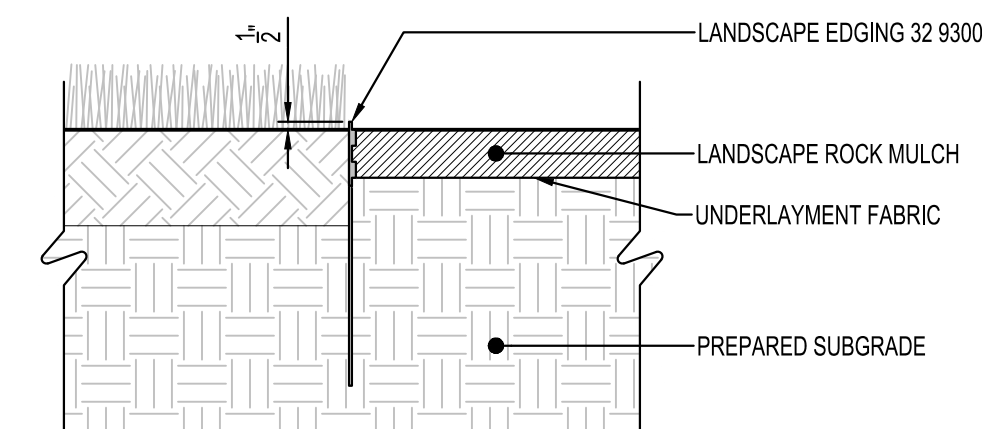


DECIDUOUS TREE PLANTING
NTS

AMENDED PLANTING SOIL
33% SAND
33% TOPSOIL
33% COMPOST

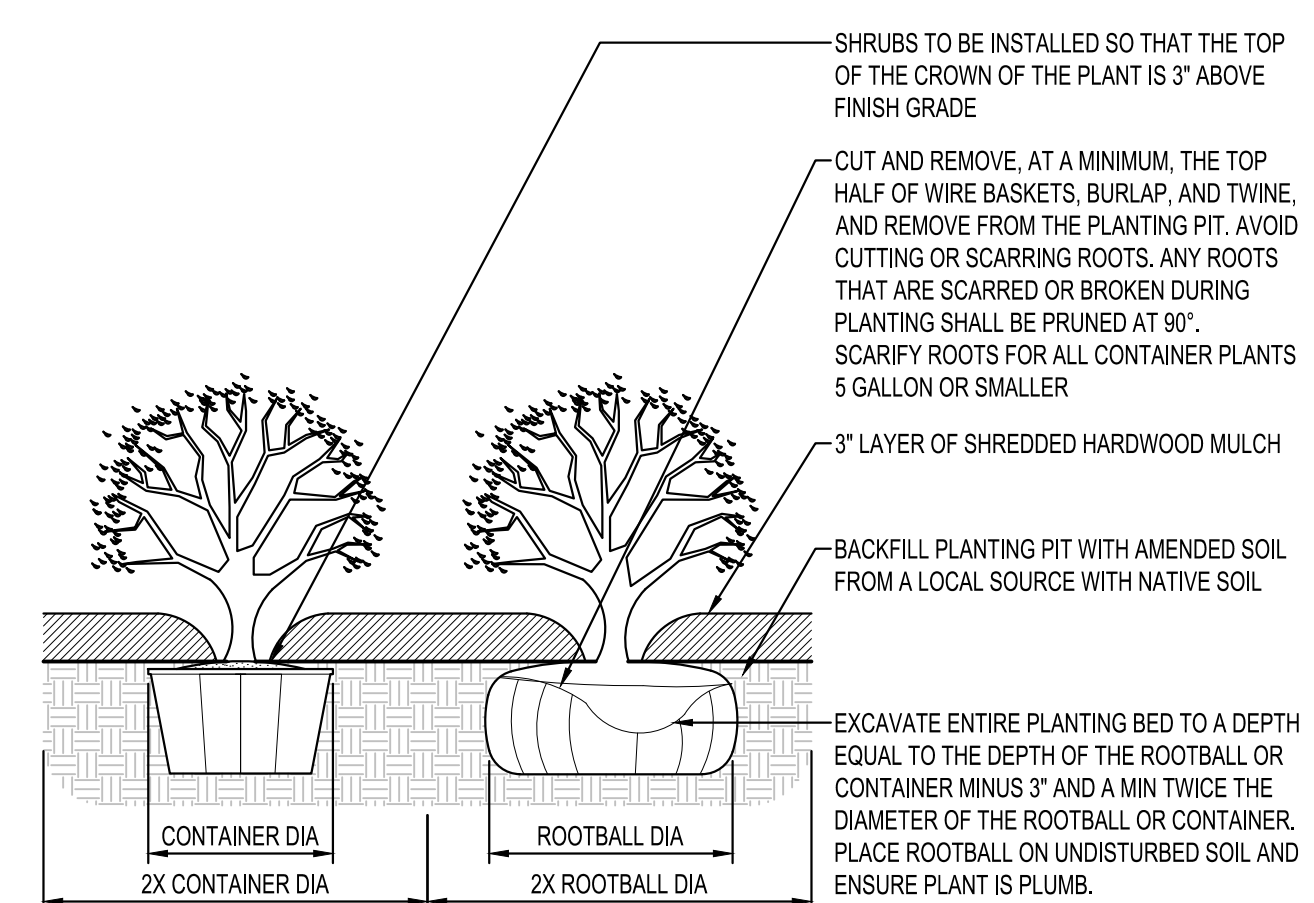


MULTI-STEM TREE PLANTING
NTS



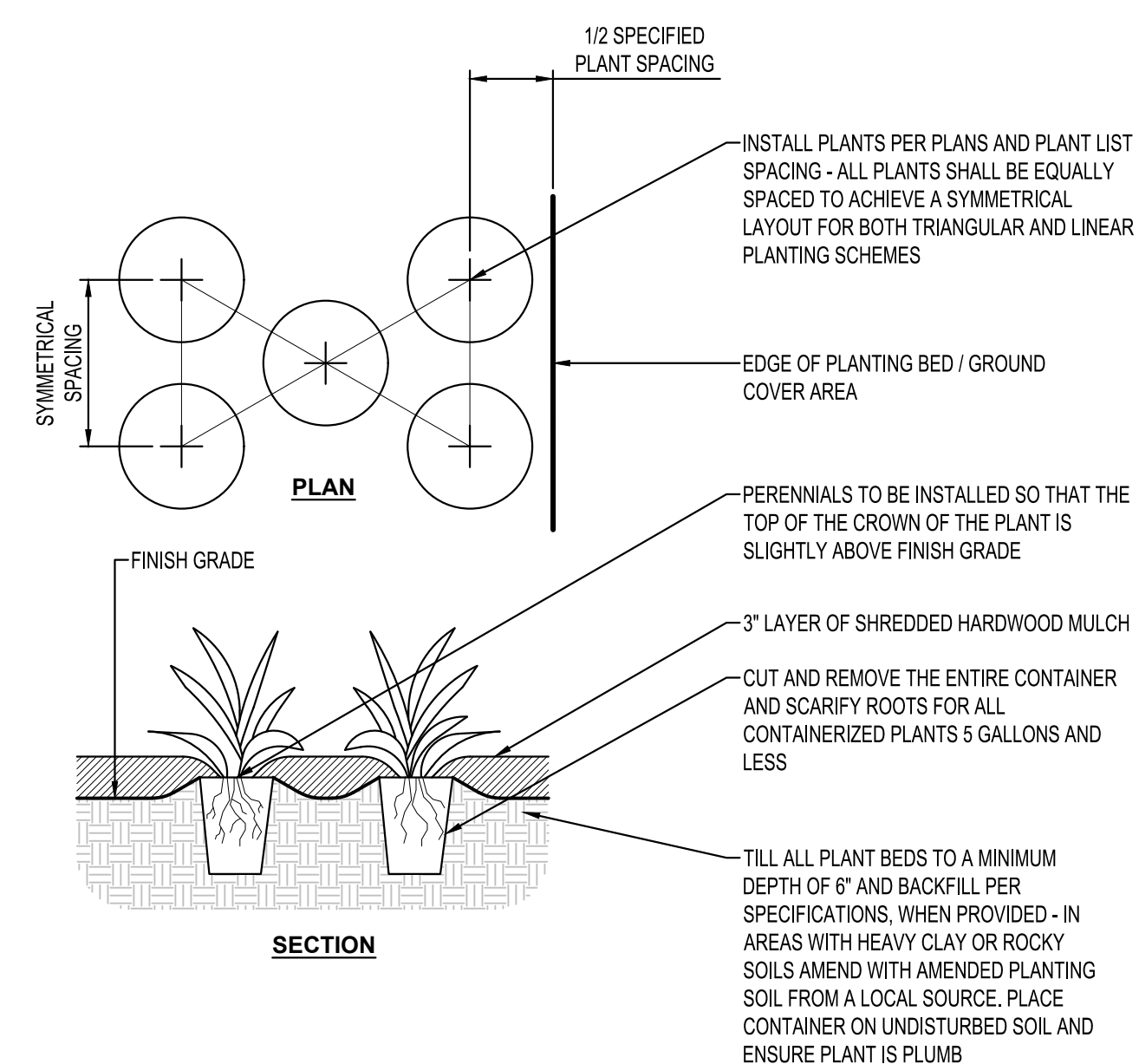
LANDSCAPE EDGING
NTS

AMENDED PLANTING SOIL
33% SAND
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33% COMPOST



