

**Participants wishing to speak on a topic should message the meeting moderator. All participants are asked to mute their individual computers at times when they are not speaking to minimize background noise. Join: <https://us02web.zoom.us/j/82892922662>*

**NOTICE OF A REGULAR MEETING
BONDURANT PLANNING AND ZONING COMMISSION
JUNE 11, 2026**

NOTICE IS HEREBY GIVEN that a Regular Meeting of the City Council will be held at 6:00 PM on June 11, 2026, in the Bondurant City Center, 200 Second Street, Northeast, Bondurant, Polk County, Iowa. Said meeting is open, and the public is encouraged to attend.

AGENDA

1. Call to Order
2. Roll Call
3. Perfecting and Approval of the Agenda
4. Approval of Minutes
 - a. May 14, 2026
5. Guests requesting to address the Planning and Zoning Commission
6. Action Items
 - a. Resolution PZ-260611-20 — Consideration of Plat of Survey for 1400 Courtyard Drive SE.
 - b. Resolution PZ-260611-21 — Consideration of Site Plan for 1400 Courtyard Drive SE.
 - c. Resolution PZ-260611-22 - Consideration of fireworks permit for Iowa Fireworks.
7. Discussion Items -
8. Reports / Comments and appropriate action thereon:
 - a. Commission Members
 - b. Commission Chairperson.
 - c. City Staff.
 - d. City Council Liaison.
9. Adjournment

City of Bondurant

Planning and Zoning
Commission 200 2nd St NE,
PO Box 37
Bondurant, IA 50035



Meeting Minutes

DATE: May 14, 2026

Karen Keeran, Chair

1. Call to Order **6:00 pm**

Place Bondurant City Hall (200 2nd St NE, PO Box 37)

2. Roll Call

Members Present: Karen Keeran (Chairperson), Jason Vore (Vice-Chairperson), Brian Clayton, Louise Jennings, Chris Johnsen, Ethan Pitt, Jesse Torres

Members Absent:

City Official & Staff Present: Isaac Pezley

3. Perfecting and Approval of the Agenda

Motion by Commission Member Vore, seconded by Commission Member Jennings to approve of the May 14, 2026, meeting agenda. Vote on Motion 7-0-0. Motion carried.

4. Approval of Minutes

Motion by Commission Member Pitt, seconded by Commission Member Vore to approve the April 16, 2026 meeting minutes. Vote on Motion 7-0-0. Motion carried.

5. Guests requesting to address the Planning and Zoning Commission

6. Action Items

a. Resolution PZ-260514-12 - Consideration of the Silo Commons Site Plan

Pezley provided an overview of the Silo Commons Site Plan project. Pezley stated the silo bin art mural is not a part of the site plan review. Commission asked about the large warehouse structure, Pezley stated it is currently being used for hay storage and there are no current plans to utilize it. Commission had additional conversations about the structure.

Torres asked about fencing around the exterior of the area. Pezley stated there will be some fencing to prevent access to the detention pond area. The rest will most be “fenced” by landscape features. The Commission and staff had additional conversations regarding fencing and landscaping.

Staff was asked about noise considerations. Pezley stated the site is being designed to prevent sound spillage as much as possible, but the reality is there will be sound spillage to neighboring subdivisions.

Pitt asked about pedestrian connectivity throughout the remainder of the district. Pezley stated the CVT will provide pedestrian access to the west, and there will be sidewalks connecting the north side.

The Commission and staff had conversations about traffic and parking availability. Jennings stated staff should consider placing bike racks on the north side to accommodate bike riders coming from the north.

Motion by Commission Member Torres, seconded by Commission Member Johnsen to approve Resolution PZ - 260514-12.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

- b. Public Hearing - Consideration of the Future Land Use Designation for Parcel 2026-43 to Regional Commercial.

Public Hearing opened at 6:22.

Pezley provided the Commission with an overview of the Future Land Use designation request.

Public Hearing closed at 6:23

- c. Resolution PZ-260514-13 — Consideration of the Future Land Use Designation for Parcel 2026-43 to Regional Commercial.

Motion by Commission Member Vore, seconded by Commission Member Jennings to approve Resolution PZ - 260514-13.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

- d. Public Hearing to Consider the Rezoning of Parcel 2026-43 to the (C-2) General Commercial District.

Public Hearing opened at 6:24
Pezley provided the Commission with an overview of the Zoning designation request.

Public Hearing closed at 6:25

- e. Resolution PZ-260514-14 - Consideration of the Rezoning of Parcel 2026-43 to the (C-2) General Commercial District

Motion by Commission Member Vore, seconded by Commission Member Torres to approve Resolution PZ - 260514-14.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

- f. Public Hearing — Consideration of Future Land Use Designation for Parcel 2026-44 to Regional Commercial.

Public Hearing opened at 6:26.

Pezley provided the Commission with an overview of the Future Land Use designation request.

Public Hearing closed at 6:27.

- g. Resolution PZ-250514-15 — Consideration of the Future Land Use Designation of Parcel 2026-44 to Regional Commercial.

Motion by Commission Member Vore, seconded by Commission Member Johnsen to approve Resolution PZ - 260514-15.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

- h. Public Hearing — Consideration of the Rezoning of Parcel 2026-44 to the (C-2) General Commercial District.

Public Hearing opened at 6:28.

Pezley provided the Commission with an overview of the Zoning designation request.

Public Hearing closed at 6:28.

- i. Resolution PZ-260514-16 - Consideration of the Rezoning of Parcel 2026-44 to the (C-2) General Commercial District.

Motion by Commission Member Vore, seconded by Commission Member Jennings to approve Resolution PZ - 260514-16.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

- j. Resolution PZ-260514-17 - Consideration of Vacation of Roadway Easement.

Pezley provided the Commission with an overview of the vacation of roadway easement.

Motion by Commission Member Torres, seconded by Commission Member Vore to approve Resolution PZ - 260514-17.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

- k. Public Hearing — Consideration of the Future Land Use Designation of the Vacated Roadway Easement to Industrial.

Public Hearing opened at 6:30.

Pezley provided the Commission with an overview of the Future Land Use designation request.

Public Hearing closed at 6:32.

- l. Resolution PZ-260514-18 - Consideration of the Future Land Use Designation of the Vacated Roadway Easement to Industrial

Motion by Commission Member Torres, seconded by Commission Member Pitt to approve Resolution PZ - 260514-18.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

- m. Public Hearing — Consideration of the Rezoning of the Vacated Roadway

Easement Area to the (M-2) Medium Industrial District.

Public Hearing opened at 6:33.

Pezley provided the Commission with an overview of the Zoning designation request.

Public Hearing closed at 6:34.

- n. Resolution PZ-260514-19 - Consideration of the Rezoning of the Vacated Roadway Easement Area to the (M-2) Medium Industrial District.

Motion by Commission Member Vore, seconded by Commission Member Johnsen to approve Resolution PZ - 260514-19.

Roll Call – Ayes: Commission Member Clayton, Commission Member Jennings, Commission Member Johnsen, Commission Member Keeran, Commission Member Pitt, Commission Member Torres, Nays: none Abstentions: none. Absent: none. Vote on Motion 7-0-0. Motion carried.

7. Discussion Items –

8. Reports / Comments and appropriate action thereon

- a. Commission Members

Clayton – Asked about ebike ordinances, and stated Waukee recently brought forward an ordinance that was tabled. Pezley stated staff is currently researching what other suburbs are looking to do.

Jennings –none.

Johnsen –.

Pitt – none.

Torres –none.

Vore – Made a comment about the amount of trash accumulating on the bike trail near Twist.

Commission Chair – Asked staff to look at the turn lanes on Dee Street entering Hubbell Avenue. Asked staff to look into providing a flashing sign to indicate the traffic light will be changing for northbound traffic at the Hubbell-2nd Street intersection.

- b. Community Development Director – absent.

- c. City Planner – The City of Bondurant was awarded a Best Practices in Economic Development Award for the city’s certified sites program at the

recent National APA conference.

- d. City Administrator – absent.
- e. City County Liaison – absent.

7. Adjournment

Motion by Commissioner Clayton, seconded by Commissioner Vore to adjourn the meeting. Vote on Motion 7-0-0. Motion carried. Meeting adjourned at 6:48.



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.a.
For Meeting of 6/11/2026
Resolution

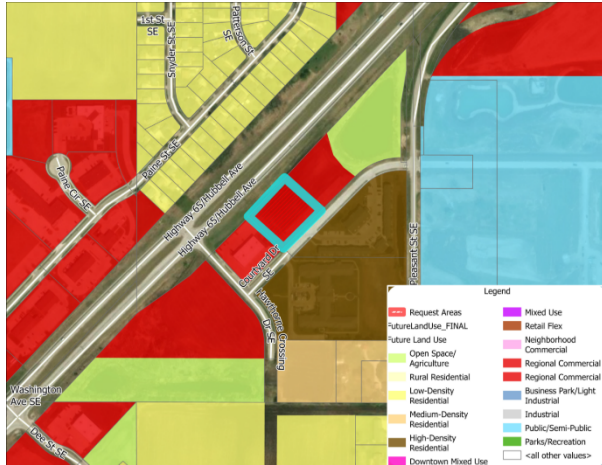
TITLE: Resolution PZ-260611-20 — Consideration of Plat of Survey for 1400 Courtyard Drive SE.

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City is in receipt of a plat of survey request located at 1400 Courtyard Drive SE. The subject property is located to the north side of Courtyard Drive SE and northeast of Dollar General. The subject property is currently undeveloped and is located within the General Commercial (C-2) District. A site plan has been submitted for this property, the proposed use is a dental office. The Plat of Survey is proposing to split a portion of the property for the dental office and the remainder of the property will remain undeveloped. The area in red shows the location of the proposed split.



The City's Future Land Use Map as part of the 2022 Comprehensive Plan shows this area as Regional Commercial. Additional Regional Commercial is located to the northeast and southeast fronting Hubbell Avenue. High-Density Residential is located on the south side of Courtyard Drive SE. The map below shows the property outlined in blue on the Future Land Use Map.



The proposed Plat of Survey would create Parcel 2026-55 which will contain the southwest portion of the property. A site plan for Parcel 2026-55 has been submitted for review by the Planning and Zoning Commission.

FUNDING SOURCE:

STAFF RECOMMENDATION:

The following options exist for the Planning & Zoning Commission:

1. Recommended approval of RESOLUTION NO. PZ-260611-20.
2. Recommended approval of RESOLUTION NO. PZ-260611-20, subject to certain Subdivision Code clarification items being addressed.
3. Recommended denial of RESOLUTION NO. PZ-260611-20.
4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RES. PZ-260611-20
2. Plat of Survey

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-260611-20

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE PLAT OF
SURVEY FOR 1400 COURTYARD DRIVE TO CREATE PARCEL 2026-55.

WHEREAS, Snyder & Associates Inc. has submitted a plat of survey on the behalf of the property developer to create Parcel '2026-55' located at 1400 Courtyard Drive SE in Bondurant and further described as follows:

A PART OF OUTLOT "W", HAWTHORNE CROSSING, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF BONDURANT, POLK COUNTY, IOWA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID OUTLOT "W"; THENCE NORTH 44°37'20" EAST ALONG THE NORTH LINE OF SAID OUTLOT "W", 183.08 FEET TO A NORTHERLY CORNER OF SAID OUTLOT "W"; THENCE NORTH 42°59'08" EAST CONTINUING ALONG SAID NORTH LINE, 46.93 FEET TO THE NORTH CORNER OF PARCEL 2021-82 AS SHOWN ON PLAT OF SURVEY RECORDED IN BOOK 18651, PAGE 556 IN THE OFFICE OF THE POLK COUNTY RECORDER AND TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 42°59'08" EAST ALONG SAID NORTH LINE, 236.24 FEET; THENCE SOUTH 45°42'50" EAST, 234.24 FEET TO THE SOUTH LINE OF SAID OUTLOT "W"; THENCE SOUTH 44°46'27" WEST ALONG SAID SOUTH LINE, 236.18 FEET TO THE EAST CORNER OF SAID PARCEL 2021-82; THENCE NORTH 45°42'50" WEST ALONG THE NORTHEASTERLY LINE OF SAID PARCEL 2021-82, A DISTANCE OF 226.86 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.25 ACRES (54,450 S.F).

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted Plat of Survey:

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Isaac Pezley, City Planner, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on June 11, 2026; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Clayton				
Jennings				
Johnsen				
Keeran				
Pitt				
Torres				
Vore				

Karen Keeran, Commission Chair

INDEX LEGEND

SURVEYOR'S NAME / RETURN TO:
 AUSTIN J. DAVENPORT
 SNYDER & ASSOCIATES, INC.
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020
 ADAVENPORT@SNYDER-ASSOCIATES.COM
 SERVICE PROVIDED BY:
 SNYDER & ASSOCIATES, INC.
 SURVEY LOCATED:
 PT. OUTLOT W
 HAWTHORNE CROSSING
 SEC. 31-80N-22W
 REQUESTED BY:
 DOWNING

PLAT OF SURVEY

PARCEL 2026-55 DESCRIPTION

A PART OF OUTLOT "W", HAWTHORNE CROSSING, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF BONDURANT, POLK COUNTY, IOWA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID OUTLOT "W"; THENCE NORTH 44°37'20" EAST ALONG THE NORTHWESTERLY LINE OF SAID OUTLOT "W", 183.08 FEET TO A NORTHERLY CORNER OF SAID OUTLOT "W"; THENCE NORTH 42°59'08" EAST CONTINUING ALONG SAID NORTHWESTERLY LINE, 46.93 FEET TO THE NORTH CORNER OF PARCEL 2021-82 AS SHOWN ON PLAT OF SURVEY RECORDED IN BOOK 18651, PAGE 556 IN THE OFFICE OF THE POLK COUNTY RECORDER AND TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 42°59'08" EAST ALONG SAID NORTHWESTERLY LINE, 236.24 FEET; THENCE SOUTH 45°42'50" EAST, 234.24 FEET TO THE SOUTHEASTERLY LINE OF SAID OUTLOT "W"; THENCE SOUTH 44°46'27" WEST ALONG SAID SOUTHEASTERLY LINE, 236.18 FEET TO THE EAST CORNER OF SAID PARCEL 2021-82; THENCE NORTH 45°42'50" WEST ALONG THE NORTHEASTERLY LINE OF SAID PARCEL 2021-82, A DISTANCE OF 226.86 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.25 ACRES (54,450 S.F.).

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

DATE OF SURVEY

04/24/2026

OWNER

WIL-RON PROPERTIES, LLC

BASIS OF BEARING

THE SOUTHEASTERLY LINE OF OUTLOT W, HAWTHORNE CROSSING, AN OFFICIAL PLAT, IS ASSUMED TO BEAR SOUTH 44°46'27" WEST FOR THE PURPOSE OF THIS SURVEY.

LINE TABLE

LINE #	LENGTH (FT)	DIRECTION
L1 M	46.93	N42° 59' 08"E
L1 P	46.93	N43° 09' 14"E
L2 M	183.08	N44° 37' 20"E
L2 P	183.08	S44° 47' 26"W
L3	259.52	S44° 46' 27"W

LEGEND

FEATURES

- PLSS Section Corner
- Land Survey Monument
(1/2" Rebar, OPC #P29380
Unless Otherwise Noted)
- R.O.W. Rail
- Centerline Reference Monument
(Cut "X", Unless Otherwise Noted)
- Calculated Corner
- Platted Distance
- Measured Bearing & Distance
- Recorded As
- Deed Distance
- Calculated Distance
- Orange Plastic Cap
- Centerline
- Section Line
- 1/4 Section Line
- 1/4 1/4 Section Line
- Easement Line

FOUND SET

- ▲
-
- ⊕
- ◆
- ⊕
- P
- M
- R
- D
- C
- OPC



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Austin J. Davenport, PLS Date
 License Number P29380
 My License Renewal Date is December 31, 2027
 Pages or sheets covered by this seal:
 Sheets 1 and 2, of 2

PT. OUTLOT W, HAWTHORNE CROSSING

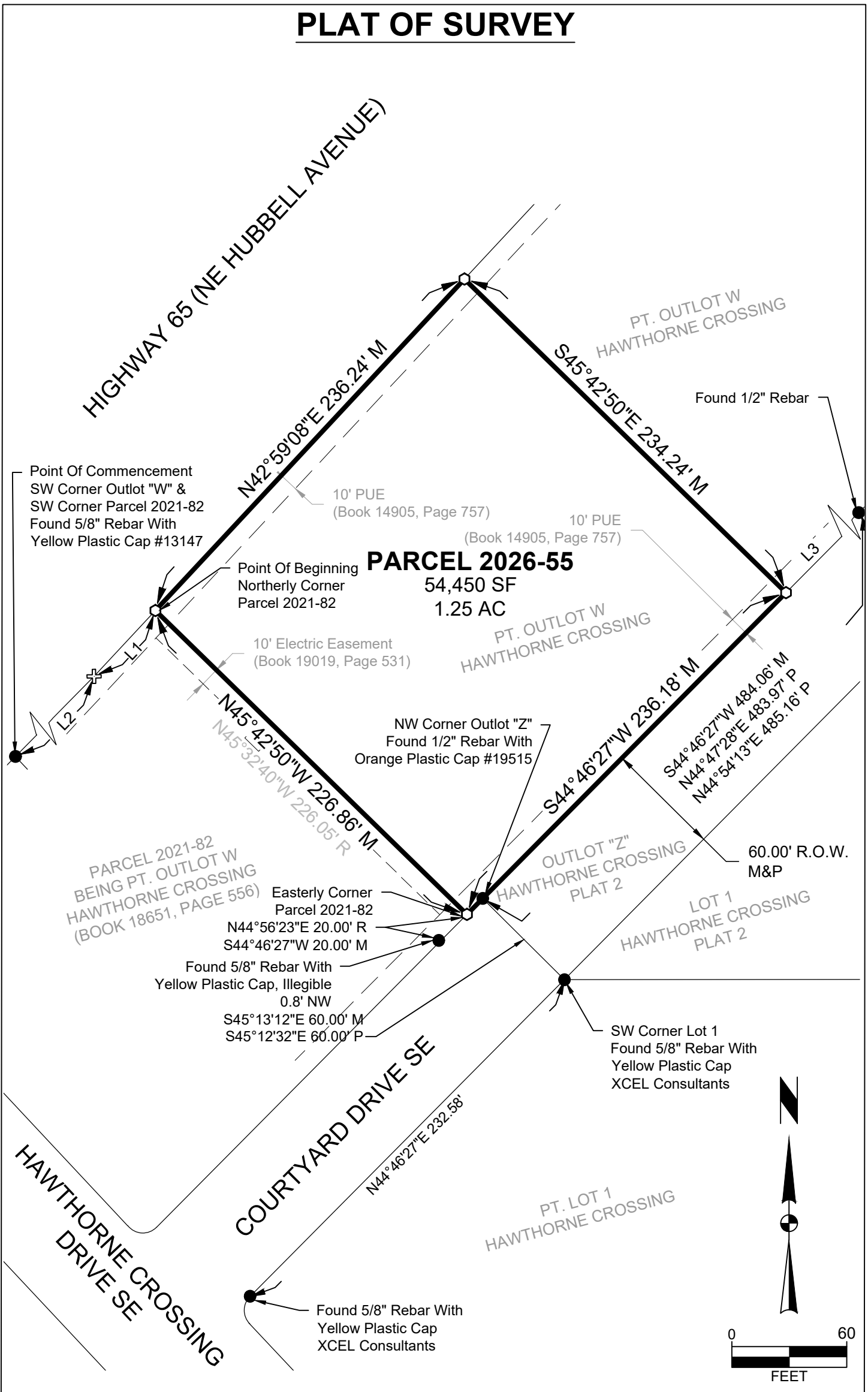
PLAT OF SURVEY

SHEET 1 OF 2
 PN: 126.0551.01
 T-R-S:80N-22W-31
 DATE: 04/24/2026
 PM/TECH: AJD



2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020

PLAT OF SURVEY



PT. OUTLOT W, HAWTHORNE CROSSING

PLAT OF SURVEY



2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020

SHEET 2 OF 2
PN: 126.0551.01
T-R-S:80N-22W-31
DATE: 04/24/2026
PM/TECH: AJD



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.b.
For Meeting of 6/11/2026
Resolution

TITLE: Resolution PZ-260611-21 — Consideration of Site Plan for 1400 Courtyard Drive SE.

CONTACT PERSON:

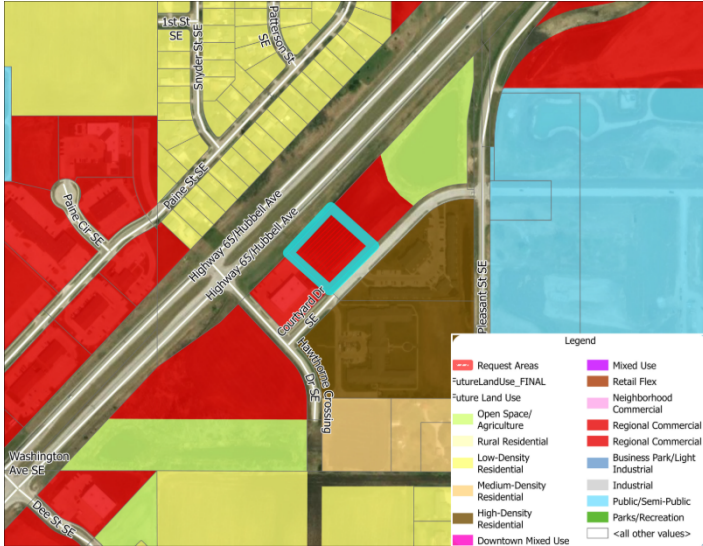
BRIEF HISTORY & ANALYSIS: The City is in receipt of a site plan for review by the Planning & Zoning Commission and City Council for the proposed building at 1400 Courtyard Drive SE. The site plan applicant and developer of the property is Invigorate Development Group LLC. The site plan was prepared by Snyder & Associates Inc. The applicant is proposing a 3,799 square foot dental office building. This property is zoned as being within the City's General Commercial (C-2) District. The property in question is outlined below in red.



When the Planning & Zoning Commission and City Council review site plans, they review for consistency with the following documents: Comprehensive Plan; Zoning Code; and Comments from City Officials.

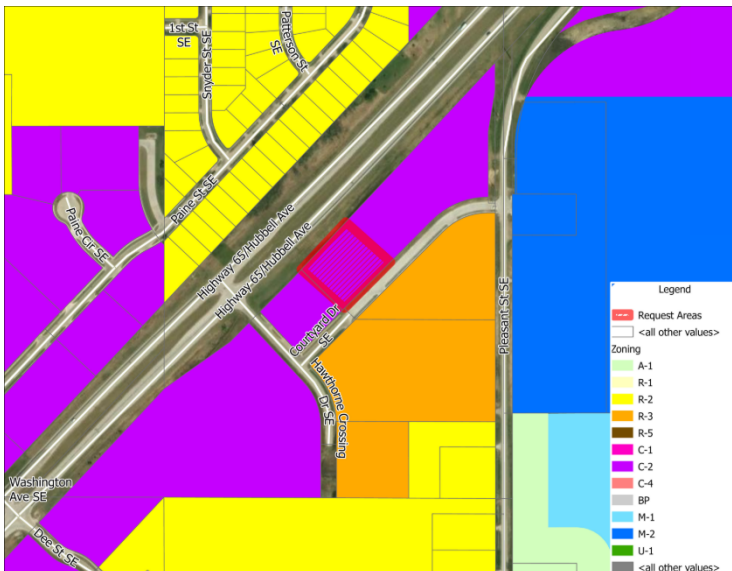
Consistency with the City's Comprehensive Plan:

The 2022 Comprehensive Plan guides for Industrial development in this area. The property in question is outlined in blue below.



Consistency with the City's Zoning Code:

Below are notes detailing how the Zoning Code is met for this request or what additional information is needed to ensure the Code will be met for this development.



General Use & Bulk Standards

- The site plan states setback requirements on page 3.
- The site plan shows no outdoor storage on site.

- The site plan shows a 3,799 square foot building access from Courtyard Drive SE.

Parking/Drive Areas

- Access to the site is available from Courtyard Drive SE. The property also has street frontage on Hubbell Avenue.
- The site plan shows parking area with thirty (30) parking spaces. Two parking spaces are designated as ADA parking.
- Page 3 states the parking area will be 6" PCC Pavement.

Stormwater, Utilities & Natural Features

- A stormwater management report has been submitted for review by the City Engineer. The City Engineer is still reviewing the stormwater management report at this time.
- The site is not located within FEMA's 100-year floodplain.
- This site is not located within the City's Stream Buffer Ordinance area.

ARCHITECTURAL STANDARDS

- Architectural elevations have been submitted to staff.
- The applicant has made several requests regarding architectural design standards. Staff are reviewing those requests.

Other Site Plan Features

- A landscaping plan was submitted. The landscaping plan meets requirements for general tree and grass requirements.
- The site plan shows no parking lot lights, all lighting on-site will be on the proposed building.

Comments from City Officials:

The following City departments were notified of the submitted site plan:

- Public Works - reviewed and no comments have been received at this time.
- Engineering – still being reviewed by engineering staff.
- Fire Department - reviewed and no comments have been received at this time

FUNDING SOURCE:

STAFF RECOMMENDATION:

The following options exist for the Planning & Zoning Commission:

- 1. Recommended approval of RESOLUTION NO. PZ-260611-20.
- 2. Recommended approval of RESOLUTION NO. PZ-260611-20, subject to certain Zoning Code clarification items being addressed.
- 3. Recommended denial of RESOLUTION NO. PZ-260611-20.
- 4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

- 1. RESOLUTION NO. PZ-260611-20
- 2. Site Plan
- 3. Architectural Design Elevations

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-260611-20

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE SITE PLAN FOR
1400 COURTYARD DRIVE SE.