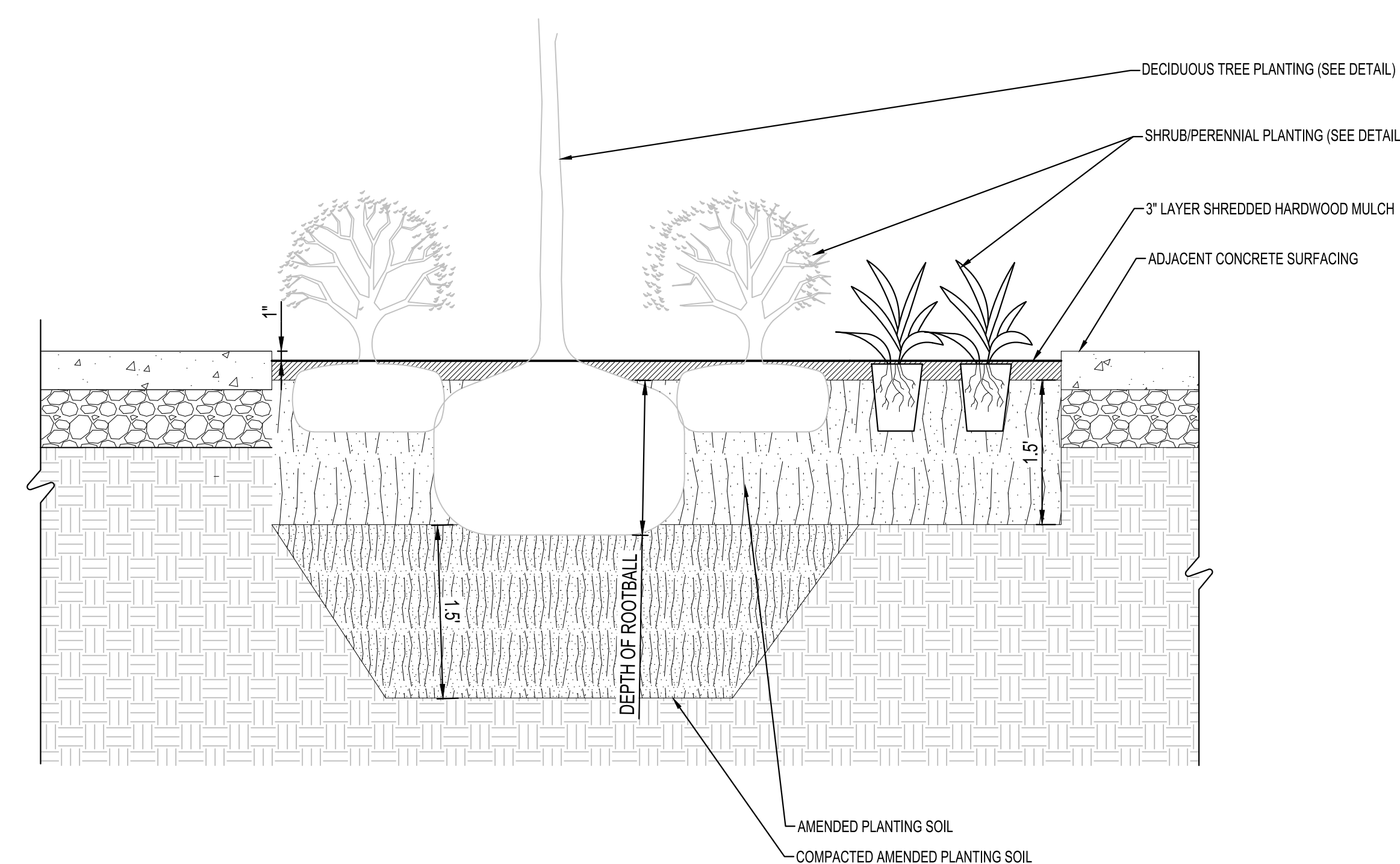
SHRUB PLANTING
NTS

AMENDED PLANTING SOIL
33% SAND
33% TOPSOIL
33% COMPOST



PERENNIAL PLANTING
NTS

AMENDED PLANTING SOIL
33% SAND
33% TOPSOIL
33% COMPOST



PLANTING BED DETAIL
NTS

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PROJECT

BONDURANT SILO COMMONS

BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

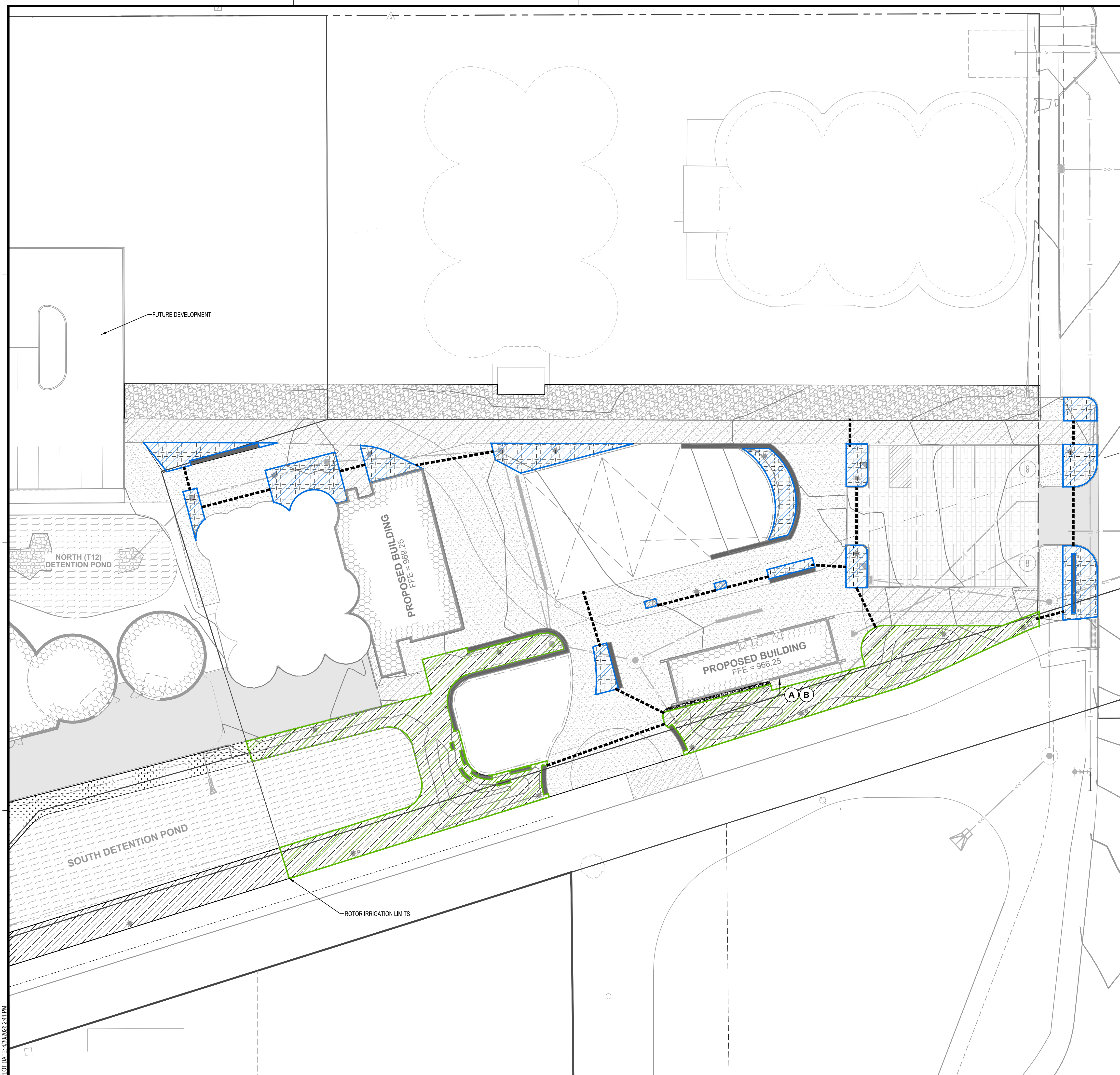
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TITLE

PLANTING NOTES AND DETAILS

SHEET

C5-30



IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
	DRIP-LINE IRRIGATION AREAS
	SPRAY HEAD IRRIGATION
	SLEEVING (4" SCH 40 PVC BY IRRIGATION CONTRACTOR)
	POINT OF CONNECTION
	CONTROLLER (TO BE LOCATED IN RESTROOM UTILITY ROOM, REFER TO MECHANICAL)

IRRIGATION NOTES

1. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND VERIFICATION OF ALL EXISTING PUBLIC AND PRIVATE UTILITIES AND STRUCTURES. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR UTILITIES. DAMAGE DONE TO UTILITIES, STRUCTURES, OR OTHER FINISHED WORK SHALL BE REPAIRED OR REPLACED AT THE IRRIGATION CONTRACTOR'S EXPENSE.
2. THE IRRIGATION CONTRACTOR TO FIELD ADJUST LAYOUT TO AVOID CONFLICTS WITH TREES, SITE FURNISHINGS, UTILITIES OR OTHER OBSTRUCTIONS.
3. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE FINAL LOCATION OF ALL SLEEVING LOCATIONS. IRRIGATION CONTRACTOR TO COORDINATE WITH OTHER DISCIPLINES AS NEEDED. ALL SLEEVING TO BE SCHEDULE 40 PVC PIPE. EACH END OF PIPE IS TO BE SEALED TO PREVENT SOIL OR OTHER DEBRIS FROM ENTERING PIPE. PLACE WOOD SURVEY STAKE AT EACH END OF SLEEVE FOR LATER IDENTIFICATION. INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OR AS INDICATED ON PLANS OF MAINLINE SYSTEM.
4. THE IRRIGATION CONTRACTOR SHALL PLACE A #12 SOLID COPPER TRACE WIRE WITH PURPLE PE COVER FOR WATER ALONG ALL PVC MAINLINE. THIS INCLUDES ALL PVC MAINLINE QUICK COUPLER VALVES.
5. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO ENSURE THE POINT OF CONNECTION IS PROVIDED PER PLANS.
6. INSTALL A BACKFLOW PREVENTER AND ENCLOSURE AT THE POINT OF CONNECTION. INSTALL PER MANUFACTURER SPECIFICATIONS. COORDINATE WITH LOCAL CITY ORDINANCES TO ENSURE THE POINT OF CONNECTION MEETS ALL CODES.
7. INSTALL DRIP-LINE FOR ALL PLANTING AREAS AND SPRAY HEADS FOR OPEN SEEDED AREAS.
8. THE GENERAL CONTRACTOR SHALL SUBMIT IRRIGATION PLAN AND PRODUCT INFORMATION TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. SUBMIT IRRIGATION PLAN AT A SCALE OF 1" EQUALS 30 FEET OR GREATER INDICATING POINT OF CONNECTION, BACKFLOW PREVENTER, LAYOUT / LOCATIONS OF DRIP-LINE, SPRAY HEADS, VALVES, MAINLINE, ISOLATION VALVES, FLOW SENSORS, RAIN / FREEZE SENSOR, PIPE SIZING, SLEEVING, AND CONTROLLER LOCATIONS. IRRIGATION SYSTEM TO BE COMPRISED OF RAINBIRD PRODUCT MATERIALS.
9. THE IRRIGATION CONTRACTOR SHALL SOURCE CONTROLLER, RAIN / FREEZE SENSOR, QUICK COUPLERS, AND CONTROL VALVES FROM SINGLE MANUFACTURER. THE GENERAL CONTRACTOR TO VERIFY 110V UNINTERRUPTED ELECTRICAL SERVICE FOR THE CONTROLLER. IRRIGATION CONTRACTOR TO INSTALL CONTROLLER PER MANUFACTURER'S SPECIFICATIONS. IRRIGATION SYSTEM TO BE COMPRISED OF RAINBIRD PRODUCT MATERIALS.
10. INSTALL VALVE BOX LOCATIONS IN PLANTING AREAS, PARALLEL TO AND SET BACK FROM PAVEMENT EDGES AS INDICATED ON THE PLANS.
11. PROTECT AT ALL TIMES THE WORK FROM DAMAGE AND THEFT. REPLACE ALL DAMAGED OR STOLEN PARTS AT CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER'S REPRESENTATIVE.
12. CONTRACTOR TO PROVIDE ON SITE DEMONSTRATION AND INSTRUCTION OF SYSTEM TO OWNER. CONTRACTOR TO NOTIFY OWNER A MINIMUM 48 HOURS IN ADVANCE.
13. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR SYSTEM WINTERIZATION AND SPRING START UP PROCEDURES DURING THE WARRANTY PERIOD.
14. THE IRRIGATION CONTRACTOR TO ZONE THE SYSTEM ACCORDING TO ANTICIPATED MICROCLIMATES. ALL SEEDED AREAS SHALL BE PLACED ON SEPARATE ZONES FROM THOSE AREAS IRRIGATED WITH DRIP IRRIGATION.
15. THE IRRIGATION CONTRACTOR TO PROVIDE AS BUILT PLANS TO SCALE INDICATING ALL INSTALLED ELEMENTS OF THE SYSTEM INCLUDING LOCATIONS OF MAINLINE, LATERAL LINES, VALVE BOXES, SLEEVING, ETC. PROVIDE ONE LAMINATED COPY OF AS BUILT PLANS TO SCALE TO BE PLACED WITHIN CONTROLLER HOUSING TO AIDE IN TROUBLESHOOTING THE IRRIGATION SYSTEM.
16. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR SETTING THE INITIAL WATERING SCHEDULE AND MONITORING PERFORMANCE DURING THE PLANT ESTABLISHMENT PERIOD OR UNTIL FINAL OWNER ACCEPTANCE. ADJUST WATERING SCHEDULE AS NEEDED DURING THIS TIME.
17. REFER TO SPECIFICATION SECTION 32 8423 - LANDSCAPE IRRIGATION FOR MORE INFORMATION.



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PROJECT
**BONDURANT
 SILO COMMONS**

BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

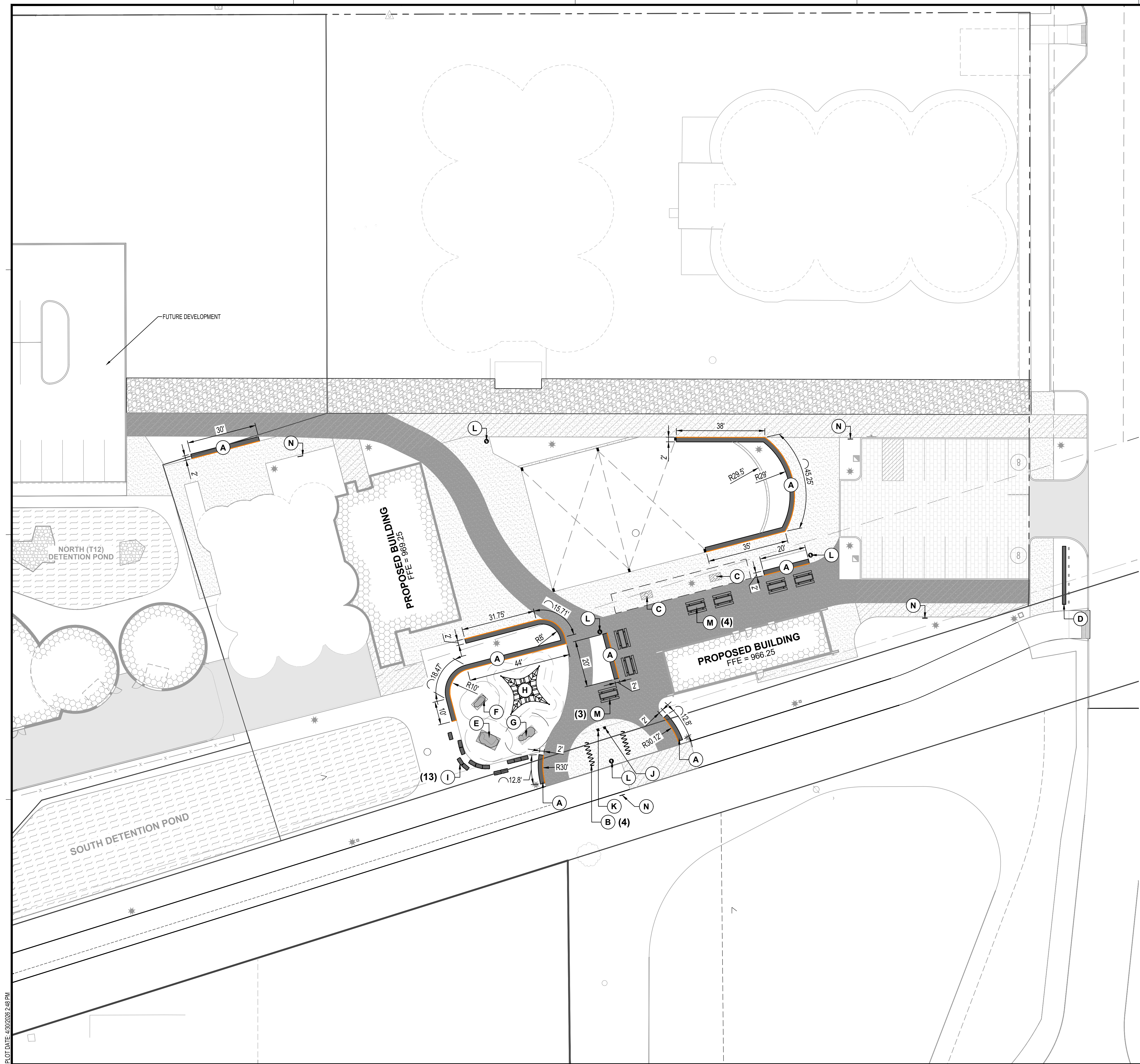
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TITLE
IRRIGATION PLAN

SHEET
C5-40

PRELIMINARY NOT FOR CONSTRUCTION

PLOT DATE 4/30/2024 2:41 PM



SITE FURNISHING LEGEND

A	CONCRETE SEAT WALL (SEE DETAIL)
B	BIKE RACK (SEE DETAIL)
C	TREE GRATE (SEE DETAIL)
D	MONUMENT SIGN (SEE ARCH. STRUCTURAL)
E	CAVE ROCK PLAY FEATURE (SEE DETAIL)
F	WINGATE SHELF PLAY FEATURE (SEE DETAIL)
G	MINI ARCH PLAY FEATURE (SEE DETAIL)
H	CLIMBING NET PLAY FEATURE (SEE DETAIL)
I	MONOLITHIC STONE OUTCROPPING (SEE DETAIL)
J	BICYCLE FIX-IT STATION (SEE DETAIL)
K	BICYCLE AIR KIT (SEE DETAIL)
L	LITTER RECEPTACLE (BY OWNER)
M	PICNIC TABLE (BY OWNER)
N	EDUCATIONAL SIGNAGE (BY OWNER, PLACEMENT TO BE DETERMINED)
	SKATE DETERRENT AT SEAT WALL (SEE DETAIL)



SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

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**BONDURANT
SILO COMMONS**

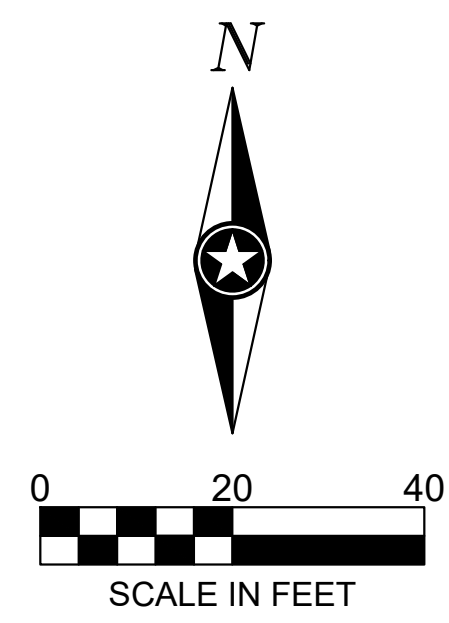
BONDURANT IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 26-33617
 FILE NAME 33817 C6-FURN
 DRAWN BY ---
 DESIGNED BY ---
 REVIEWED BY ---
 ORIGINAL ISSUE DATE -/-/-
 CLIENT PROJECT NO. -

**SITE FURNISHING
PLAN**

SHEET
C6-10



PLOT DATE: 4/30/2025 2:48 PM

PRELIMINARY NOT FOR CONSTRUCTION

SILO COMMONS AERIAL



PRAIRIE MEADOWS PAVILION

RESTROOMS

SILO COMMONS AMPHITHEATER



SILO COMMONS CHICHAQUA VALLEY TRAIL BIKE HUB



SILO COMMONS RESTROOM





**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.b.
For Meeting of 5/14/2026
Public Hearing

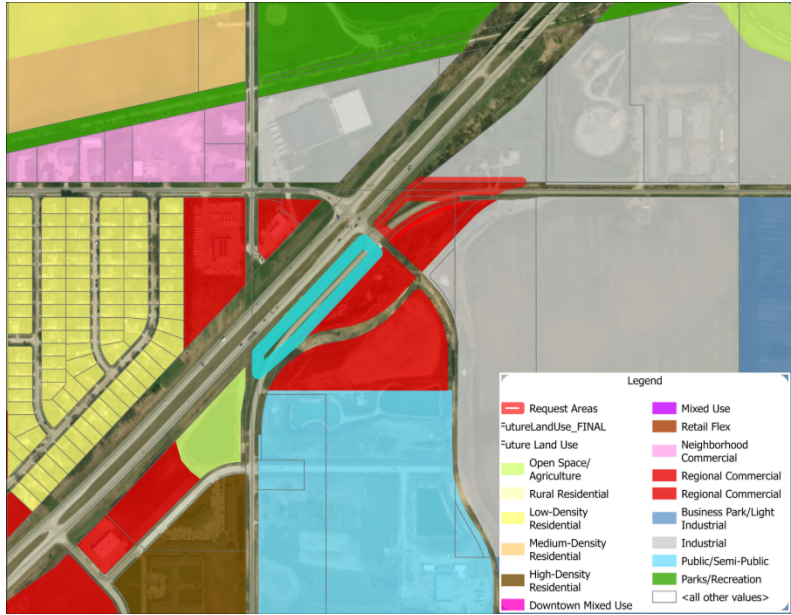
TITLE: Public Hearing - Consideration of the Future Land Use Designation for Parcel 2026-43 to Regional Commercial.

CONTACT PERSON:

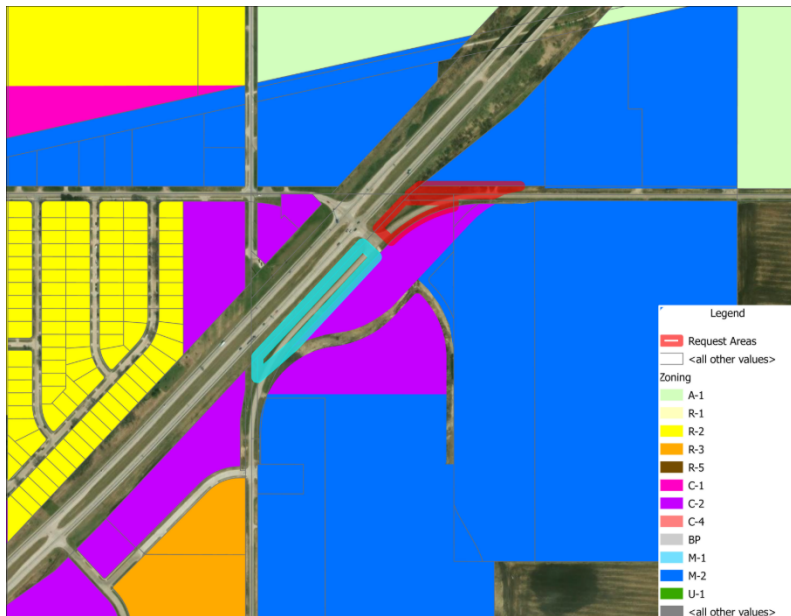
BRIEF HISTORY & ANALYSIS: The City of Bondurant is submitting a request to amend the Future Land Use Map. The request would designate Parcel 2026-43 as Regional Commercial. The request would allow for commercial development consistent with the City's C-2 General Commercial District to take place on the property. The parcel currently has no Future Land Use designation as it was formerly street right-of-way. An aerial of proposed amendment area can be found below:



The City's Future Land Use Map, which guides potential rezoning requests but is not the regulatory tool like the Zoning Ordinance/Map, currently guides this area as Regional Commercial. The current Future Land Use Map with the proposed amendment area outlined can be seen below.



The property in question currently has no zoning designation. The requested amendment would not change the zoning of the property, a rezoning request for this property has been submitted and will be considered by the Planning and Zoning Commission. The property is outlined in blue on the City Zoning Map below:



Analysis:

The Future Land Use Map shows general commercial proposed along the northern side of the Civic Campus North Plat area. There is existing C-2 General Commercial zoning along the southern property line.

The General Commercial Future Land Use designation translates most closely to the City's General Commercial (C-2) District. This zoning district allows for a multitude of

commercial uses. The City has submitted a rezoning request to designate this parcel as C-2 General Commercial.

FUNDING SOURCE:

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

- 1. Recommended approval of RESOLUTION NO. PZ-260514-13.
- 2. Recommended approval of RESOLUTION NO. PZ-260514-13, subject to certain Zoning Code clarification items being included in the rezoning ordinance.
- 3. Recommended denial of RESOLUTION NO. PZ-260514-13.
- 4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-260514-13

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST FOR
FUTURE LAND USE DESIGNATION FOR PARCEL 2026-43 TO REGIONAL
COMMERCIAL.

WHEREAS, on May 14, 2026, the Planning and Zoning Commission held a Public Hearing to consider a request for Future Land Use designation for Parcel 2026-43 to Regional Commercial, on property described as follows:

A PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 32, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SAID SECTION 32; THENCE SOUTH 89°47'36" EAST ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 32, A DISTANCE OF 867.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF NE 80TH STREET, AS EASEMENT FOR PUBLIC HIGHWAY FILED ON AUGUST 29, 1977 AND RECORDED IN BOOK 4725 PAGE 395-402 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE SOUTH 43°25'07" WEST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET, 377.93 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF CAMPUS DRIVE SE, AS ACQUISITION PLAT FILED ON DECEMBER 11, 2023 AND RECORDED IN BOOK 19672 PAGE 828 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE SOUTH 46°41'31" EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF CAMPUS DRIVE SE, 97.76 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET; THENCE SOUTH 42°19'34" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 237.37 FEET; THENCE SOUTH 44°02'50" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 368.22 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF PLEASANT STREET SE, AS ACQUISITION PLAT FILED ON DECEMBER 11, 2023 AND RECORDED IN BOOK 19672 PAGE 828 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE SOUTHWESTERLY 380.45 FEET ALONG A 550.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY HAVING A CHORD BEARING SOUTH 44°19'48" WEST, 372.91 FEET ALONG THE WESTERLY RIGHT-OF-WAY LINE OF PLEASANT STREET SE TO A POINT ON THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 32; THENCE NORTH 00°06'23" WEST ALONG SAID WEST LINE, 134.05 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET; THENCE NORTH 43°25'07" EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET, 881.00 FEET TO THE POINT OF BEGINNING, CONTAINING 83,543 SQUARE FEET (1.92 ACRES), SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.
AND;

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the request to designate Parcel 2026-43 as General Commercial on the Future Land Use Map.

Moved by _____ Seconded by _____ to adopt.

ATTEST: I, Isaac Pezley, City Planner, hereby certify that at a meeting of the Planning and Zoning Commission held on May 14, 2026, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.d.
For Meeting of 5/14/2026
Public Hearing

TITLE: Public Hearing to Consider the Rezoning of Parcel 2026-43 to the (C-2) General Commercial District.

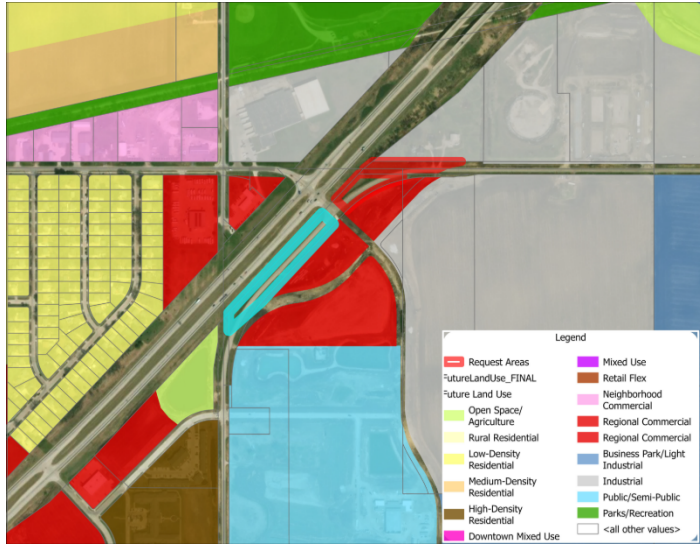
CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City of Bondurant has submitted a rezoning request for Parcel 2026-43, located in the Civic Campus North area and to the southeast of the intersection of Hubbell Avenue and Campus Drive SE. The rezoning request proposes to designate the zoning of previous road right-of-way to the C-2 General Commercial District. The request area is highlighted below.

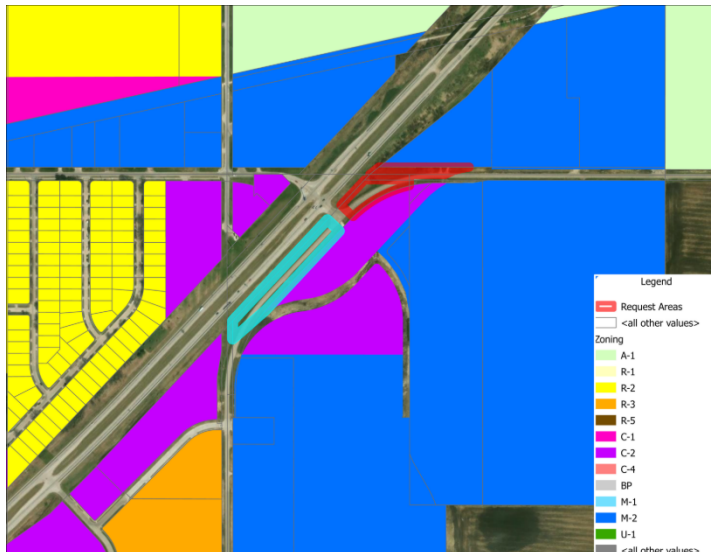


When considering rezoning requests, the Planning & Zoning Commission and City Council should take into account the following: the Comprehensive Plan/Future Land use Map, Zoning, Parkland Dedication, Streets, Pedestrian Connections, Utilities, the FEMA Floodplain, the City's Stream Buffer Ordinance, and Comments from City Officials and Private Utilities.

Comprehensive Plan/Future Land Use Map – The City of Bondurant has requested an amendment to the 2022 Future Land Use Map. The amendment would designate the previous road right-of-way area to Regional Commercial. The request area is outlined below on the 2022 Future Land Use Map.



Zoning – Parcel 2026-43 currently does not have a zoning designation as it was previously road right-of-way. The City of Bondurant is requesting to rezone the property to C-2 General Commercial. There is C-2 General Commercial District located on the southern portion of the subject property.



Parkland Dedication – Parkland dedication is required for residential developments and will be addressed when a preliminary plat is submitted for review.

Streets – The property will be accessible from Truman Drive NE and Pleasant Street SE. Any proposed internal streets will be reviewed when a site plan is submitted for review.

Pedestrian Connections – An trail is being constructed through the Civic Campus development area and along the eastern property line of 1920 2nd Street NE that connects into the Chichaqua Valley Trail. Any pedestrian connections will be reviewed at the site plan level.

Utilities – All utilities will be addressed during the platting process.

FEMA Floodplain – this development is not located in the FEMA Floodplain area.

Stream Buffer Ordinance - this development is not subject to the City’s Stream Buffer Ordinance.

FUNDING SOURCE:

STAFF RECOMMENDATION:

The following options exist for the Planning & Zoning Commission:

- 1. Recommended approval of Resolution No. PZ-260514-14, regarding recommended approval of the rezoning request.
- 2. Recommended approval of Resolution No. PZ-260514-14, regarding recommended approval of the rezoning request, subject to Code clarification items being addressed.
- 3. Recommended denial of Resolution No. PZ-260514-14, regarding recommended approval of the rezoning request
- 4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

- 1. Parcel 2026-43 Vacation Plat

Index Legend	
Location:	City of Bondurant, Polk County
Parcel ID:	N/A
Description:	Part of the NW1/4 NW1/4 in Section 32-T82N-R24W
Requested by Proprietor:	City of Bondurant 200 2nd Street NE, Bondurant, IA 50035
Surveyor:	Matthew J. Thomas
Company:	Veenstra & Kimm, Inc.
Return to:	6775 Vista Drive West Des Moines, IA 50266 (515) 225-8000

VACATION PLAT

VACATING A PORTION OF PUBLIC ROAD RIGHT-OF-WAY
A PART OF THE NW/4 NW1/4 IN SECTION 32-T80N-R22W

LEGAL DESCRIPTION:

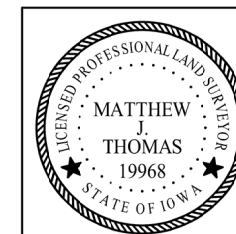
A part of the Northwest Quarter of the Northwest Quarter in Section 32, Township 80 North, Range 22 West of the 5th P.M., City of Bondurant, Polk County, Iowa, more particularly described as follows:

Commencing at the Northwest Corner of the said Section 32; thence South 89°47'36" East along the North Line of the Northwest Quarter of the Northwest Quarter of said Section 32, a distance of 867.00 feet to a point on the West Right-of-Way Line of NE 80th Street, as Easement for Public Highway filed on August 29, 1977 and recorded in Book 4725 Page 395-402 of the Polk County Recorder's Office; thence South 43°25'07" West along the Westerly Right-of-Way Line of NE 80th Street, 377.93 feet to the Point of Beginning, also being a point on the Westerly Right-of-Way Line of Campus Drive SE, as Acquisition Plat filed on December 11, 2023 and recorded in Book 19672 Page 828 of the Polk County Recorder's Office; thence South 46°41'31" East along the Westerly Right-of-Way Line of Campus Drive SE, 97.76 feet to a point on the Easterly Right-of-Way Line of NE 80th Street; thence South 42°19'34" West along said Easterly Right-of-Way Line, 237.37 feet; thence South 44°02'50" West along said Easterly Right-of-Way Line, 368.22 feet to a point on the Westerly Right-of-Way Line of Pleasant Street SE, as Acquisition Plat filed on December 11, 2023 and recorded in Book 19672 Page 828 of the Polk County Recorder's Office; thence Southwesterly 380.45 feet along a 550.00 foot radius curve concave Southeasterly having a chord bearing South 44°19'48" West, 372.91 feet along the Westerly Right-of-Way Line of Pleasant Street SE to a point on the West Line of the Northwest Quarter of the Northwest Quarter of said Section 32; thence North 00°06'23" West along said West Line, 134.05 feet to a point on the Westerly Right-of-Way Line of NE 80th Street; thence North 43°25'07" East along the Westerly Right-of-Way Line of NE 80th Street, 881.00 feet to the Point of Beginning, containing 83,543 Square Feet (1.92 Acres), subject to all easements, restrictions and covenants of record.