WHEREAS, Snyder & Associates, Inc, on behalf of the property developer Invigorate Development Group LLC, has submitted the site plan for 1400 Courtyard Drive SE described as follows;

A PART OF OUTLOT "W", HAWTHORNE CROSSING, AN OFFICIAL PALT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF BONDURANT, POLK COUNTY, IOWA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

WHEREAS, the zoning for the property is General Commercial (C-2) and dentist office use is a permitted use of the Zoning Code;

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted site plan for 1400 Courtyard Drive SE subject to the following City Code/Policy clarification recommendation items;

1. Plat of Survey creating Parcel 2026-55 is approved.
2. Site Plan shall be updated to reflect review comments from City staff submitted to the applicants.
3. Site Plan shall be updated to reflect any comments received from Engineering.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Isaac Pezley, City Planner, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on June 11, 2026; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair

SITE PLAN FOR BONDURANT DENTAL

1400 COURTYARD DRIVE SE
CITY OF BONDURANT, POLK COUNTY, IOWA

OWNER / DEVELOPER
 INVIGORATE DEVELOPMENT GROUP, LLC
 509 E SCENIC VALLEY AVENUE
 INDIANOLA, IOWA 50125
 CONTACT: JUSTIN BROWN
 PHONE: 515-961-5386
 EMAIL: JUSTINB@DOWNINGCONSTRUCT.COM



VICINITY MAP

Index of Sheets

- C100 TITLE SHEET
- C101 PROJECT INFORMATION
- C200 DIMENSION PLAN
- C300 GRADING AND EROSION CONTROL PLAN
- C400 UTILITY PLAN
- C500 PLANTING PLAN

MARK	AS PER CITY COMMENTS	REVISION	DATE	BY
1			06-10-26	KS
Engineer: ENGR	Checked By: MAA			
Technician: TLS	Date: 06/21/2026	T-R-S: TTN-RRW-SS		
Project No: 126.0551.01				Sheet C100

BONDURANT DENTAL

BONDURANT, IOWA

TITLE SHEET

SNYDER & ASSOCIATES, INC. I

2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com



Project No: 126.0551.01

Sheet C100

PRELIMINARY SET

LEGEND

Table with 3 columns: FEATURES, FOUND, SET. Lists various survey features like Section Corner, ROW Marker, Control Point, Bench Mark, etc.

Table with 3 columns: FEATURES, EXISTING, PROPOSED. Lists features like Spot Elevation, Contour Elevation, Fence, etc. with corresponding symbols.

Table with 3 columns: FEATURES, FOUND, SET. Lists utility features like Fire Hydrant, Water Main Valve, Well, Utility Pole, etc.

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESSES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED.

CONTROL POINTS

- IOWA REGIONAL COORDINATE SYSTEM ZONE 8 (IA-AMES-DSM) NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET
CP100 N=7527590.24 E=18573557.42 Z=981.56
CP101 N=7527736.64 E=18573371.42 Z=982.14
CP102 N=7528018.63 E=18573546.56 Z=983.16
CP103 N=7527797.53 E=18573763.43 Z=979.51

BENCHMARKS

- NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID18) IARTN DERIVED - US SURVEY FEET
BM500 N=7527691. E=18573712- Z=982.00
BURY BOLT ON HYDRANT LOCATED AT MIDDLE ENTRNACE TO HAWTHORNE CROSSING, SOUTH SIDE OF COURTYARD DRIVE SE. (AS SHOWN ON SURVEY)

DATE OF SURVEY

APRIL 20, 2026

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552602879.

Table with 3 columns: Utility Type, Contact Name, Contact Info. Lists contacts for Gas Main, No Response, Under-ground Electric, No Response, Clear Per Map, Clear Per Map, No Response.



SITE PLAN GENERAL NOTES

- 1. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION.
2. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE 2026 SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOILS REPORTS PREPARED BY OTHERS.
3. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
4. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

SURVEY AND UTILITY GENERAL NOTES

- 1. BUILDING LINES AND CORNERS ARE FOR USE IN PREPARING CIVIL SITE PLAN DOCUMENTS. BUILDING CORNERS AND BUILDING LINES SHOULD BE SPECIFICALLY VERIFIED, AS NECESSARY, PRIOR TO DESIGN FOR CONSTRUCTION OF ANY PROPOSED EXPANSION OR CONNECTION OF BUILDING COMPONENTS.
2. FOR CLARITY PURPOSES, SURVEY SPOT ELEVATIONS ARE NOT SHOWN ON THIS SURVEY, BUT ARE CONTAINED WITHIN THE DIGITAL CADD FILES.
3. FOR THE PURPOSE OF THIS SURVEY, STORM SEWER, SANITARY SEWER AND WATER MAIN LINES ARE ASSUMED TO FOLLOW A STRAIGHT LINE FROM STRUCTURE TO STRUCTURE.

PROPERTY DESCRIPTION

LOT SIZE: 54,450 SF (1.25 AC)

PROPERTY ADDRESS

1400 COURTYARD DRIVE SE

PROPOSED USE

DENTAL CLINIC (3,799 SF)

ZONING

C-2: GENERAL COMMERCIAL DISTRICT

BULK REGULATIONS

Table with 2 columns: Regulation, Value. Lists setbacks, bulk regulations, and open space requirements.

OPEN SPACE

Table with 2 columns: Requirement, Value. Lists open space and impervious area requirements.

PARKING REQUIREMENTS

1 SPACE / GROSS FLOOR AREA DENTAL OFFICE

Table with 2 columns: Proposed Building, Parking Spaces. Lists parking requirements for the proposed building.

POLLUTION PREVENTION NOTES

- A. POLLUTION PREVENTION AND EROSION PROTECTION
1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE.
2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY.
B. STORM WATER DISCHARGE PERMIT
1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR.

Table with 3 columns: AS PER CITY COMMENTS, REVISION, CHECKED BY, DATE. Lists revision information.

BONDURANT, IOWA
PROJECT INFORMATION
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

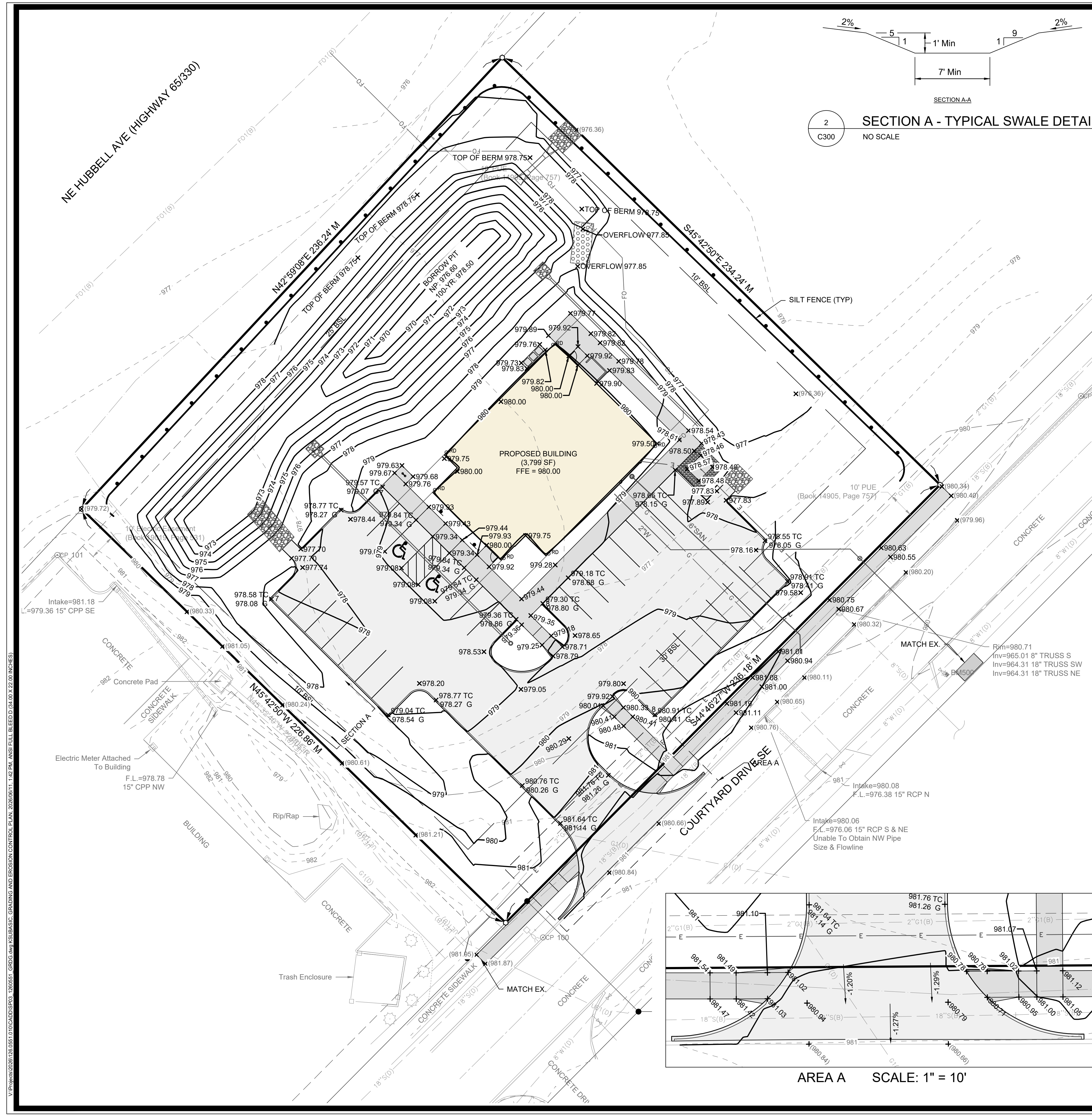
BONDURANT DENTAL
PROJECT INFORMATION
SNYDER & ASSOCIATES, INC. I



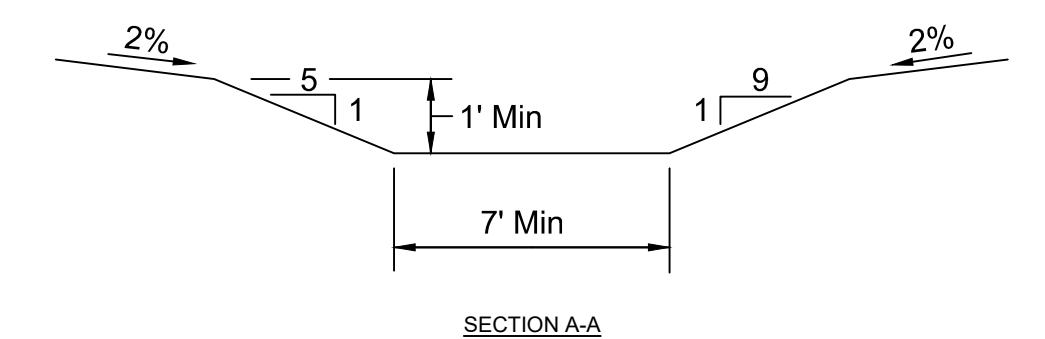
Project No: 126.0551.01
Sheet C101

PRELIMINARY SET

Vertical text on the left edge: I:\Projects\2026\2026.05.10\CAD\DWG\01 - 2026.05.10 - 1.42 PM - ANS (BILL BLEED) (3, 0.0, 0.0, 0.0, 0.0, 0.0) INCHES



SECTION A - TYPICAL SWALE DETAIL
NO SCALE



GRADING PLAN GENERAL NOTES

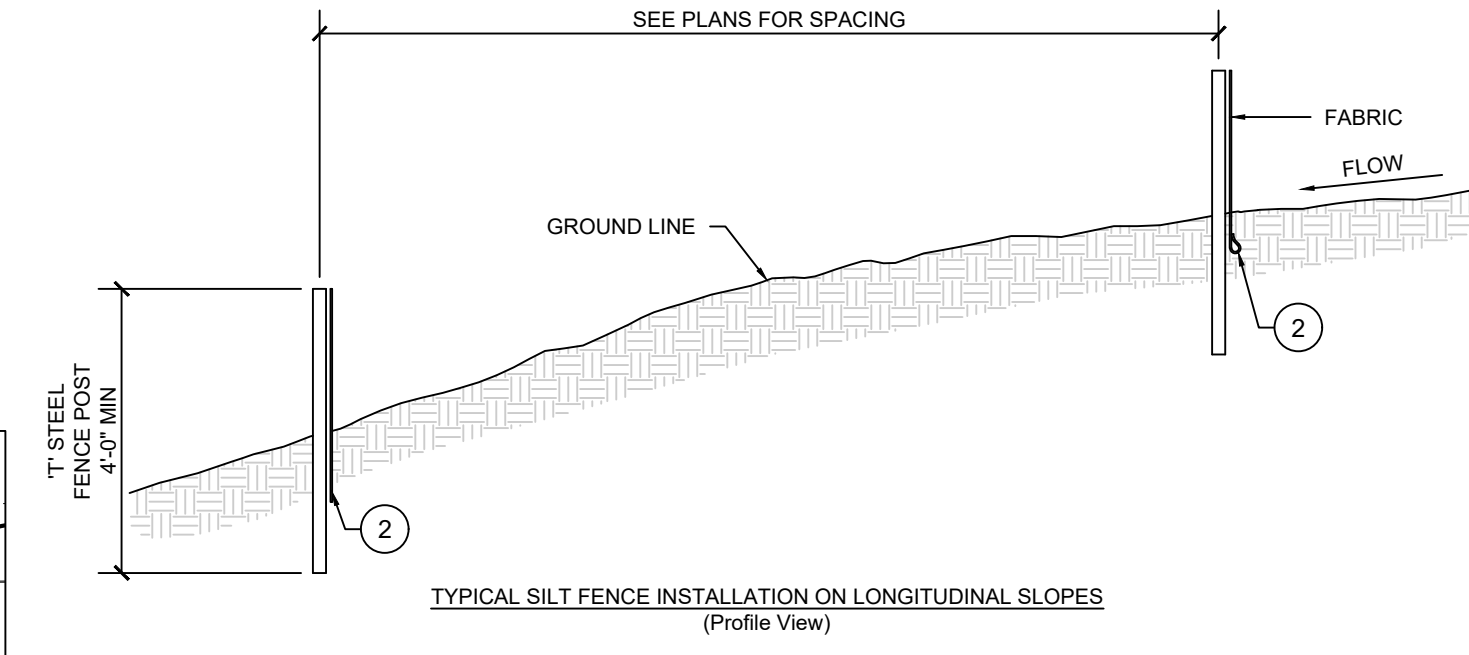
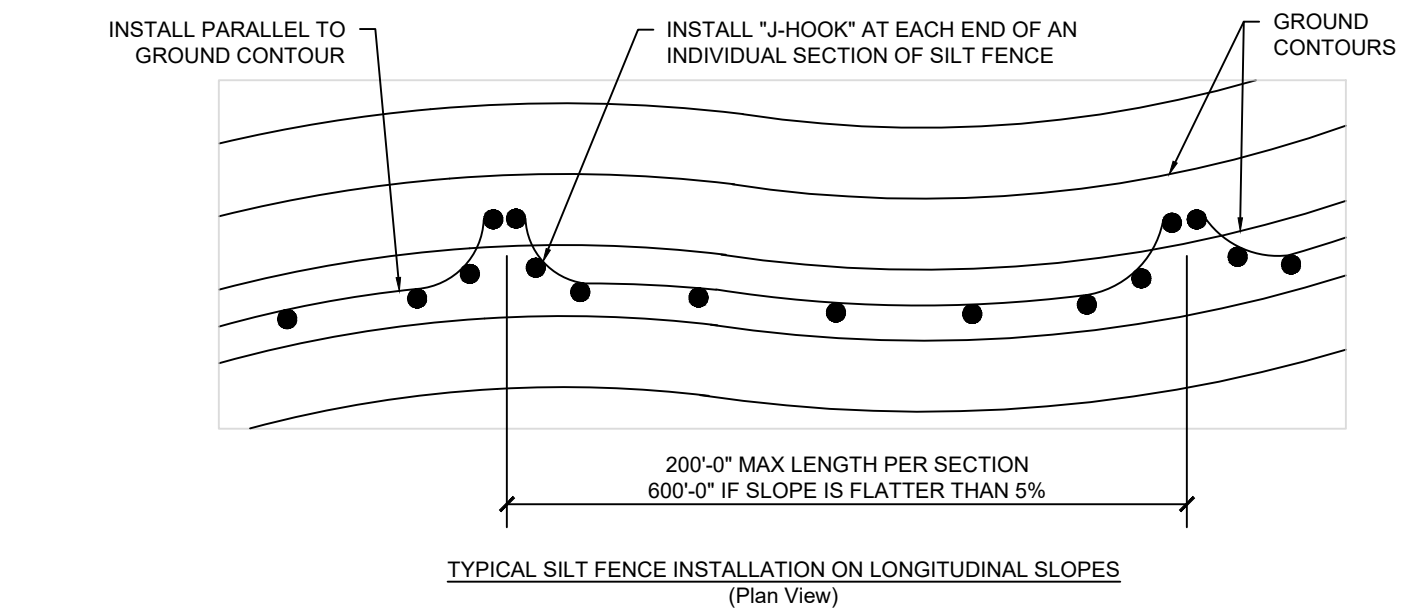
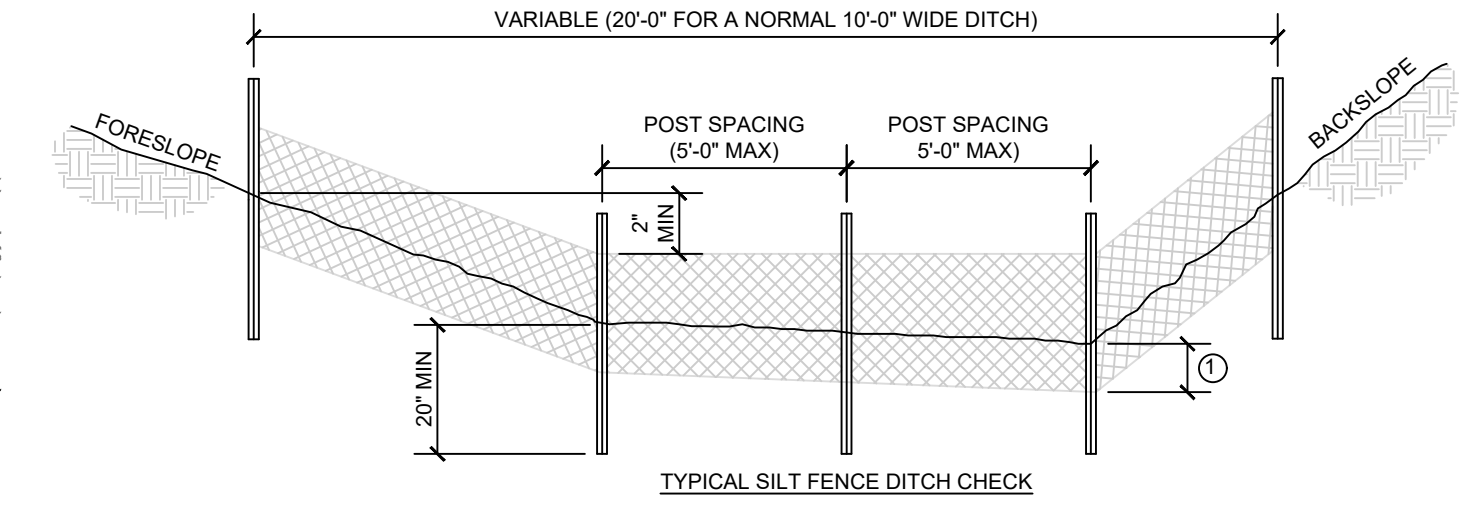
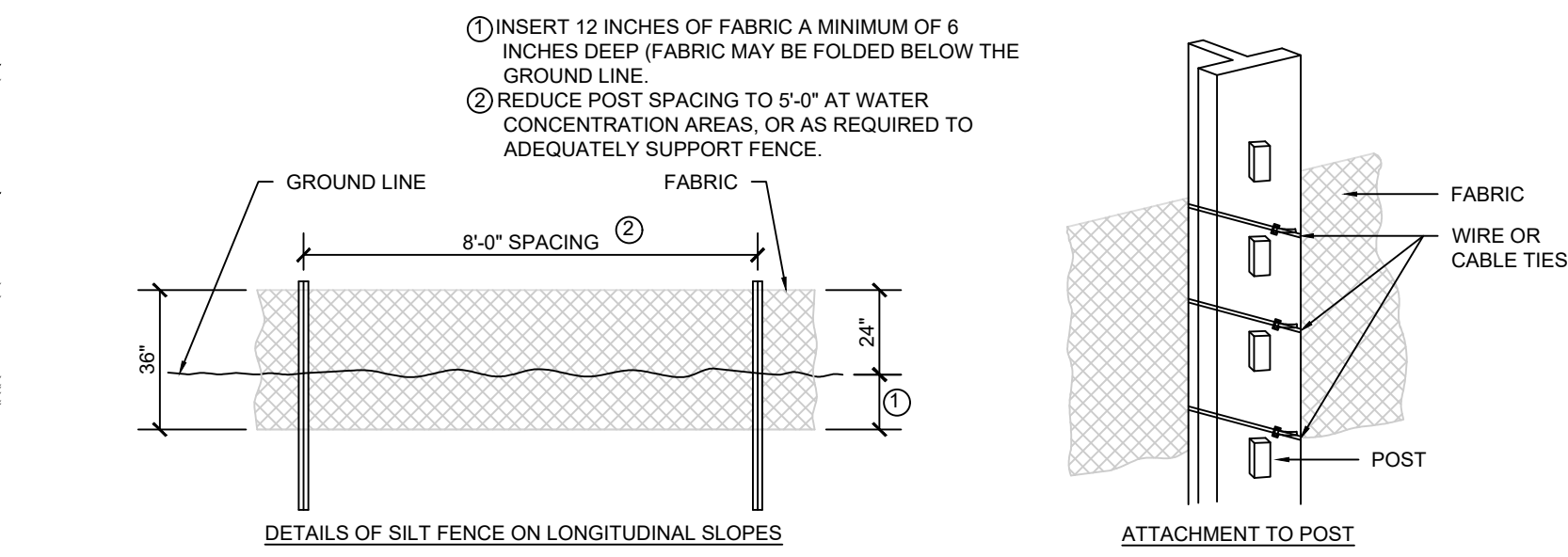
- A. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- B. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
- C. ALL DRAINAGE SWALES AND SLOPES 5 TO 1 OR GREATER TO BE SEEDED USING COMMERCIALY AVAILABLE EROSION CONTROL SEED. MIXTURE APPLIED AT RATE RECOMMENDED BY SUPPLIER.
- D. EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
- E. PROVIDE BELOW GRADE INLET PROTECTION IN PAVED AREAS FOLLOWING PAVING OPERATIONS.

QUANTITIES

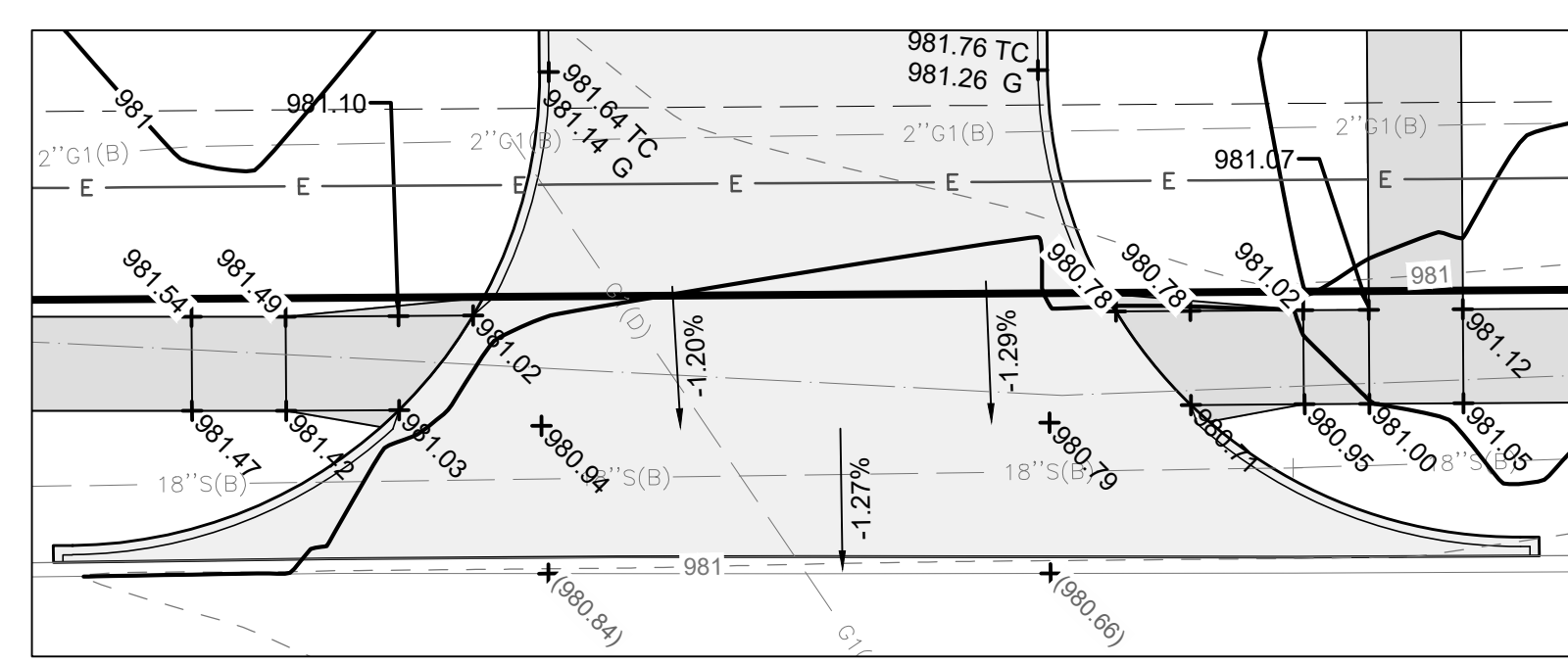
SILT FENCE = 446 LF

BENCHMARKS

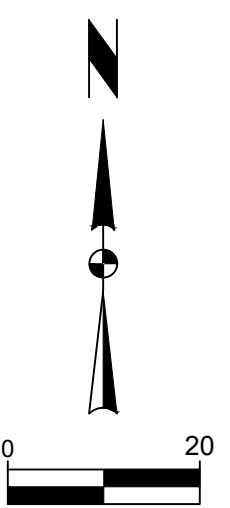
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID18)
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BURY BOLT ON HYDRANT LOCATED AT MIDDLE ENTRANCE TO HAWTHORNE CROSSING, SOUTH SIDE OF COURTYARD DRIVE SE. (AS SHOWN ON SURVEY)