SUPPORTING DOCUMENTS	BOOK	PAGE
PUBLIC HWY EASEMENT	4725	399
WARRANTY DEED	4725	395
WARRANTY DEED	6539	463
WARRANTY DEED	5514	513
WARRANTY DEED	19056	122
WARRANTY DEED	19023	740
PLAT OF RETRACEMENT	13080	445
PLAT OF SURVEY	5566	450
PLAT OF SURVEY	8082	319

SURVEY NOTES:

1) MONUMENT IS ON THE EAST LINE OF THE W1/2 OF THE NW1/4 IN SECTION 32-T80N-R22W AND MATCHES THE WARRANTY DEED AS RECORDED IN BOOK 6539 PAGE 463 IN THE POLK COUNTY RECORDER'S OFFICE.



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.


 MATTHEW J. THOMAS, P.L.S. DATE: 04/08/2026
 License Number: 19968
 My license renewal date is: DECEMBER 31, 2027
 Pages or sheets covered by this seal: SHEETS 1 AND 2

V:\WestDesMoines-P\42892-SURVEY\PLATS\42892 PS-8-2 vacate.dwg 4/8/2026 10:10 AM

DATE	REVISIONS	SCALE	AS NOTED
		DRAWN	T. PAUL
		CHECKED	M. THOMAS
		APPROVED	M. THOMAS
		DATE	04/07/2026
		A.C.	

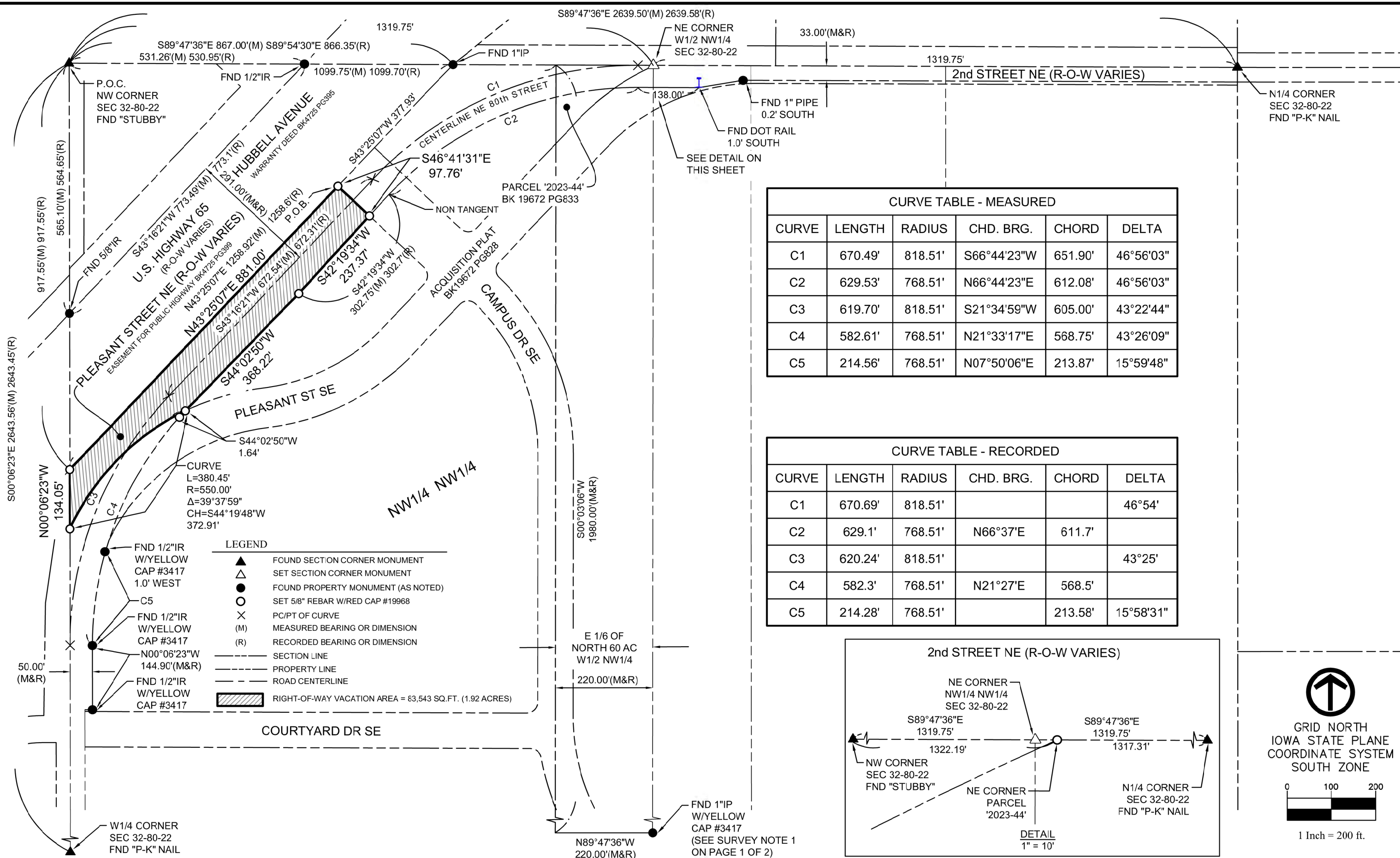


BONDURANT CERTIFIED SITE IMPROVEMENTS
6775 Vista Drive | West Des Moines, IA 50266 | (515) 225-8000

VACATION PLAT
VACATING A PORTION OF PUBLIC ROAD RIGHT-OF-WAY
A PART OF THE NW1/4 NW1/4 IN SECTION 32-T80N-R22W

DWG. NO.
VAC-8-2
SHEET 1 OF 2
PROJECT 42892

V:\WestDesMoines-P\42892-SURVEY\PLATS\42892 PS-8-2 vacate.dwg 4/8/2026 10:15 AM



CURVE
L=380.45'
R=550.00'
Δ=39°37'59"
CH=S44°19'48"W
372.91'

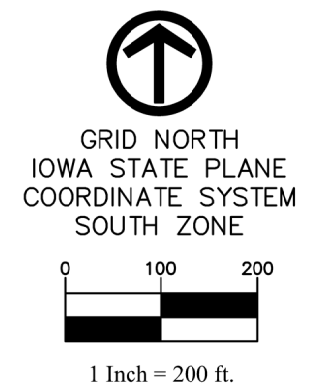
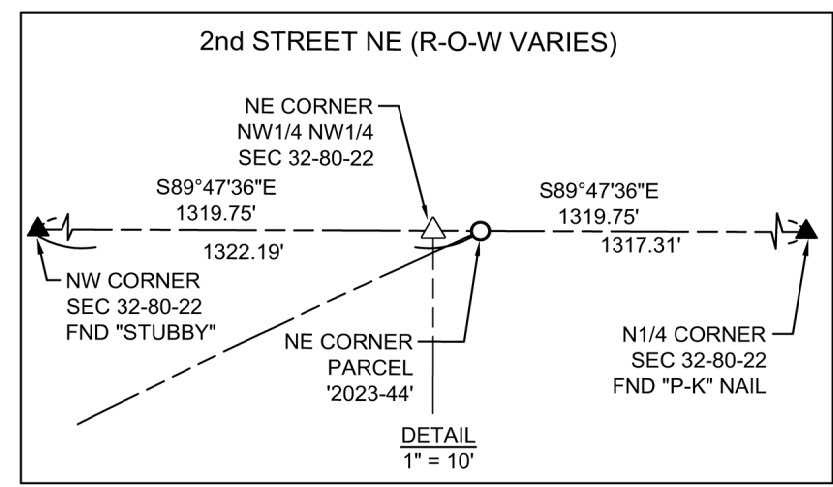
- LEGEND**
- ▲ FOUND SECTION CORNER MONUMENT
 - △ SET SECTION CORNER MONUMENT
 - FOUND PROPERTY MONUMENT (AS NOTED)
 - SET 5/8" REBAR W/RED CAP #19968
 - × PC/PT OF CURVE
 - (M) MEASURED BEARING OR DIMENSION
 - (R) RECORDED BEARING OR DIMENSION
 - SECTION LINE
 - - - PROPERTY LINE
 - · - · - ROAD CENTERLINE
 - ▨ RIGHT-OF-WAY VACATION AREA = 83,543 SQ.FT. (1.92 ACRES)

CURVE TABLE - MEASURED

CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD	DELTA
C1	670.49'	818.51'	S66°44'23"W	651.90'	46°56'03"
C2	629.53'	768.51'	N66°44'23"E	612.08'	46°56'03"
C3	619.70'	818.51'	S21°34'59"W	605.00'	43°22'44"
C4	582.61'	768.51'	N21°33'17"E	568.75'	43°26'09"
C5	214.56'	768.51'	N07°50'06"E	213.87'	15°59'48"

CURVE TABLE - RECORDED

CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD	DELTA
C1	670.69'	818.51'			46°54'
C2	629.1'	768.51'	N66°37'E	611.7'	
C3	620.24'	818.51'			43°25'
C4	582.3'	768.51'	N21°27'E	568.5'	
C5	214.28'	768.51'		213.58'	15°58'31"



DATE	REVISIONS	SCALE	AS NOTED
		DRAWN	T. PAUL
		CHECKED	M. THOMAS
		APPROVED	M. THOMAS
		DATE	04/07/2026
		A.C.	



BONDURANT CERTIFIED SITE IMPROVEMENTS

6775 Vista Drive | West Des Moines, IA 50266 | (515) 225-8000

VACATION PLAT
VACATING A PORTION OF PUBLIC ROAD RIGHT-OF-WAY
A PART OF THE NW1/4 NW1/4 IN SECTION 32-T80N-R22W

DWG. NO.	VAC-8-2
SHEET	2 OF 2
PROJECT	42892

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-250514-14

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST TO
REZONE PARCEL 2026-43 TO THE (C-2) GENERAL COMMERCIAL DISTRICT.

WHEREAS, on May 14, 2026, the Planning and Zoning Commission held a Public Hearing to consider a request to rezone Parcel 2026-43 to the General Commercial (C-2) District, on property further described as follows:

A PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 32, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SAID SECTION 32; THENCE SOUTH 89°47'36" EAST ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 32, A DISTANCE OF 867.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF NE 80TH STREET, AS EASEMENT FOR PUBLIC HIGHWAY FILED ON AUGUST 29, 1977 AND RECORDED IN BOOK 4725 PAGE 395-402 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE SOUTH 43°25'07" WEST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET, 377.93 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE WESTER RIGHT-OF-WAY LINE OF CAMPUS DRIVE SE, AS ACQUISITION PLAT FILED ON DECEMBER 11, 2023 AND RECORDED IN BOOK 19672 PAGE 828 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE SOUTH 46°41'31" EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF CAMPUS DRIVE SE, 97.76 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET; THENCE SOUTH 42°19'34" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 237.37 FEET; THENCE SOUTH 44°02'50" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 368.22 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF PLEASANT STREET SE, AS ACQUISITION PLAT FILED ON DECEMBER 11, 2023 AND RECORDED IN BOOK 19672 PAGE 828 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE SOUTHWESTERLY 380.45 FEET ALONG A 550.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY HAVING A CHORD BEARING SOUTH 44°19'48" WEST, 372.91 FEET ALONG THE WESTERLY RIGHT-OF-WAY LINE OF PLEASANT STREET SE TO A POINT ON THE WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 32; THENCE NORTH 00°06'23" WEST ALONG SAID WEST LINE, 134.05 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET; THENCE NORTH 43°25'07" EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET, 881.00 FEET TO THE POINT OF BEGINNING, CONTAINING 83,543 SQUARE FEET (1.92 ACRES), SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

WHEREAS, the Planning and Zoning Commission has made the following findings:

1. The City has made requested an amendment to the City’s Future Land Use Map to ensure consistency between the City’s Future Land Use Map and Official Zoning Map.
2. That the change in zoning will maintain a consistency with adjacent land uses and provide a transition for adjacent zoning.
3. That the zoning change will not negatively impact the character of the neighborhood.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the rezoning request to rezone Parcel 2026-43 to the (C-2) General Commercial District subject to the following City Code/Policy clarification recommendation items:

1. The Future Land Use Map is amended to show Regional Commercial in this area.

Moved by _____ Seconded by _____ to adopt.

ATTEST: I, Isaac J. Pezley, City Planner, hereby certify that at a meeting of the Planning and Zoning Commission held on May 14, 2026, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.f.
For Meeting of 5/14/2026
Public Hearing

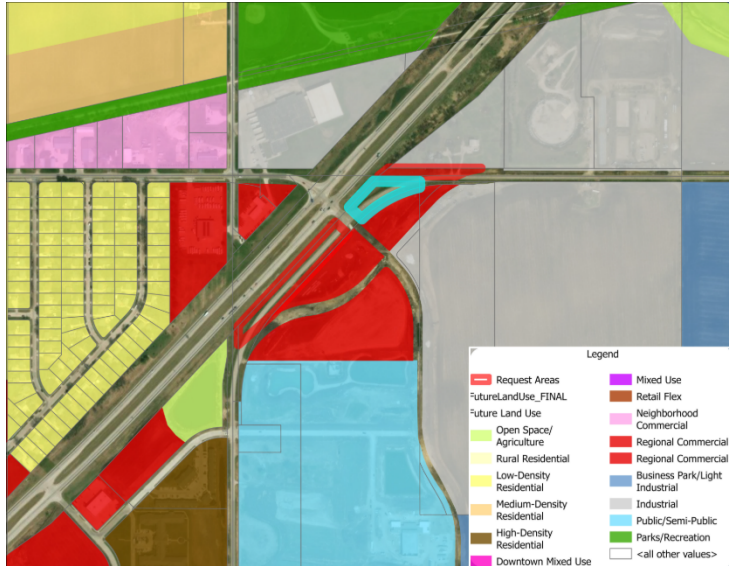
TITLE: Public Hearing — Consideration of Future Land Use Designation for Parcel 2026-44 to Regional Commercial.