1 SILT FENCE DETAIL
NO SCALE



AREA A SCALE: 1" = 10'



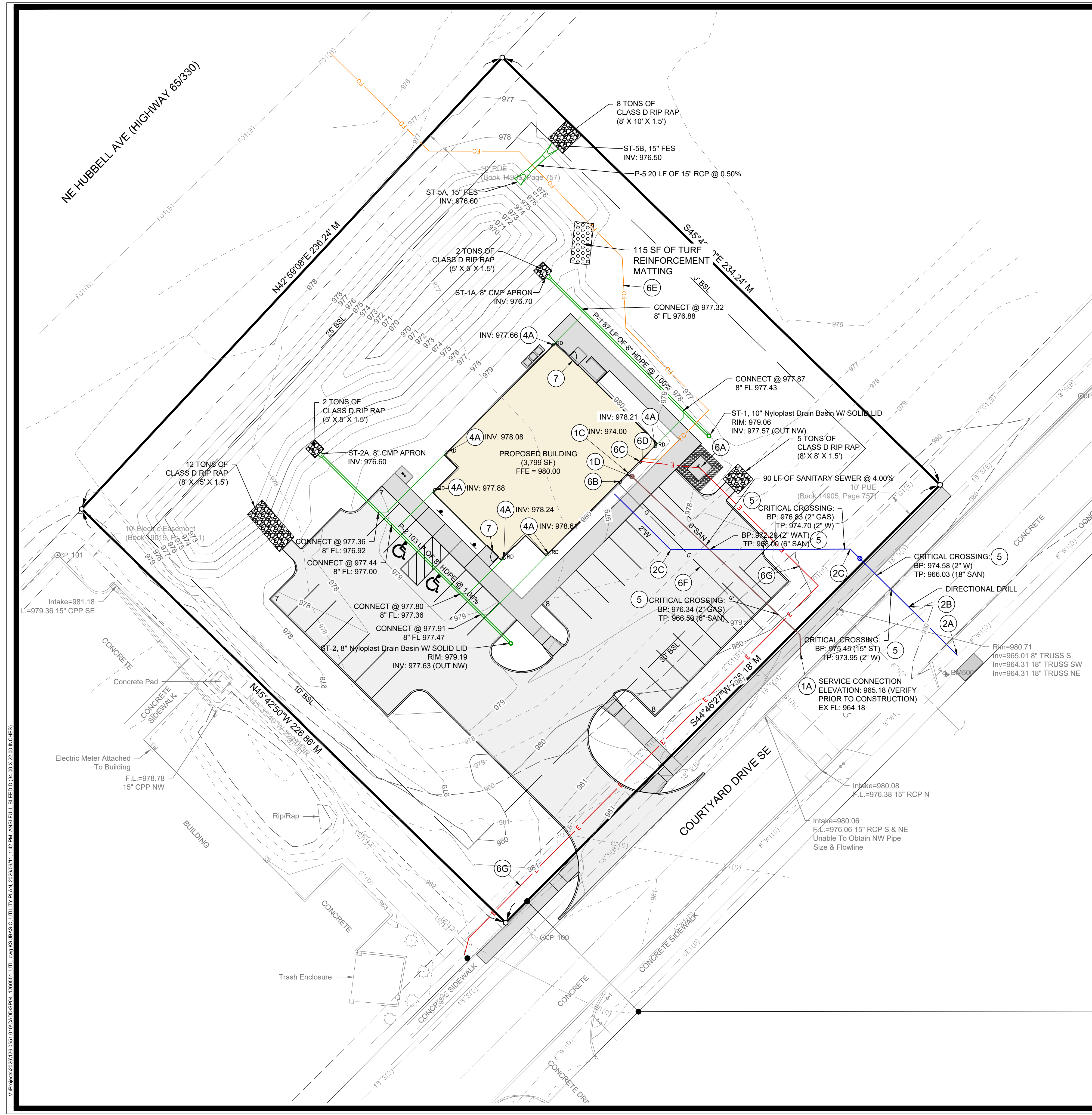
AS PER CITY COMMENTS	06-10-26	KS	BY
REVISION	DATE		
1			
Checked By: MAA	Date: 05/21/2026	T-R-S: TTN-RRW-SS	
Engineer: ENGR			
Technician: TLS			
Project No: 126.0551.01			Sheet C300

BONDURANT, IOWA
GRADING AND EROSION CONTROL PLAN
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Project No: 126.0551.01
Sheet C300

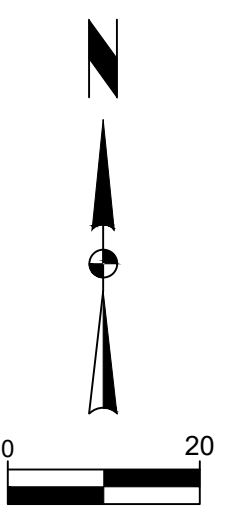
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I:\Projects\2020\126.0551\126.0551_UTILITY PLAN_2020\0811_1.42 PM_ANSI FULL BLEED\0.94.00 X 22.00 INCHES



UTILITY PLAN CONSTRUCTION NOTES

- SANITARY SEWER SERVICE FROM THE CITY OF BONDURANT. PROVIDE AND INSTALL THE FOLLOWING:
 - CONNECT TO EXISTING SANITARY SEWER SERVICE MAIN. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. COORDINATE CONNECTION WITH CITY OF BONDURANT. CONTRACTOR SHALL NOTE THE EXISTING SANITARY SEWER IS 18" DIAMETER AND APPROXIMATELY 16 TO 17 FEET DEEP IN THIS AREA.
 - 6" SDR 23.5 PVC SANITARY SEWER SERVICE LINE AT 2.08% SLOPE (1/4" PER FOOT) MINIMUM. PROVIDE 1:1 RISER AS NECESSARY AT SERVICE CONNECTION TO MATCH INVERT AT CLEANOUT.
 - COORDINATE THE EXACT LOCATION AND DEPTH WHERE SANITARY SEWER SERVICE LINE ENTERS THE BUILDING WITH THE ARCHITECTURAL AND MECHANICAL PLANS PRIOR TO CONSTRUCTION.
 - SANITARY CLEANOUT (5' OUTSIDE BUILDING).
- WATER SERVICE. PROVIDE THE FOLLOWING:
 - CONNECTION TO EXISTING WATER MAIN UTILIZING 2" SERVICE SADDLE AS PER CITY OF BONDURANT REQUIREMENTS.
 - 2" TYPE 'K' COPPER WATER SERVICE LINE. DIRECTIONAL DRILL SERVICE LINE UNDER COURTYARD DRIVE SE. COORDINATE WITH THE CITY OF BONDURANT FOR REQUIREMENTS. PROVIDE CURB STOP AND FITTINGS AS REQUIRED. 5.5' MINIMUM BURY DEPTH.
 - 45° BEND.
- CONTRACTOR TO MAINTAIN 18" MINIMUM SEPARATION BETWEEN UTILITIES. VERIFY SEPARATION PRIOR TO CONSTRUCTION.
- PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN.
 - CONNECT ROOF DRAINS TO SHOWN STORM SEWER WITH MINIMUM 6" (VERIFY SIZE) HDPE STORM PIPE AT 2% SLOPE. CONTRACTOR TO COORDINATE FINAL DOWNSPOUT LOCATIONS WITH ARCHITECTURAL AND MECHANICAL PLANS. EXTEND DOWNSPOUT LEADER MINIMUM 12" ABOVE FINISHED GRADE AT BUILDING FACE.
- CRITICAL CROSSING. CONTRACTOR TO MAINTAIN MINIMUM 18" SEPARATION.
- SITE AMENITIES. PROVIDE THE FOLLOWING:
 - TRANSFORMER PAD. CONTRACTOR TO COORDINATE DETAILS/PERMITTING AND INSTALLATION WITH MID AMERICAN ENERGY PRIOR TO START OF CONSTRUCTION.
 - GAS METER. SEE ARCHITECTURAL AND MECHANICAL PLANS.
 - ELECTRIC METER. SEE ARCHITECTURAL AND MECHANICAL/ELECTRICAL PLANS.
 - CABLE/DATA BOX. SEE MECHANICAL AND ELECTRICAL PLANS FOR DETAILS.
 - COMMUNICATION SERVICE. CONTRACTOR TO COORDINATE PERMITTING/INSTALLATION WITH SERVICE PROVIDER AS REQUIRED. AN IDOT UTILITY ACCOMMODATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE HIGHWAY 65/330 RIGHT-OF-WAY. A COPY OF THIS PERMIT SHOULD BE KEPT ON SITE AT ALL TIMES.
 - GAS SERVICE. CONTRACTOR TO COORDINATE PERMITTING/INSTALLATION WITH SERVICE PROVIDER AS REQUIRED. REFER TO MECHANICAL PLANS FOR SERVICE SIZE.
 - ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE PERMITTING/INSTALLATION WITH SERVICE PROVIDER AS REQUIRED. COORDINATE WITH MECHANICAL AND ELECTRICAL PLANS FOR DETAILS.
- SITE LIGHTING: SITE LIGHTING SHOWN ARE WALL PACKS AT ENTRY DOORS FOR SECURITY ONLY. THERE IS NO PROPOSED PARKING LOT LIGHTING FOR THIS PROJECT.



PRELIMINARY SET

AS PER CITY COMMENTS	06-10-26	KS	BY
REVISION	DATE		
Checked By: MAA	Date: 05/21/2026	T-R-S: TTN-RRW-SS	
Engineer: ENGR	Technician: TLS		
Project No: 126.0551.01			Sheet C400

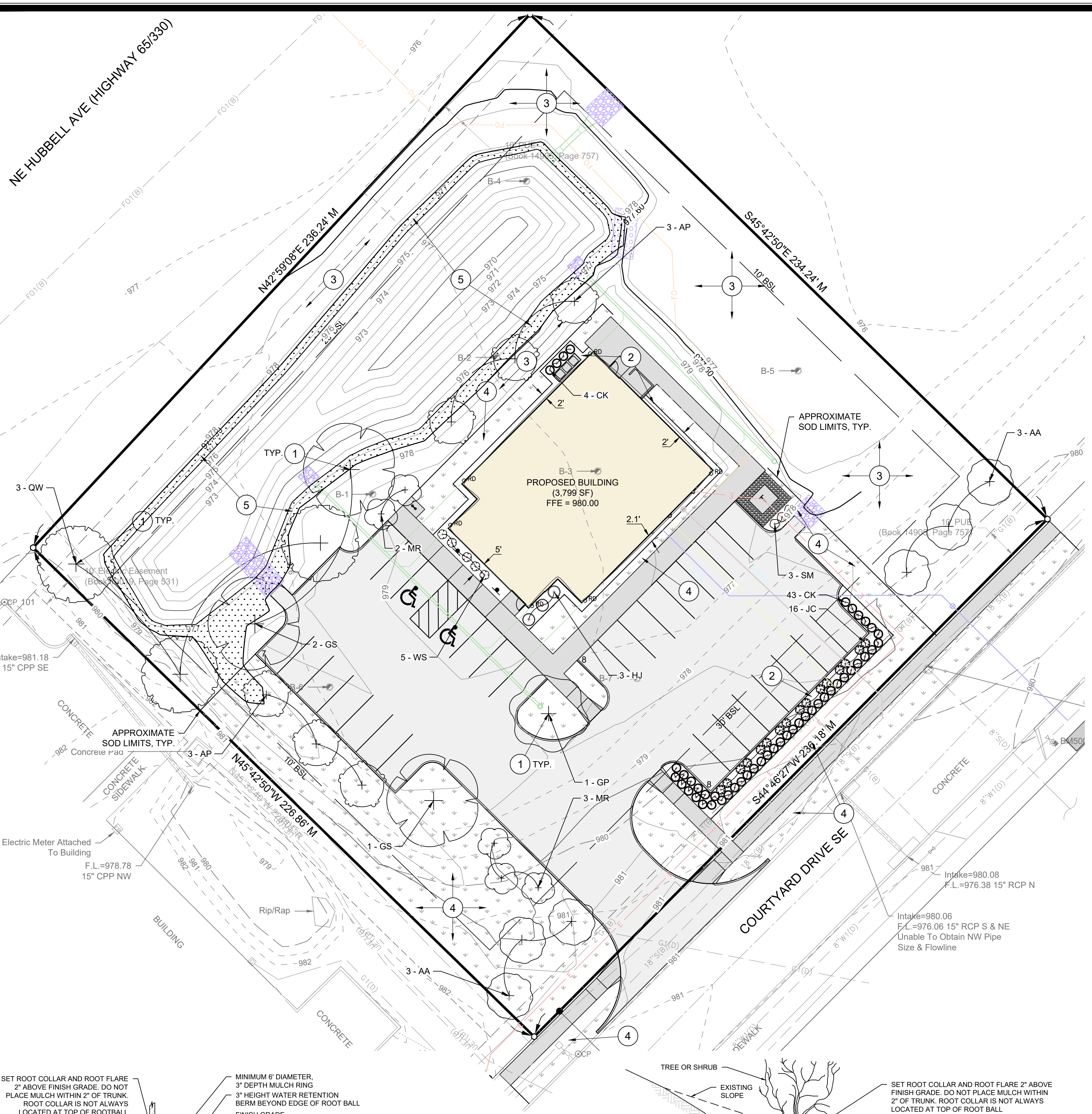
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Project No: 126.0551.01
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NE HUBBELL AVE (HIGHWAY 65/330)



PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

PLANTING PLAN CONSTRUCTION NOTES

- 1. PROVIDE A MINIMUM 3-FOOT PERIMETER RING AROUND ALL TREES. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES.
- 2. PROVIDE 3-INCH SHREDDED HARDWOOD MULCH PLACED TO A DEPTH OF 4-INCHES WITH WEED BARRIER FABRIC UNDERLAYMENT AND METAL EDGER IN PLANT BED AREAS SHOWN ON PLAN.
- 3. SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH TYPE 1 SUDAS PERMANENT LAWN SEED MIX, UNLESS NOTED OTHERWISE.
- 4. SOD AREAS MARKED.
- 5. PROVIDE DETENTION BASIN SEED MIX AS PROVIDED BY PRAIRIE MOON NURSERY. WWW.PRAIRIEMOON.COM, 32115 PRAIRIE LANE, WINONA, MN 55987, OR APPROVED EQUAL. SEEDING RATE: 11.48 LBS/ACRE. INSTALL AS PER SUDAS SPECIFICATIONS 9010 SEEDING.

PLANTING PLAN REQUIREMENTS

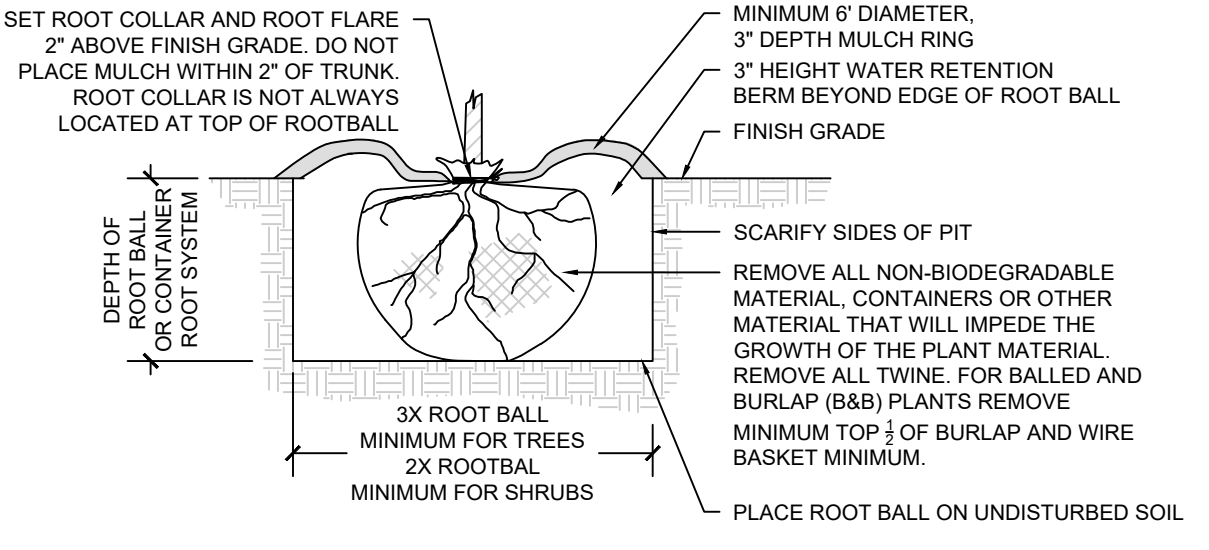
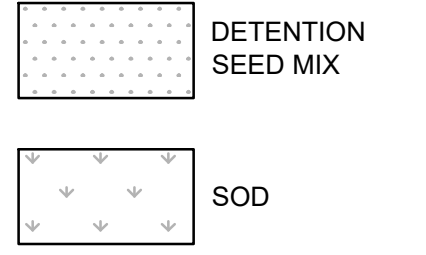
LANDSCAPE REQUIREMENTS AND CALCULATIONS:
(AS PER CITY OF BONDURANT SITE PLAN OPEN SPACE AND LANDSCAPING REQUIREMENTS)

MINIMUM OPEN SPACE	54,450 SF (1.25 ACRES) x 20%	= 10,890 SF REQUIRED (38,513 SF PROVIDED)
54,450 SF TOTAL		
17,985 SF BUILDINGS, STRUCTURES, AND PARKING AREAS (IMPERVIOUS AREA)		
36,465 SF OPEN SPACE		
MINIMUM OPEN SPACE PLANTINGS	10,890 SF / 2,000	= 5.45 PLANT UNITS
5.45 PU x 1 SHADE TREES		= 5.45 SHADE TREES REQUIRED (6 SHADE TREES PROVIDED)
5.45 PU x 2 ORN. TREES		= 10.9 ORN. TREES REQUIRED (11 ORN. TREES PROVIDED)
5.45 PU x 2 SHRUBS		= 10.9 SHRUBS REQUIRED (11 SHRUBS PROVIDED)
PARKING LOT ISLAND TREE REQUIREMENTS	1 SHADE TREE PER PARKING LOT ISLAND	= 1 SHADE TREE REQUIRED (1 SHADE TREE PROVIDED)
1 PARKING LOT ISLAND		
PARKING LOT SCREENING LANDSCAPE REQUIREMENTS	236 LF / 40 LF	= 5.90 PU
5.90 PU x 1 SHADE TREE		= 5.90 SHADE TREES REQUIRED (6 SHADE TREES PROVIDED)
5.90 PU x 10 SHRUBS OR GRASSES		= 59.0 SHRUBS OR GRASSES REQUIRED (16 SHRUBS PROVIDED, 43 GRASSES PROVIDED)

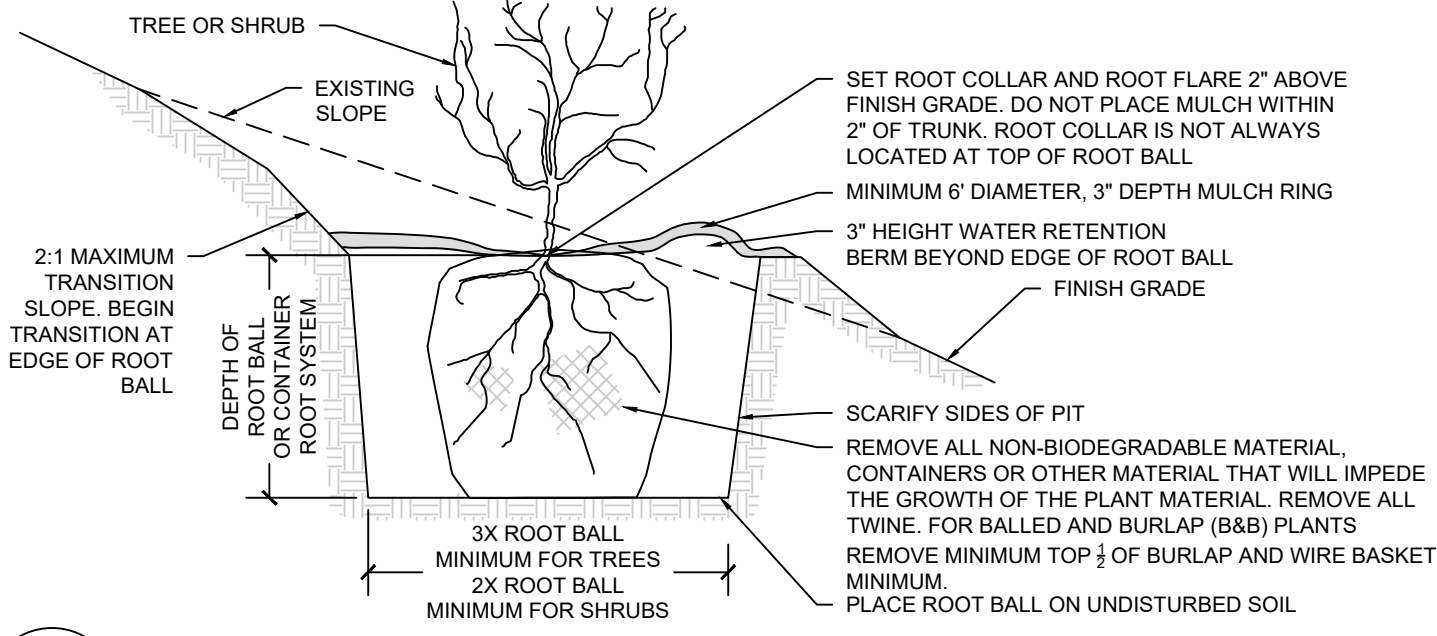
PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
CANOPY TREES					
AA	6	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	2" Cal.	B&B
GP	1	Ginkgo biloba 'PNI 2720'	Princeton Sentry® Maidenhair Tree	2" Cal.	B&B
GS	3	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	2" Cal.	B&B
QW	3	Quercus x warei 'Long'	Regal Prince® Oak	2" Cal.	B&B
ORNAMENTAL TREES					
AP	6	Amelanchier x grandiflora 'Princess Diana'	Princess Diana Apple Serviceberry	1.5" Cal.	B&B
MR	5	Malus x 'Royal Gem'	Royal Gem Crabapple	1.5" Cal.	B&B
SHRUBS					
HJ	3	Hydrangea paniculata 'Jane'	Little Lime® Panicle Hydrangea	3 GAL	
JC	16	Juniperus communis 'Gold Cone'	Gold Cone Common Juniper	3 GAL	
SM	3	Spiraea japonica 'Walburna'	Magic Carpet Japanese Spirea	3 GAL	
WS	5	Weigela florida 'Bokraspiwi'	Spilled Wine® Weigela	3 GAL	
PERENNIALS					
CK	47	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 GAL	