CONTACT PERSON:

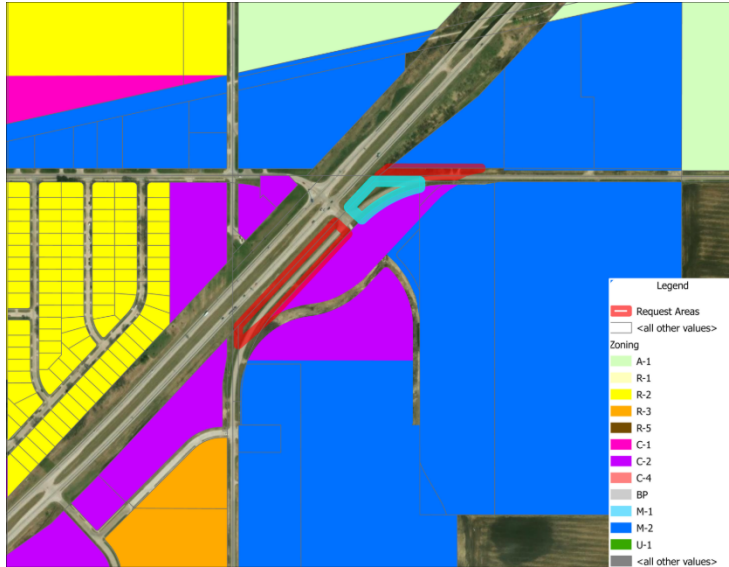
BRIEF HISTORY & ANALYSIS: The City of Bondurant is submitting a request to amend the Future Land Use Map. The request would designate Parcel 2026-44 as Regional Commercial. The request would allow for commercial development consistent with the City's C-2 General Commercial District to take place on the property. The parcel currently has no Future Land Use designation as it was formerly street right-of-way. An aerial of proposed amendment area can be found below:



The City's Future Land Use Map, which guides potential rezoning requests but is not the regulatory tool like the Zoning Ordinance/Map, currently guides this area as General Commercial. The current Future Land Use Map with the proposed amendment area outlined can be seen below.



The property in question currently has no zoning designation. The requested amendment would not change the zoning of the property, a rezoning request for this property has been submitted and will be considered by the Planning and Zoning Commission. The property is outlined in blue on the City Zoning Map below:



Analysis:

The Future Land Use Map shows general commercial proposed along the northern side of the Civic Campus North Plat area. There is existing C-2 General Commercial zoning along the southern property line.

The General Commercial Future Land Use designation translates most closely to the City’s General Commercial (C-2) District. This zoning district allows for a multitude of commercial uses. The City has submitted a rezoning request to designate this parcel as C-2 General Commercial.

FUNDING SOURCE:

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

- 1. Recommended approval of RESOLUTION NO. PZ-260514-15.
- 2. Recommended approval of RESOLUTION NO. PZ-260514-15, subject to certain Zoning Code clarification items being included in the rezoning ordinance.
- 3. Recommended denial of RESOLUTION NO. PZ-260514-15.
- 4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-260514-15

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST FOR
FUTURE LAND USE DESIGNATION FOR PARCEL 2026-44 TO REGIONAL
COMMERCIAL.

WHEREAS, on May 14, 2026, the Planning and Zoning Commission held a Public Hearing to consider a request for Future Land Use designation for Parcel 2026-44 to Regional Commercial, on property described as follows:

A PART OF PARCEL '2023-44', AS FILED ON DECEMBER 11, 2023 AND RECORDED IN BOOK 19672 PAGE 833 OF THE POLK COUNTY RECORDER'S OFFICE, AND A PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, ALL IN SECTION 32 TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SAID SECTION 32; THENCE SOUTH 89°47'36" EAST ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 32, A DISTANCE OF 867.00 FEET TO THE POINT OF BEGINNING AND BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF NE 80TH STREET, AS EASEMENT FOR PUBLIC HIGHWAY FILED ON AUGUST 29, 1977 AND RECORDED IN BOOK 4725 PAGE 395-402 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE CONTINUING SOUTH 89°47'36" EAST ALONG SAID NORTH LINE, 455.20 FEET TO THE NORTHEAST CORNER OF SAID PARCEL '2023-44'; THENCE SOUTHWESTERLY 103.66 FEET ALONG A 550.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY HAVING A CHORD BEARING SOUTH 60°11'14" WEST, 103.51 FEET ALONG THE EASTERLY LINE OF SAID PARCEL '2023-44' TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET; THENCE SOUTHWESTERLY 522.47 FEET ALONG A 768.51 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY HAVING A CHORD BEARING SOUTH 66°49'29" WEST, 512.47 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF CAMPUS DRIVE SE, AS ACQUISITION PLAT FILED ON DECEMBER 11, 2023 AND RECORDED IN BOOK 19672 PAGE 828 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE NORTH 46°41'31" WEST ALONG EASTERLY RIGHT-OF-WAY LINE OF CAMPUS DRIVE SE, 98.32 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET; THENCE 43°25'07" EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET, 257.93 FEET TO THE POINT OF BEGINNING, CONTAINING 58,540 SQUARE FEET (1.34 ACRES), SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the request to designate Parcel 2026-44 as General Commercial on the Future Land Use Map.

Moved by _____ Seconded by _____ to adopt.

ATTEST: I, Isaac Pezley, City Planner, hereby certify that at a meeting of the Planning and Zoning Commission held on May 14, 2026, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.h.
For Meeting of 5/14/2026
Public Hearing

TITLE: Public Hearing — Consideration of the Rezoning of Parcel 2026-44 to the (C-2) General Commercial District.

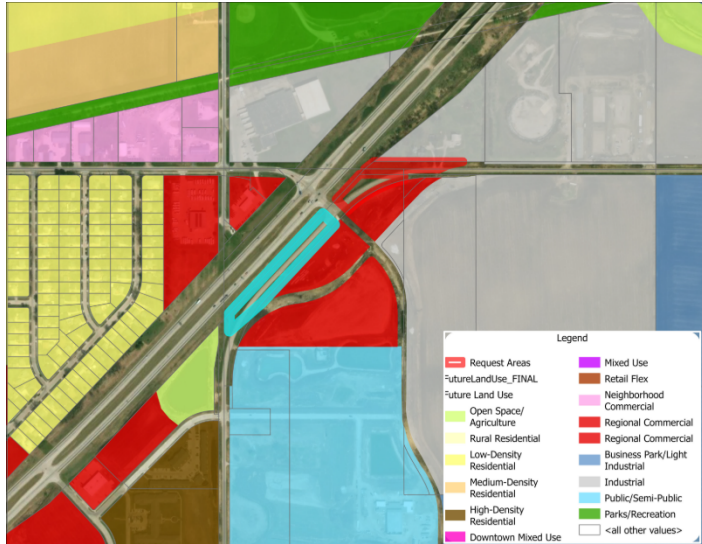
CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City of Bondurant has submitted a rezoning request for Parcel 2026-44, located in the Civic Campus North area and to the southwest of the intersection of Hubbell Avenue and Campus Drive SE. The rezoning request proposes to designate the zoning of previous road right-of-way to the C-2 General Commercial District. The request area is highlighted below.

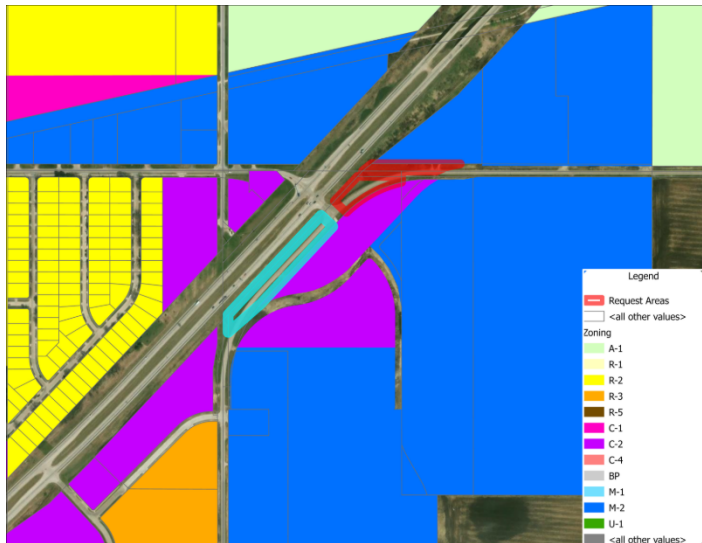


When considering rezoning requests, the Planning & Zoning Commission and City Council should take into account the following: the Comprehensive Plan/Future Land use Map, Zoning, Parkland Dedication, Streets, Pedestrian Connections, Utilities, the FEMA Floodplain, the City's Stream Buffer Ordinance, and Comments from City Officials and Private Utilities.

Comprehensive Plan/Future Land Use Map – The City of Bondurant has requested an amendment to the 2022 Future Land Use Map. The amendment would designate the previous road right-of-way area to Regional Commercial. The request area is outlined below on the 2022 Future Land Use Map.



Zoning – Parcel 2026-44 currently does not have a zoning designation as it was previously road right-of-way. The City of Bondurant is requesting to rezone the property to C-2 General Commercial. There is C-2 General Commercial District located on the southern portion of the subject property.



Parkland Dedication – Parkland dedication is required for residential developments and will be addressed when a preliminary plat is submitted for review.

Streets – The property will be accessible from Truman Drive NE and 2nd Street NE. Any proposed internal streets will be reviewed when a site plan is submitted for review.

Pedestrian Connections – An trail is being constructed through the Civic Campus development area and along the eastern property line of 1920 2nd Street NE that connects into the Chichaqua Valley Trail. Any pedestrian connections will be reviewed at the site plan level.

Utilities – All utilities will be addressed during the platting process.

FEMA Floodplain – this development is not located in the FEMA Floodplain area.

Stream Buffer Ordinance - this development is not subject to the City’s Stream Buffer Ordinance.

FUNDING SOURCE:

STAFF RECOMMENDATION:

The following options exist for the Planning & Zoning Commission:

- 1. Recommended approval of Resolution No. PZ-260514-16, regarding recommended approval of the rezoning request.
- 2. Recommended approval of Resolution No. PZ-260514-16, regarding recommended approval of the rezoning request, subject to Code clarification items being addressed.
- 3. Recommended denial of Resolution No. PZ-260514-16, regarding recommended approval of the rezoning request
- 4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-250514-16

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST TO
REZONE PARCEL 2026-44 TO THE (C-2) GENERAL COMMERCIAL DISTRICT.

WHEREAS, on May 14, 2026, the Planning and Zoning Commission held a Public Hearing to consider a request to rezone Parcel 2026-44 to the General Commercial (C-2) District, on property further described as follows:

A PART OF PARCEL '2023-44', AS FILED ON DECEMBER 11, 2023 AND RECORDED IN BOOK 19672 PAGE 833 OF THE POLK COUNTY RECORDER'S OFFICE, AND A PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, ALL IN SECTION 32 TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SAID SECTION 32; THENCE SOUTH 89°47'36" EAST ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 32, A DISTANCE OF 867.00 FEET TO THE POINT OF BEGINNING AND BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF NE 80TH STREET, AS EASEMENT FOR PUBLIC HIGHWAY FILED ON AUGUST 29, 1977 AND RECORDED IN BOOK 4725 PAGE 395-402 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE CONTINUING SOUTH 89°47'36" EAST ALONG SAID NORTH LINE, 455.20 FEET TO THE NORTHEAST CORNER OF SAID PARCEL '2023-44'; THENCE SOUTHWESTERLY 103.66 FEET ALONG A 550.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY HAVING A CHORD BEARING SOUTH 60°11'14" WEST, 103.51 FEET ALONG THE EASTERLY LINE OF SAID PARCEL '2023-44' TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET; THENCE SOUTHWESTERLY 522.47 FEET ALONG A 768.51 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY HAVING A CHORD BEARING SOUTH 66°49'29" WEST, 512.47 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF CAMPUS DRIVE SE, AS ACQUISITION PLAT FILED ON DECEMBER 11, 2023 AND RECORDED IN BOOK 19672 PAGE 828 OF THE POLK COUNTY RECORDER'S OFFICE; THENCE NORTH 46°41'31" WEST ALONG EASTERLY RIGHT-OF-WAY LINE OF CAMPUS DRIVE SE, 98.32 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET; THENCE 43°25'07" EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF NE 80TH STREET, 257.93 FEET TO THE POINT OF BEGINNING, CONTAINING 58,540 SQUARE FEET (1.34 ACRES), SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

WHEREAS, the Planning and Zoning Commission has made the following findings:

1. The City has made requested an amendment to the City’s Future Land Use Map to ensure consistency between the City’s Future Land Use Map and Official Zoning Map.
2. That the change in zoning will maintain a consistency with adjacent land uses and provide a transition for adjacent zoning.
3. That the zoning change will not negatively impact the character of the neighborhood.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the rezoning request to rezone Parcel 2026-44 to the (C-2) General Commercial District subject to the following City Code/Policy clarification recommendation items:

1. The Future Land Use Map is amended to show Regional Commercial in this area.

Moved by _____ Seconded by _____ to adopt.

ATTEST: I, Isaac J. Pezley, City Planner, hereby certify that at a meeting of the Planning and Zoning Commission held on May 14, 2026, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair

Index Legend	
Location:	City of Bondurant, Polk County
Parcel ID:	N/A
Description:	Part of the NW1/4 NW1/4 in Section 32-T82N-R24W
Requested by Proprietor:	City of Bondurant 200 2nd Street NE, Bondurant, IA 50035
Surveyor:	Matthew J. Thomas
Company:	Veenstra & Kimm, Inc.
Return to:	6775 Vista Drive West Des Moines, IA 50266 (515) 225-8000

VACATION PLAT

VACATING A PORTION OF PUBLIC ROAD RIGHT-OF-WAY
A PART OF THE NW/4 NW1/4 IN SECTION 32-T80N-R22W

LEGAL DESCRIPTION:

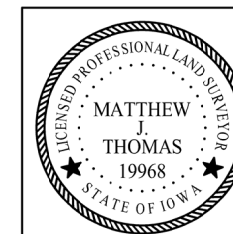
A part of PARCEL '2023-44', as filed on December 11, 2023 and recorded in Book 19672 Page 833 of the Polk County Recorder's Office, and a part of the Northwest Quarter of the Northwest Quarter, all in Section 32, Township 80 North, Range 22 West of the 5th P.M., City of Bondurant, Polk County, Iowa, more particularly described as follows:

Commencing at the Northwest Corner of the said Section 32; thence South 89°47'36" East along the North Line of the Northwest Quarter of the Northwest Quarter of said Section 32, a distance of 867.00 feet to the Point of Beginning and being a point on the West Right-of-Way Line of NE 80th Street, as Easement for Public Highway filed on August 29, 1977 and recorded in Book 4725 Page 395-402 of the Polk County Recorder's Office; thence continuing South 89°47'36" East along said North Line, 455.20 feet to the Northeast Corner of said PARCEL '2023-44'; thence Southwesterly 103.66 feet along a 550.00 foot radius curve concave Southeasterly having a chord bearing South 60°11'14" West, 103.51 feet along the Easterly Line of said PARCEL '2023-44' to a point on the Easterly Right-of-Way Line of NE 80th Street; thence Southwesterly 522.47 feet along a 768.51 foot radius curve concave Southeasterly having a chord bearing South 66°49'29" West, 512.47 feet along the Easterly Right-of-Way Line of NE 80th Street to a point on the Easterly Right-of-Way Line of Campus Drive SE, as Acquisition Plat filed on December 11, 2023 and recorded in Book 19672 Page 828 of the Polk County Recorder's Office; thence North 46°41'31" West along Easterly Right-of-Way Line of Campus Drive SE, 98.32 feet to a point on the Westerly Right-of-Way Line of NE 80th Street; thence North 43°25'07" East along the Westerly Right-of-Way Line of NE 80th Street, 257.93 feet to the Point of Beginning, containing 58,540 Square Feet (1.34 Acres), subject to all easements, restrictions and covenants of record.

SUPPORTING DOCUMENTS	BOOK	PAGE
PUBLIC HWY EASEMENT	4725	399
WARRANTY DEED	4725	395
WARRANTY DEED	6539	463
WARRANTY DEED	5514	513
WARRANTY DEED	19056	122
WARRANTY DEED	19023	740
PLAT OF RETRACEMENT	13080	445
PLAT OF SURVEY	5566	450
PLAT OF SURVEY	8082	319

SURVEY NOTES:

1) MONUMENT IS ON THE EAST LINE OF THE W1/2 OF THE NW1/4 IN SECTION 32-T80N-R22W AND MATCHES THE WARRANTY DEED AS RECORDED IN BOOK 6539 PAGE 463 IN THE POLK COUNTY RECORDER'S OFFICE.



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

04/08/2026
DATE

MATTHEW J. THOMAS, P.L.S.
License Number: 19968
My license renewal date is DECEMBER 31, 2027
Pages or sheets covered by this seal: SHEETS 1 AND 2

V:\WestDesMoines-P\42892-SURVEY\PLATS\42892 PS-8-1 vacate.dwg 4/8/2026 9:53 AM

DATE	REVISIONS	SCALE	AS NOTED
		DRAWN	T. PAUL
		CHECKED	M. THOMAS
		APPROVED	M. THOMAS
		DATE	03/27/2028
		A.C.	



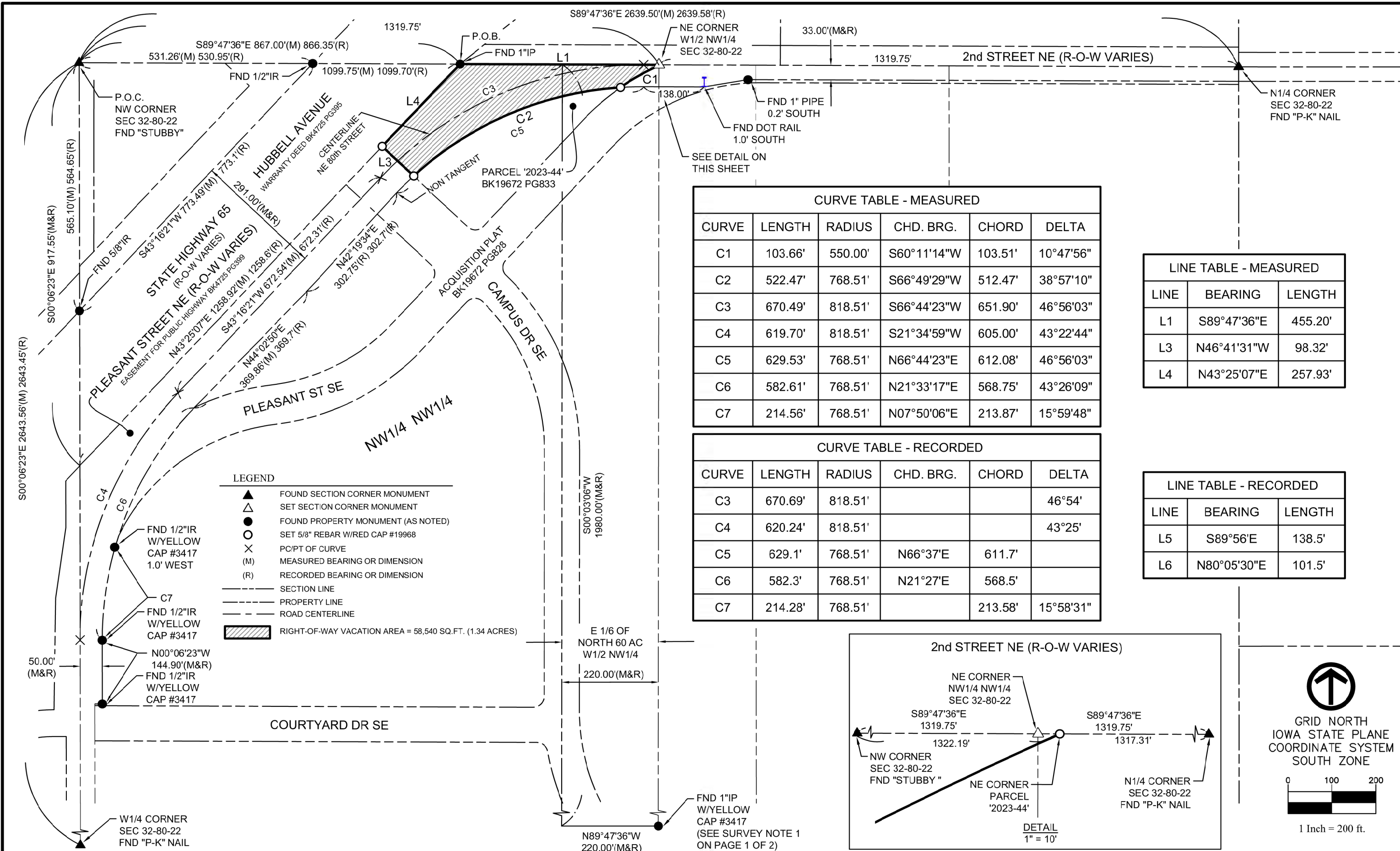
BONDURANT CERTIFIED SITE IMPROVEMENTS

6775 Vista Drive | West Des Moines, IA 50266 | (515) 225-8000

VACATION PLAT
VACATING A PORTION OF PUBLIC ROAD RIGHT-OF-WAY
A PART OF THE NW1/4 NW1/4 IN SECTION 32-T80N-R22W

DWG. NO.
VAC-8-1
SHEET 1 OF 2

V:\WestDesMoines-P\42892-SURVEY\PLATS\42892 PS-8-1 vacate.dwg 4/8/2026 9:51 AM



LEGEND

- ▲ FOUND SECTION CORNER MONUMENT
- △ SET SECTION CORNER MONUMENT
- FOUND PROPERTY MONUMENT (AS NOTED)
- SET 5/8" REBAR W/RED CAP #19968
- × PC/PT OF CURVE
- (M) MEASURED BEARING OR DIMENSION
- (R) RECORDED BEARING OR DIMENSION
- SECTION LINE
- - - PROPERTY LINE
- - - ROAD CENTERLINE
- ▨ RIGHT-OF-WAY VACATION AREA = 58,540 SQ.FT. (1.34 ACRES)

CURVE TABLE - MEASURED

CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD	DELTA
C1	103.66'	550.00'	S60°11'14"W	103.51'	10°47'56"
C2	522.47'	768.51'	S66°49'29"W	512.47'	38°57'10"
C3	670.49'	818.51'	S66°44'23"W	651.90'	46°56'03"
C4	619.70'	818.51'	S21°34'59"W	605.00'	43°22'44"
C5	629.53'	768.51'	N66°44'23"E	612.08'	46°56'03"
C6	582.61'	768.51'	N21°33'17"E	568.75'	43°26'09"
C7	214.56'	768.51'	N07°50'06"E	213.87'	15°59'48"

CURVE TABLE - RECORDED

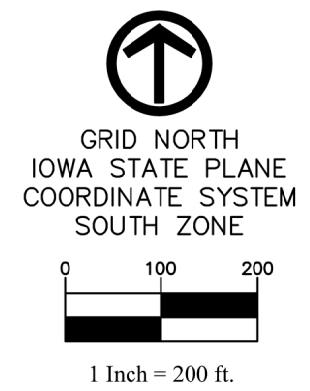
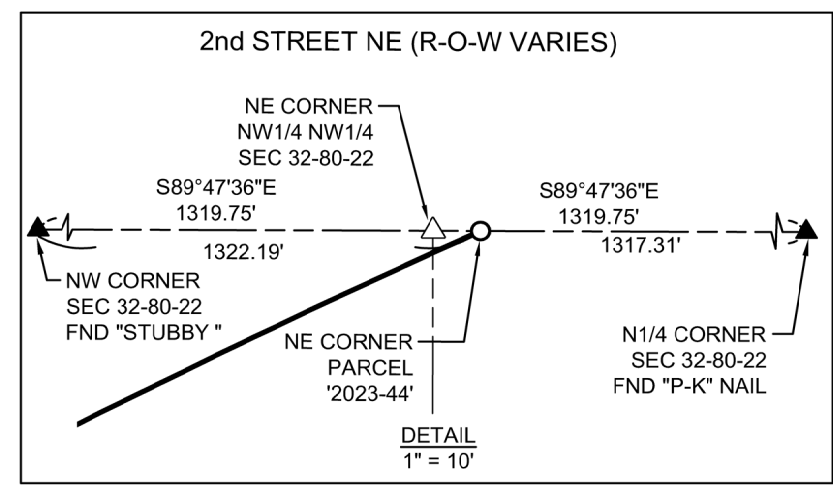
CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD	DELTA
C3	670.69'	818.51'			46°54'
C4	620.24'	818.51'			43°25'
C5	629.1'	768.51'	N66°37'E	611.7'	
C6	582.3'	768.51'	N21°27'E	568.5'	
C7	214.28'	768.51'		213.58'	15°58'31"

LINE TABLE - MEASURED

LINE	BEARING	LENGTH
L1	S89°47'36"E	455.20'
L3	N46°41'31"W	98.32'
L4	N43°25'07"E	257.93'

LINE TABLE - RECORDED

LINE	BEARING	LENGTH
L5	S89°56'E	138.5'
L6	N80°05'30"E	101.5'



DATE	REVISIONS	SCALE	AS NOTED
		DRAWN	T. PAUL
		CHECKED	M. THOMAS
		APPROVED	M. THOMAS
		DATE	01-05-2026
		A.C.	



BONDURANT CERTIFIED SITE IMPROVEMENTS

6775 Vista Drive | West Des Moines, IA 50266 | (515) 225-8000

VACATION PLAT

FOR VACATING A PORTION OF PUBLIC ROAD RIGHT-OF-WAY
A PART OF THE NW1/4 NW1/4 IN SECTION 32-80-22

DWG. NO.
VAC-8-1
SHEET 2 OF 2



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.j.
For Meeting of 5/14/2026
Resolution

TITLE: Resolution PZ-260514-17 - Consideration of Vacation of Roadway Easement.

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City is in receipt of a right-of-way vacation request for portions of the 2nd Street NE roadway easement area located near the Civic Campus North Plat area. This vacation is to remove portions 2nd Street NE that were removed to allow for the reconstruction of the Campus Drive SE-Hubbell Avenue intersection. Pleasant Street SE and 2nd Street NE were realigned to provide for safer entrance into the Campus Drive SE-Hubbell Avenue intersection. The vacation area is outlined below in blue.



Comments from City Officials:

The following City departments were notified of the submitted vacation:

1. Public Works - reviewed and noted no comments/concerns.
2. Engineering – reviewed and noted no comments/concerns.
3. Fire Department - reviewed and noted no comments/concerns.

FUNDING SOURCE:

STAFF RECOMMENDATION:

The following options exist for the Planning and Zoning Commission:

1. Approval of RESOLUTION-PZ-260514-17.
2. Denial of RESOLUTION- PZ-260514-17.
3. Table pending additional information

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RES. NO. PZ-260514-17
2. Vacation Plat

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-260514-17

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST FOR
VACATION OF PUBLIC HIGHWAY EASEMENT LOCATED NEAR THE CIVIC
CAMPUS NORTH PLAT AREA.

WHEREAS, The City of Bondurant is proposing to vacate a portion of 2nd Street NE roadway easement located near the Civic Campus North Plat area; AND

WHEREAS, the City of Bondurant is proposing to vacate a portion of the 2nd Street NE roadway easement area described as follows:

A PART OF PARCEL "2025-2", AS FILED ON AUGUST 29, 2025 AND RECORDED IN BOOK 20252 PAGE 654 OF THE OFFICE OF THE POLK COUNTY RECORDER, OF THE SOUTHWEST QUARTER IN SECTION 29, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL "2025-2"; THENCE NORTH 50°56'50" EAST ALONG THE WESTERLY LINE OF SAID PARCEL "2025-2", A DISTANCE OF 71.22 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF NE 78TH AVENUE; THENCE SOUTH 89°47'36" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, 555.82 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 2ND STREET NE; THENCE SOUTHWESTERLY 162.74 FEET ALONG A 550.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY HAVING A CHORD BEARING SOUTH 74°03'48" WEST, 162.15 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF 2ND STREET NE TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 29; THENCE NORTH 89°47'36" WEST ALONG SAID SOUTH LINE, 455.20 FEET TO THE POINT OF BEGINNING, CONTAINING 22,140 SQUARE FEET (0.51 ACRES), SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the request to vacate a portion of the 2nd Street NE roadway easement area.