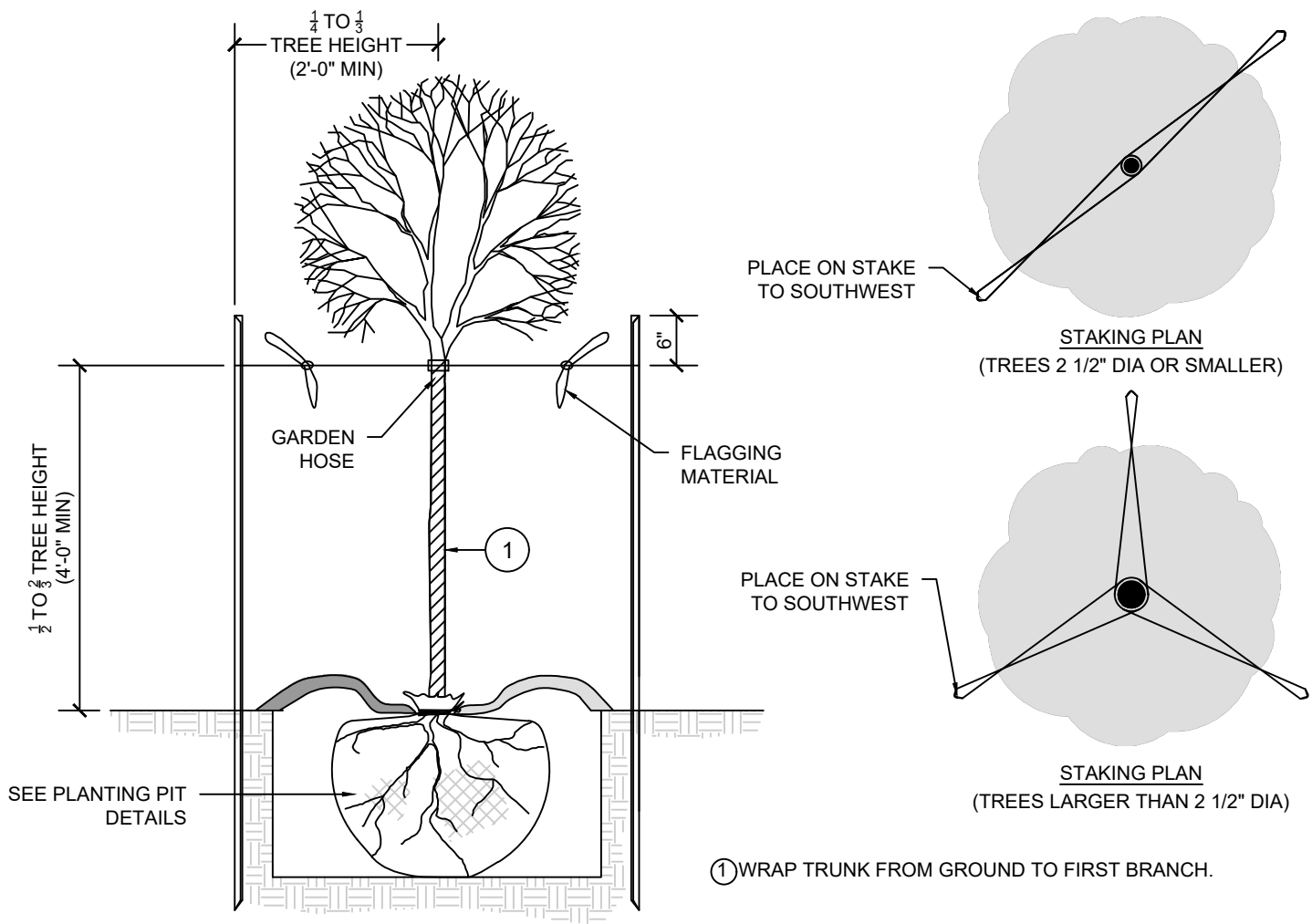
PLANTING LEGEND



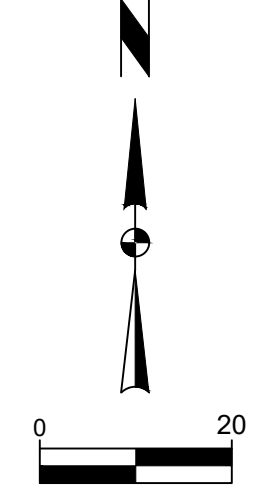
1 TYPICAL PLANTING PIT
C500 NO SCALE



2 PLANTING PIT ON A SLOPE
C500 NO SCALE



3 DECIDUOUS TREES STAKING DETAIL
C500 NO SCALE



PRELIMINARY SET

AS PER CITY COMMENTS	06-10-26	KS	BY
REVISION	DATE		
1			
MARK	Checked By: MAA		
ENGR	Date: 05/21/2026		
Technician: TLS	T-R-S: TTN-RRW-SS		
Project No: 126-0551.01			Sheet C500

BONDURANT, IOWA
BONDURANT DENTAL
PLANTING PLAN
SNYDER & ASSOCIATES, INC. I

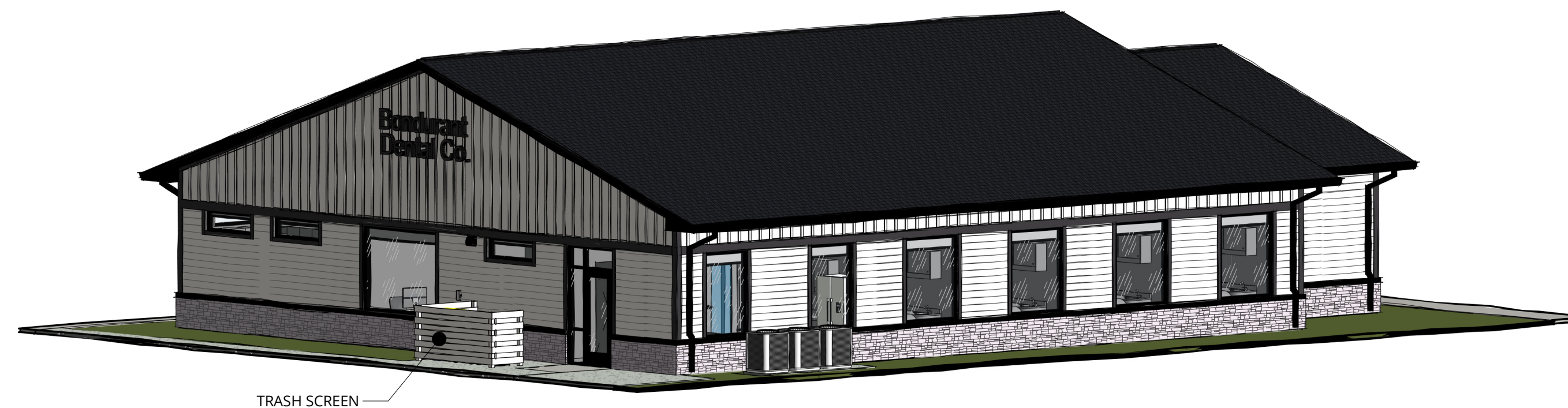
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 Project No: 126.0551.01
 Sheet C500

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1 **3D - Presentation - Front**
SCALE:

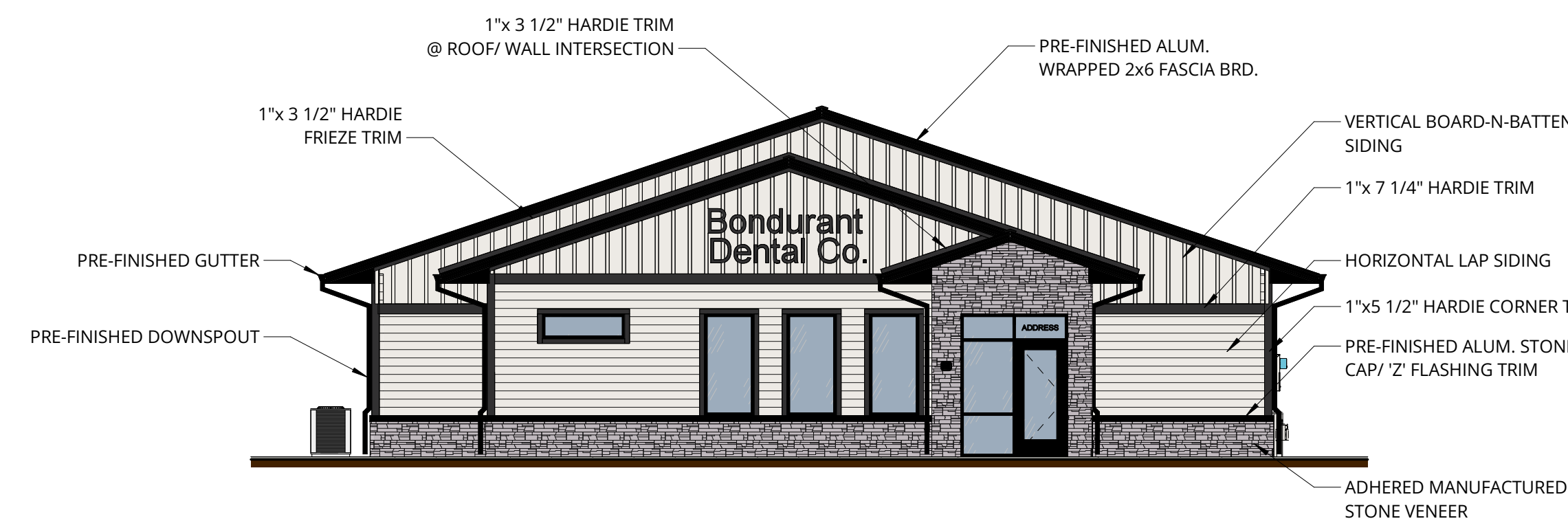


2 **3D - Presentation - Rear**
SCALE:

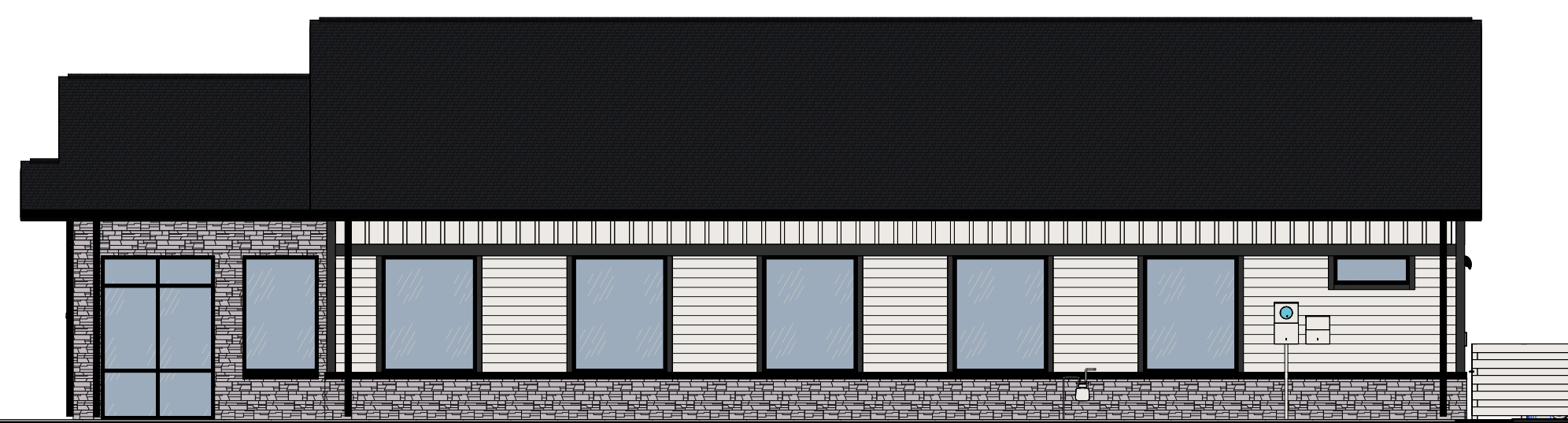
CODE - ELEVATION MATERIAL PERCENTAGES		
ELEVATION	WALL AREA	% OF TOTAL
EAST (SECONDARY FACADE)		
Exterior Calcs - Class-1-Adhered Manufactured Stone Veneer	124 SF	8%
Exterior Calcs - Class-1-Glazing	115 SF	8%
Exterior Calcs - Class-2-Hardiepanel Siding	631 SF	42%
Exterior Calcs - Class-3-HardieLap Siding	631 SF	42%
	1,501 SF	100%
NORTH/ REAR (PRIMARY FACADE)		
Exterior Calcs - Class-1-Adhered Manufactured Stone Veneer	187 SF	13%
Exterior Calcs - Class-1-Glazing	210 SF	15%
Exterior Calcs - Class-2-Hardiepanel Siding	631 SF	45%
Exterior Calcs - Class-3-HardieLap Siding	384 SF	27%
	1,412 SF	100%
SOUTH/ FRONT (PRIMARY FACADE)		
Exterior Calcs - Class-1-Adhered Manufactured Stone Veneer	219 SF	15%
Exterior Calcs - Class-1-Glazing	238 SF	17%
Exterior Calcs - Class-2-Hardiepanel Siding	631 SF	45%
Exterior Calcs - Class-3-HardieLap Siding	327 SF	23%
	1,415 SF	100%
WEST (SECONDARY FACADE)		
Exterior Calcs - Class-1-Adhered Manufactured Stone Veneer	176 SF	12%
Exterior Calcs - Class-1-Glazing	119 SF	8%
Exterior Calcs - Class-2-Hardiepanel Siding	576 SF	40%
Exterior Calcs - Class-3-HardieLap Siding	576 SF	40%
	1,447 SF	100%

CLASS 1 & 2 CALCULATIONS = 73%

CLASS 1 & 2 CALCULATIONS = 77%



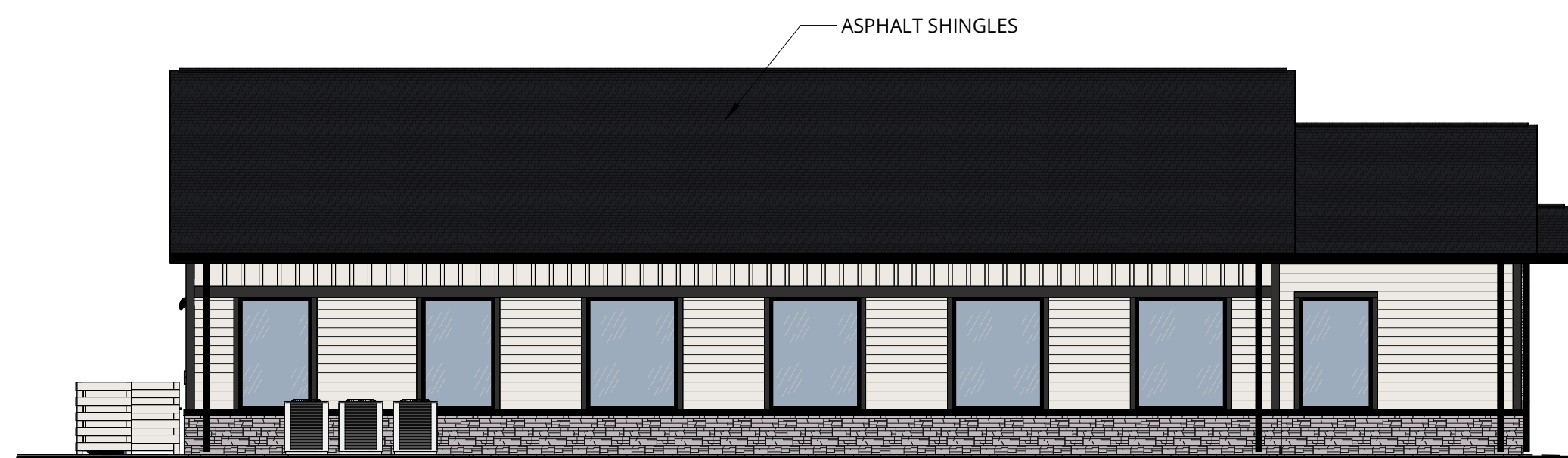
3 **COLOR - WEST (FRONT) ELEVATION**
SCALE: 1/8" = 1'-0"



4 **COLOR - SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"



5 **COLOR - EAST (REAR) ELEVATION**
SCALE: 1/8" = 1'-0"



6 **COLOR - NORTH ELEVATION**
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL SELECTIONS

NOTE:
THESE SELECTIONS ARE PROVIDED TO SHOW "COLOR INTENT".