Moved by _____ Seconded by _____ to adopt.

ATTEST: I, Isaac J. Pezley, Community Development Director, hereby certify that at a meeting of the Planning and Zoning Commission held on May 14, 2026, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair

Index Legend	
Location:	City of Bondurant, Polk County
Parcel ID:	N/A
Description:	Part of PARCEL "2025-2" of the SW1/4 in Section 29-T80N-R22W
Requested by Proprietor:	City of Bondurant 200 2nd Street NE, Bondurant, IA 50035
Surveyor:	Matthew J. Thomas
Company:	Veenstra & Kimm, Inc.
Return to:	6775 Vista Drive West Des Moines, IA 50266 (515) 225-8000

VACATION OF PUBLIC HIGHWAY EASEMENT

FOR VACATING A PORTION OF EASEMENT FOR PUBLIC HIGHWAY
A PART OF THE SW1/4 IN SECTION 29-T80N-R22W

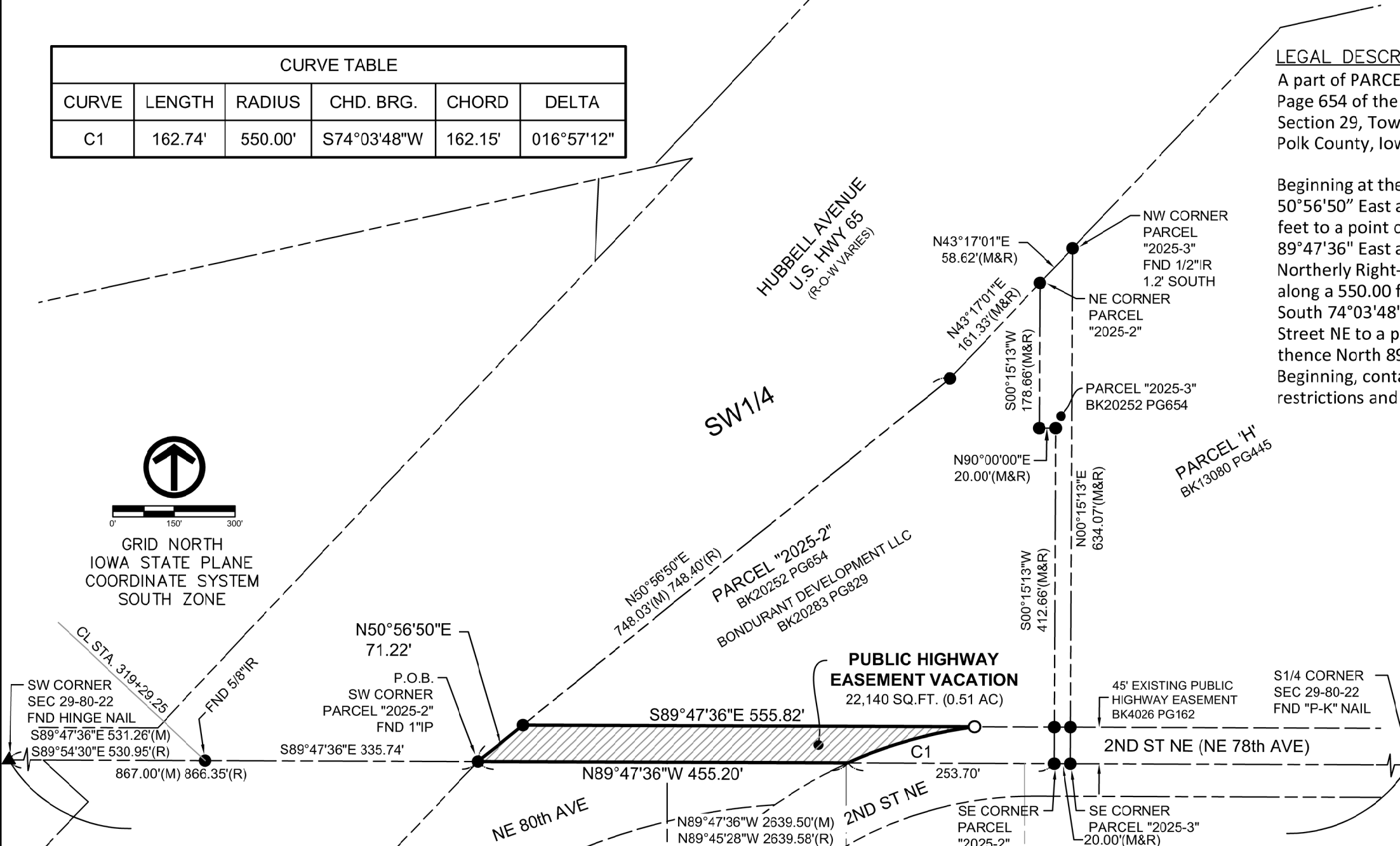
FIELD SURVEY COMPLETED: JANUARY 2023

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD	DELTA
C1	162.74'	550.00'	S74°03'48"W	162.15'	016°57'12"

LEGAL DESCRIPTION:

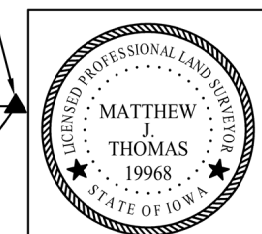
A part of PARCEL "2025-2", as filed on August 29, 2025 and recorded in Book 20252 Page 654 of the Office of the Polk County Recorder, of the Southwest Quarter in Section 29, Township 80 North, Range 22 West of the 5th P.M., City of Bondurant, Polk County, Iowa, more particularly described as follows:

Beginning at the Southwest Corner of said PARCEL "2025-2"; thence North 50°56'50" East along the Westerly Line of said PARCEL "2025-2", a distance of 71.22 feet to a point on the North Right-of-Way Line of NE 78th Avenue; thence South 89°47'36" East along said North Right-of-Way Line, 555.82 feet to a point on the Northerly Right-of-Way Line of 2nd Street NE; thence Southwesterly 162.74 feet along a 550.00 foot radius curve concave Southeasterly having a chord bearing South 74°03'48" West, 162.15 feet along the Northerly Right-of-Way Line of 2nd Street NE to a point on the South Line of the Southwest Quarter of said Section 29; thence North 89°47'36" West along said South Line, 455.20 feet to the Point of Beginning, containing 22,140 Square Feet (0.51 Acres), subject to all easements, restrictions and covenants of record.




LEGEND

- ▲ FOUND SECTION CORNER MONUMENT
- △ SET SECTION CORNER MONUMENT
- FOUND 5/8" IR W/RED CAP #19968 (UNLESS NOTED)
- SET 5/8" IR W/RED CAP #19968 (UNLESS NOTED)
- (M) MEASURED BEARING OR DIMENSION
- (R) RECORDED BEARING OR DIMENSION
- SECTION LINE
- - - PROPERTY LINE
- ▨ EASEMENT VACATION AREA = 22,140 SQ.FT. (0.51 AC.)



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.



 MATTHEW J. THOMAS, P.L.S. 04/30/2026
 DATE
 License Number: 19968
 My license renewal date is: DECEMBER 31, 2027
 Pages or sheets covered by this seal: THIS SHEET

DATE	REVISIONS	SCALE	AS NOTED
		DRAWN	M THOMAS
		CHECKED	M THOMAS
		APPROVED	M THOMAS
		DATE	04/29/2026
		A.C.	



BONDURANT CERTIFIED SITE IMPROVEMENTS

6775 Vista Drive | West Des Moines, IA 50266 | (515) 225-8000

VACATION OF PUBLIC HIGHWAY EASEMENT
A PART PARCEL "2025-2" OF THE SW1/4 IN SECTION 29-T80N-R22W
CITY OF BONDURANT, POLK COUNTY, IOWA

DWG. NO.
VAC-7
SHEET 1 OF 1

V:\WestDesMoines-P\42892-SURVEY\PLATS\42892 PS-7 vacate.dwg 4/30/2026 8:02 PM



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.k.
For Meeting of 5/14/2026
Public Hearing

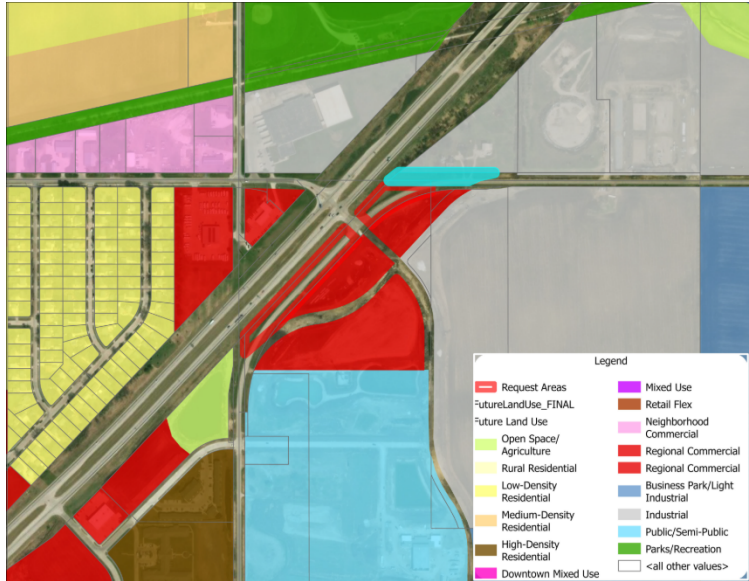
TITLE: Public Hearing — Consideration of the Future Land Use Designation of the Vacated Roadway Easement to Industrial.

CONTACT PERSON:

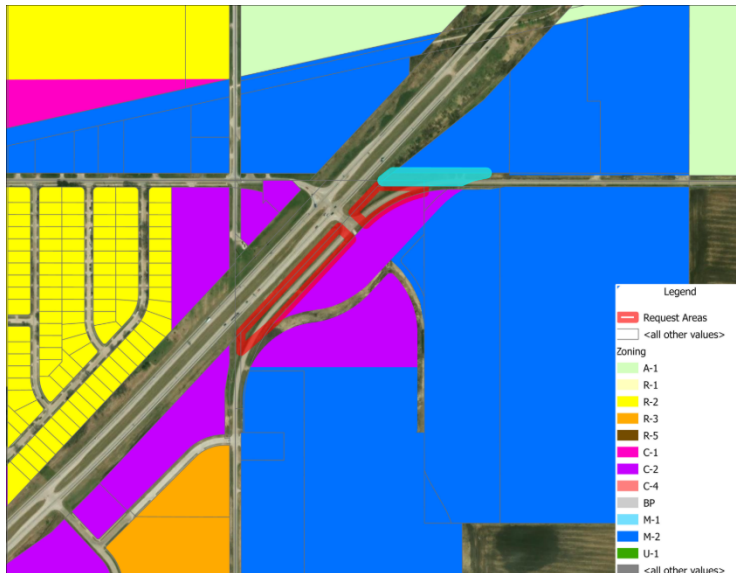
BRIEF HISTORY & ANALYSIS: The City of Bondurant is submitting a request to amend the Future Land Use Map. The request would designate vacated roadway easement area as Industrial. The request would allow for industrial development consistent with the City's M-2 Medium Industrial District to take place on the property. The parcel currently has no Future Land Use designation as it was formerly street right-of-way. An aerial of proposed amendment area can be found below:



The City's Future Land Use Map, which guides potential rezoning requests but is not the regulatory tool like the Zoning Ordinance/Map, currently guides this area as Industrial. The current Future Land Use Map with the proposed amendment area outlined can be seen below.



The property in question currently has no zoning designation. The requested amendment would not change the zoning of the property, a rezoning request for this property has been submitted and will be considered by the Planning and Zoning Commission. The property is outlined in blue on the City Zoning Map below:



Analysis:

The Future Land Use Map shows general commercial proposed along the southern property line and M-2 Medium Industrial along the northern property line. The Industrial Future Land Use designation translates most closely to the City’s Light Industrial (M-1) or Medium Industrial (M-2) District. This zoning district allows for a multitude of industrial uses. The City has submitted a rezoning request to designate this parcel as M-2 Medium Industrial.

FUNDING SOURCE:

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

- 1. Recommended approval of RESOLUTION NO. PZ-260514-18.
- 2. Recommended approval of RESOLUTION NO. PZ-260514-18, subject to certain Zoning Code clarification items being included in the rezoning ordinance.
- 3. Recommended denial of RESOLUTION NO. PZ-260514-18.
- 4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-260514-18

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST TO
DESIGNATE VACATED ROADWAY EASEMENT TO INDUSTRIAL ON THE FUTURE
LAND USE MAP.

WHEREAS, on May 14, 2026, the Planning and Zoning Commission held a Public Hearing to consider a request for Future Land Use designation for vacated roadway easement to Industrial, on property described as follows:

A PART OF PARCEL "2025-2", AS FILED ON AUGUST 29, 2025 AND RECORDED IN BOOK 20252 PAGE 654 OF THE OFFICE OF THE POLK COUNTY RECORDER, OF THE SOUTHWEST QUARTER IN SECTION 29, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL "2025-2"; THENCE NORTH 50°56'50" EAST ALONG THE WESTERLY LINE OF SAID PARCEL "2025-2", A DISTANCE OF 71.22 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF NE 78TH AVENUE; THENCE SOUTH 89°47'36" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, 555.82 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 2ND STREET NE; THENCE SOUTHWESTERLY 162.74 FEET ALONG A 550.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY HAVING A CHORD BEARING SOUTH 74°03'48" WEST, 162.15 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF 2ND STREET NE TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 29; THENCE NORTH 89°47'36" WEST ALONG SAID SOUTH LINE, 455.20 FEET TO THE POINT OF BEGINNING, CONTAINING 22,140 SQUARE FEET (0.51 ACRES), SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the request to designate the vacated roadway easement as Industrial on the Future Land Use Map.

Moved by _____ Seconded by _____ to adopt.

ATTEST: I, Isaac Pezley, City Planner, hereby certify that at a meeting of the Planning and Zoning Commission held on May 14, 2026, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.m.
For Meeting of 5/14/2026
Public Hearing

TITLE: Public Hearing — Consideration of the Rezoning of the Vacated Roadway Easement Area to the (M-2) Medium Industrial District.

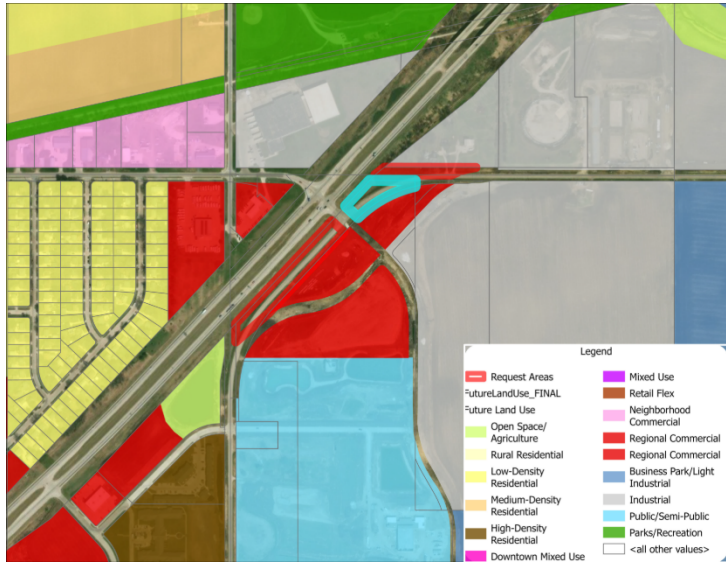
CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City of Bondurant has submitted a rezoning request for vacated roadway easement area, located in the Civic Campus North area and to the south of 1920 2nd Street NE. The rezoning request proposes to designate the zoning of the vacated roadway easement area to the M-2 Medium Industrial District. The request area is highlighted below.

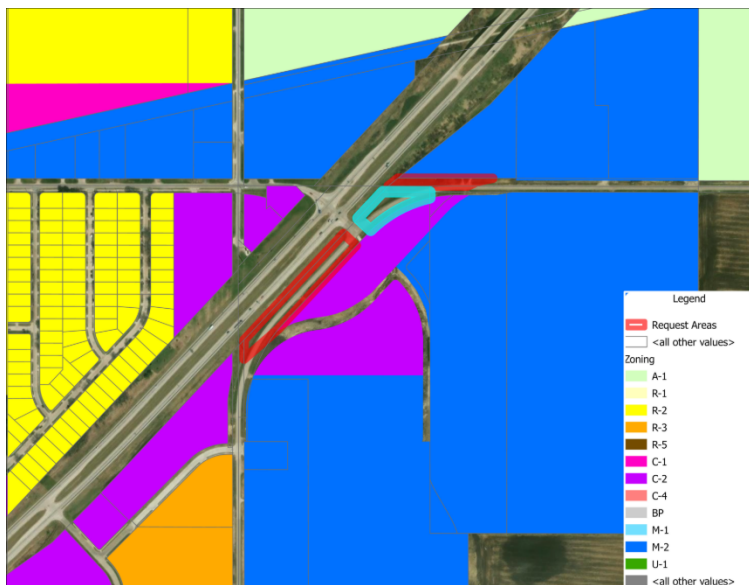


When considering rezoning requests, the Planning & Zoning Commission and City Council should take into account the following: the Comprehensive Plan/Future Land use Map, Zoning, Parkland Dedication, Streets, Pedestrian Connections, Utilities, the FEMA Floodplain, the City's Stream Buffer Ordinance, and Comments from City Officials and Private Utilities.

Comprehensive Plan/Future Land Use Map – The City of Bondurant has requested an amendment to the 2022 Future Land Use Map. The amendment would designate the vacated roadway easement area to Industrial. The request area is outlined below on the 2022 Future Land Use Map.



Zoning – The vacated roadway easement area currently does not have a zoning designation as it was previously road right-of-way. The City of Bondurant is requesting to rezone the property to M-2 Medium Industrial. There is C-2 General Commercial District located to the south of the subject property. There is M-2 Medium Industrial District located to the north of the subject property.



Parkland Dedication – Parkland dedication is required for residential developments and will be addressed when a preliminary plat is submitted for review.

Streets – The property will be accessible from 2nd Street NE. Any proposed internal streets will be reviewed when a site plan is submitted for review.

Pedestrian Connections – An trail is being constructed through the Civic Campus development area and along the eastern property line of 1920 2nd Street NE that connects into the Chichaqua Valley Trail. Any pedestrian connections will be reviewed at the site plan level.

Utilities – All utilities will be addressed during the platting process.

FEMA Floodplain – this development is not located in the FEMA Floodplain area.

Stream Buffer Ordinance - this development is not subject to the City’s Stream Buffer Ordinance.

FUNDING SOURCE:

STAFF RECOMMENDATION:

The following options exist for the Planning & Zoning Commission:

- 1. Recommended approval of Resolution No. PZ-260514-19, regarding recommended approval of the rezoning request.
- 2. Recommended approval of Resolution No. PZ-260514-19, regarding recommended approval of the rezoning request, subject to Code clarification items being addressed.
- 3. Recommended denial of Resolution No. PZ-260514-19, regarding recommended approval of the rezoning request
- 4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-250514-19

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST TO
REZONE VACATED ROADWAY EASEMENT AREA TO THE (M-2) MEDIUM
INDUSTRIAL DISTRICT.

WHEREAS, on May 14, 2026, the Planning and Zoning Commission held a Public Hearing to consider a request to rezone vacated roadway easement area to the Medium Industrial (M-2) District, on property further described as follows:

A PART OF PARCEL "2025-2", AS FILED ON AUGUST 29, 2025 AND RECORDED IN BOOK 20252 PAGE 654 OF THE OFFICE OF THE POLK COUNTY RECORDER, OF THE SOUTHWEST QUARTER IN SECTION 29, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL "2025-2"; THENCE NORTH 50°56'50" EAST ALONG THE WESTERLY LINE OF SAID PARCEL "2025-2", A DISTANCE OF 71.22 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF NE 78TH AVENUE; THENCE SOUTH 89°47'36" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, 555.82 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF 2ND STREET NE; THENCE SOUTHWESTERLY 162.74 FEET ALONG A 550.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY HAVING A CHORD BEARING SOUTH 74°03'48" WEST, 162.15 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF 2ND STREET NE TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 29; THENCE NORTH 89°47'36" WEST ALONG SAID SOUTH LINE, 455.20 FEET TO THE POINT OF BEGINNING, CONTAINING 22,140 SQUARE FEET (0.51 ACRES), SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

WHEREAS, the Planning and Zoning Commission has made the following findings:

1. The City has made requested an amendment to the City's Future Land Use Map to ensure consistency between the City's Future Land Use Map and Official Zoning Map.
2. That the change in zoning will maintain a consistency with adjacent land uses and provide a transition for adjacent zoning.
3. That the zoning change will not negatively impact the character of the neighborhood.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the rezoning request to rezone the vacated roadway easement area to the (M-2) Medium Industrial District subject to the following City Code/Policy clarification recommendation items:

1. The Future Land Use Map is amended to show Regional Commercial in this area.

Moved by _____ Seconded by _____ to adopt.

ATTEST: I, Isaac J. Pezley, City Planner, hereby certify that at a meeting of the Planning and Zoning Commission held on May 14, 2026, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair

Index Legend	
Location:	City of Bondurant, Polk County
Parcel ID:	N/A
Description:	Part of PARCEL "2025-2" of the SW1/4 in Section 29-T80N-R22W
Requested by Proprietor:	City of Bondurant 200 2nd Street NE, Bondurant, IA 50035
Surveyor:	Matthew J. Thomas
Company:	Veenstra & Kimm, Inc.
Return to:	6775 Vista Drive West Des Moines, IA 50266 (515) 225-8000

VACATION OF PUBLIC HIGHWAY EASEMENT

FOR VACATING A PORTION OF EASEMENT FOR PUBLIC HIGHWAY
A PART OF THE SW1/4 IN SECTION 29-T80N-R22W

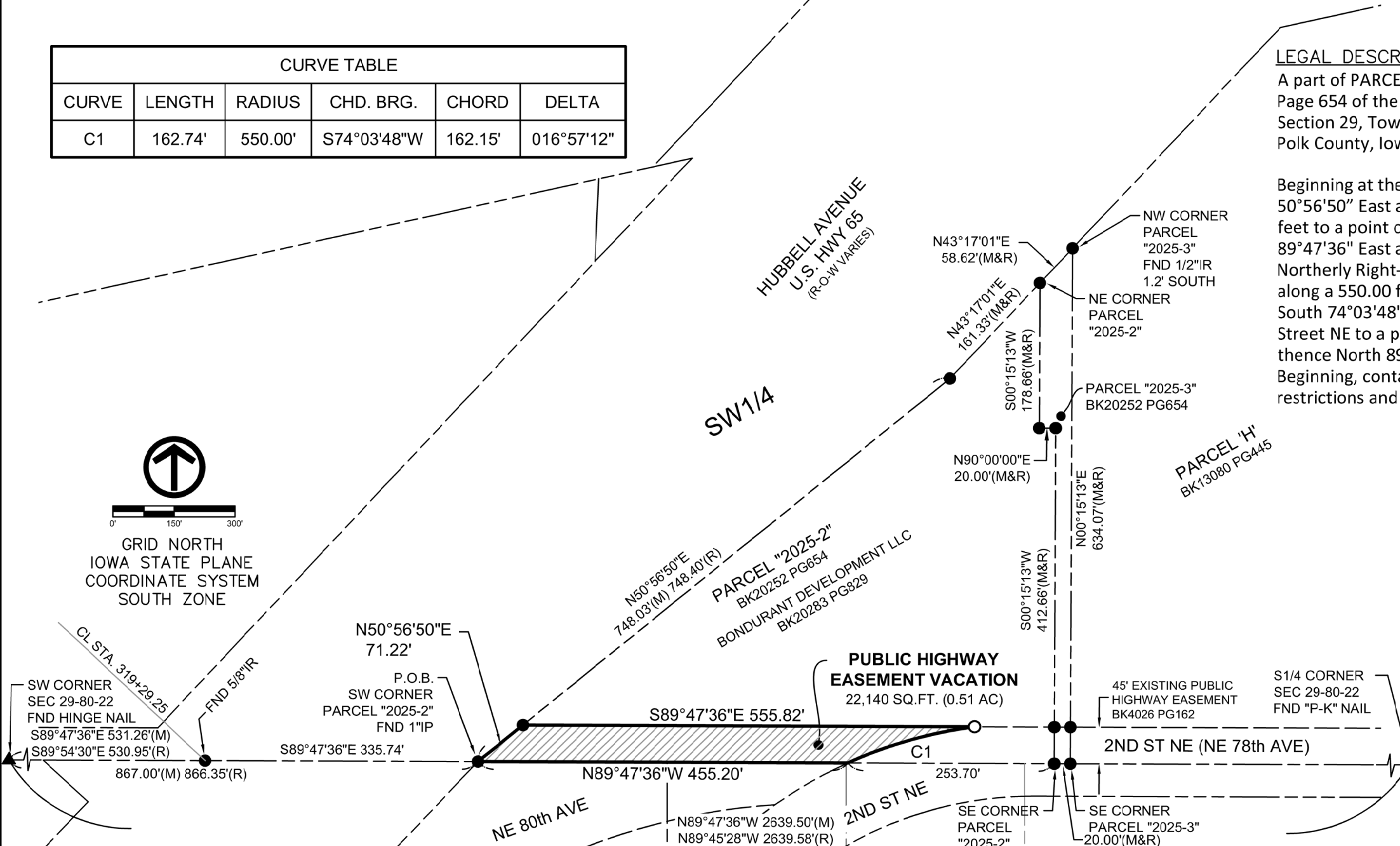
FIELD SURVEY COMPLETED: JANUARY 2023

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHD. BRG.	CHORD	DELTA
C1	162.74'	550.00'	S74°03'48"W	162.15'	016°57'12"

LEGAL DESCRIPTION:

A part of PARCEL "2025-2", as filed on August 29, 2025 and recorded in Book 20252 Page 654 of the Office of the Polk County Recorder, of the Southwest Quarter in Section 29, Township 80 North, Range 22 West of the 5th P.M., City of Bondurant, Polk County, Iowa, more particularly described as follows:

Beginning at the Southwest Corner of said PARCEL "2025-2"; thence North 50°56'50" East along the Westerly Line of said PARCEL "2025-2", a distance of 71.22 feet to a point on the North Right-of-Way Line of NE 78th Avenue; thence South 89°47'36" East along said North Right-of-Way Line, 555.82 feet to a point on the Northerly Right-of-Way Line of 2nd Street NE; thence Southwesterly 162.74 feet along a 550.00 foot radius curve concave Southeasterly having a chord bearing South 74°03'48" West, 162.15 feet along the Northerly Right-of-Way Line of 2nd Street NE to a point on the South Line of the Southwest Quarter of said Section 29; thence North 89°47'36" West along said South Line, 455.20 feet to the Point of Beginning, containing 22,140 Square Feet (0.51 Acres), subject to all easements, restrictions and covenants of record.



LEGEND	
▲	FOUND SECTION CORNER MONUMENT
△	SET SECTION CORNER MONUMENT
●	FOUND 5/8" IR W/RED CAP #19968 (UNLESS NOTED)
○	SET 5/8" IR W/RED CAP #19968 (UNLESS NOTED)
(M)	MEASURED BEARING OR DIMENSION
(R)	RECORDED BEARING OR DIMENSION
—	SECTION LINE
- - -	PROPERTY LINE
▨	EASEMENT VACATION AREA = 22,140 SQ.FT. (0.51 Ac.)



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Matthew J. Thomas
 MATTHEW J. THOMAS, P.L.S.
 License Number: 19968
 My license renewal date is DECEMBER 31, 2027
 Pages or sheets covered by this seal: THIS SHEET

04/30/2026
 DATE

DATE	REVISIONS	SCALE	AS NOTED
		DRAWN	M THOMAS
		CHECKED	M THOMAS
		APPROVED	M THOMAS
		DATE	04/29/2026
		A.C.	



BONDURANT CERTIFIED SITE IMPROVEMENTS

6775 Vista Drive | West Des Moines, IA 50266 | (515) 225-8000

VACATION OF PUBLIC HIGHWAY EASEMENT
 A PART PARCEL "2025-2" OF THE SW1/4 IN SECTION 29-T80N-R22W
 CITY OF BONDURANT, POLK COUNTY, IOWA

DWG. NO.
 VAC-7
 SHEET 1 OF 1

V:\WestDesMoines-P\42892-SURVEY\PLATS\42892 PS-7 vacate.dwg 4/30/2026 8:02 PM