FINAL SELECTIONS CAN/ OR WILL BE MADE BY THE OWNER AS THIS PROJECT PROGRESSES.

- PREFINISHED FLASHING/ TRIM:**
- MATERIAL/ FINISH: SEE SPECIFICATIONS FOR MATERIAL TYPE AND FINISH REQUIREMENTS
 - COLOR: MATTE BLACK
 - LOCATIONS:
 - ROOF D-EDGE
 - FASCIA
 - GUTTER & DOWNSPOUTS
 - GLAZING FLASHING(S)
 - STONE CAP/ THROUGH-WALL FLASHING
 - BASE FLASHING
 - FLASHINGS/ TRIMS NOT SPECIFICALLY IDENTIFIED HERE

- ASPHALT SHINGLES:**
- MANUFACTURER: CERTAINTEED
 - MATERIAL/ FINISH: SEE SPECIFICATIONS FOR MATERIAL TYPE AND FINISH REQUIREMENTS
 - MODEL: LANDMARK PRO
 - COLOR: CINDER BLACK

- PREFINISHED METAL SOFFIT PANELS:**
- MATERIAL/ FINISH: SEE SPECIFICATIONS FOR MATERIAL TYPE AND FINISH REQUIREMENTS
 - COLOR: MATTE BLACK
 - LOCATIONS:
 - OVERHANGS: CONTINUOUS HIDDEN VENTED
 - RAKES: SOLID/ NON-VENTED
 - FLASHINGS/ TRIMS NOT SPECIFICALLY IDENTIFIED HERE

- VERTICAL BOARD-N-BATTEN SIDING:**
- MATERIAL/ FINISH: HARDIE PANEL SIDING, WITH HARDIE TRIM BATTEN BOARDS, SEE SPECIFICATIONS FOR MATERIAL TYPE AND FINISH REQUIREMENTS
 - SPACING: 12"
 - COLOR: PRE-FINISHED, ARCTIC WHITE
 - NOTES: INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

- HORIZONTAL LAP SIDING:**
- MATERIAL/ FINISH: HARDIE PLANK LAP SIDING, SEE SPECIFICATIONS FOR MATERIAL TYPE AND FINISH REQUIREMENTS
 - EXPOSURE: 6"
 - COLOR: PRE-FINISHED, ARCTIC WHITE
 - NOTES: INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

- TRIM:**
- MATERIAL/ FINISH: HARDIE TRIM, SEE SPECIFICATIONS FOR MATERIAL TYPE AND FINISH REQUIREMENTS
 - COLOR: PRE-FINISHED, MIDNIGHT BLACK
 - SIZE: SEE EXTERIOR ELEVATIONS AND DETAIL ON A-500.
 - LOCATIONS:
 - GABLE END, FRIEZE TRIM
 - GABLE END, SIDING TRANSITION TRIM
 - DOORS & WINDOWS
 - BUILDING CORNERS
 - J-BLOCKS @ SERVICE PENETRATIONS (COLOR MATCH SIDING)

- TREATED & PAINTED WOOD: (TRASH SCREEN)**
- MATERIAL/ FINISH: TREATED WOOD, REFER TO STRUCTURAL
 - COLOR: PAINTED TO MATCH SIDING

- ADHERED MANUFACTURED STONE VENEER:**
- MANUFACTURER: CENTURION STONE, T.B.D.
 - CUT: TEXAS LEDGE
 - MORTAR COLOR: T.B.D., TO BE SELECTED BY ARCHITECT

- STOREFRONT DOORS & WINDOWS:**
- MANUFACTURER: SEE SPECIFICATIONS
 - MATERIAL/ FINISH: SEE SPECIFICATIONS FOR MATERIAL TYPE AND FINISH REQUIREMENTS.
 - COLOR: MATTE BLACK

ISSUED FOR: Permit Set
ISSUED DATE: 06/11/2026

REVISIONS

REV	DESCRIPTION	DATE

PLAN NO. = 26-012

DWG. LIST

COLOR EXTERIOR ELEVATIONS

SHEET NO.

A-202



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.c.
For Meeting of 6/11/2026
Resolution

TITLE: Resolution PZ-260611-22 - Consideration of fireworks permit for Iowa Fireworks.

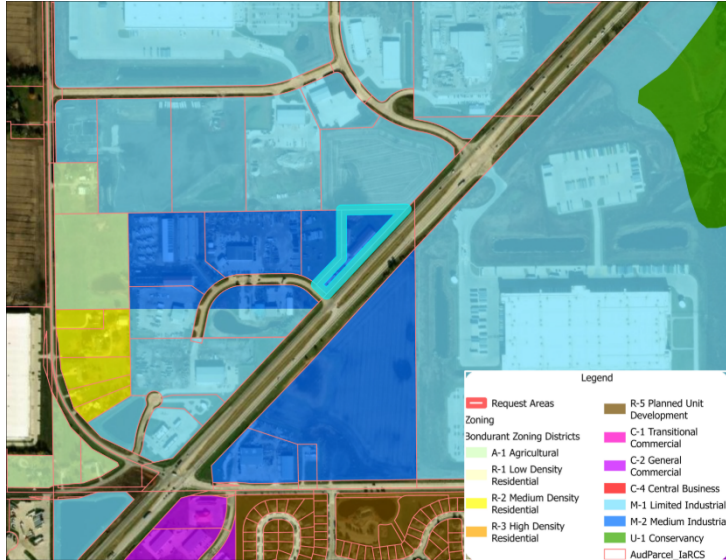
CONTACT PERSON:

BRIEF HISTORY & ANALYSIS: The City is in receipt of a fireworks permit for review by the Planning & Zoning Commission and City Council for Iowa Fireworks Company, a temporary fireworks stand at 906 Prairie Drive SW. The applicant is Iowa Fireworks and the temporary stand will be placed on land owned by Randy Schlenker. The applicants are proposing a 10'x40' temporary fireworks stand, and a 10'x40' storage trailer. This property is zoned as being within the City's Medium Industrial (M-2) District. The use of temporary fireworks sales is a permitted use at this site.



Consistency with the City's Zoning Code:

Below are notes detailing how the Zoning Code is met for this request or what additional information is needed to ensure the Code will be met for this development.



General Commercial Use & Bulk

- Temporary fireworks sales will take place in a 10'x40' stand. A 10'x40' storage trailer will be located on the site as well.
- The temporary fireworks sales stand will be 33' from the existing building on site.

Parking/Drive Areas

- This site has street frontage on Prairie Drive SW
- All parking for the temporary fireworks sales site will be located on site on the existing gravel parking areas. .

Stormwater, Utilities & Natural Features

- A stormwater management report is not required for this temporary use.

ARCHITECTURAL STANDARDS

- Architectural elevations are not required for this temporary use.

Other Site Plan Features

- The fireworks application requires a copy of the State Consumer Fireworks Sellers License, which is included in the packet.

Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. Public Works - reviewed and no comments have been received at this time.
2. Engineering – reviewed and no comments have been received at this time.

3. Fire Department - reviewed and no comments have been received at this time. Inspection by the Fire Department will be required before the fireworks stand can be operated.

FUNDING SOURCE:

STAFF RECOMMENDATION:

The following options exist for the Planning & Zoning Commission:

1. Recommended approval of RESOLUTION NO. PZ-250612-22.
2. Recommended approval of RESOLUTION NO. PZ-250612-22, subject to certain Zoning Code clarification items being addressed.
3. Recommended denial of RESOLUTION NO. PZ-250612-22.
4. Table pending additional information.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RESOLUTION NO. PZ-260611-22 - Iowa Fireworks
2. Site Plan
3. Aerial Site Plan
4. Iowa Fireworks License Card
5. Fireworks Application
6. Certificate of Liability Insurance

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-260611-22

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE FIREWORKS
PERMIT FOR IOWA FIREWORKS AT 906 PRAIRIE DRIVE SW.

WHEREAS, Iowa Fireworks has submitted the fireworks permit for 906 Prairie Drive SW described as follows; AND

LOT 1 MCCLEARY MEADOWS INDUSTRIAL PARK.

WHEREAS, the zoning for the property is Medium Industrial (M-2) and temporary fireworks sale use is a permitted use; AND

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted fireworks permit for Iowa Fireworks located at 906 Prairie Drive SW subject to the following City Code/Policy clarification item:

1. The site is inspected and approved by the Fire Department.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Isaac Pezley, City Planner, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on June 11, 2026; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Isaac J. Pezley, City Planner

Action	Yay	Nay	Abstain	Absent
Keeran				
Vore				
Clayton				
Jennings				
Johnsen				
Pitt				
Torres				

Karen Keeran, Commission Chair

No Fireworks Discharge Sign

400 sq ft total floor space
 retail fixtures cover 80 sq feet
 max egress travel distance: 10'

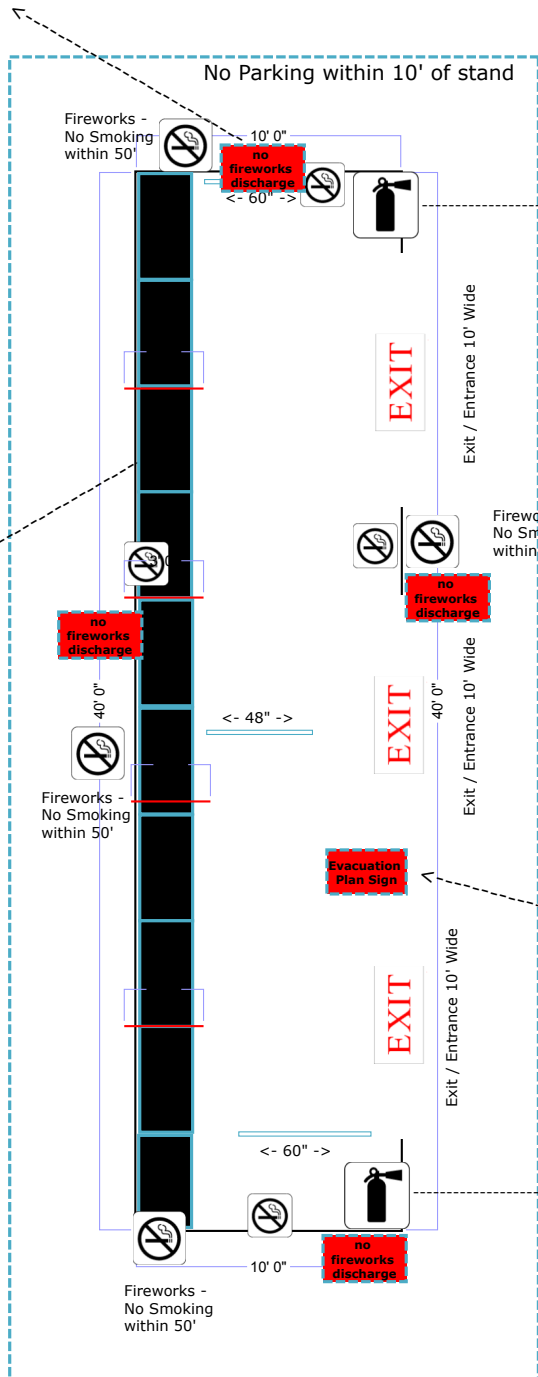
Peak Height 10'
 Eave height 8'

Illuminated Exit Signs,
 Emergency Lighting with
 Battery Backup, and Exterior Lighting
 will be used if we are open after dusk

Merchandise will not be over 6ft from floor

Firebreaks are shown in the chart with red lines

shelving
 24"W x 48"L x 48"H

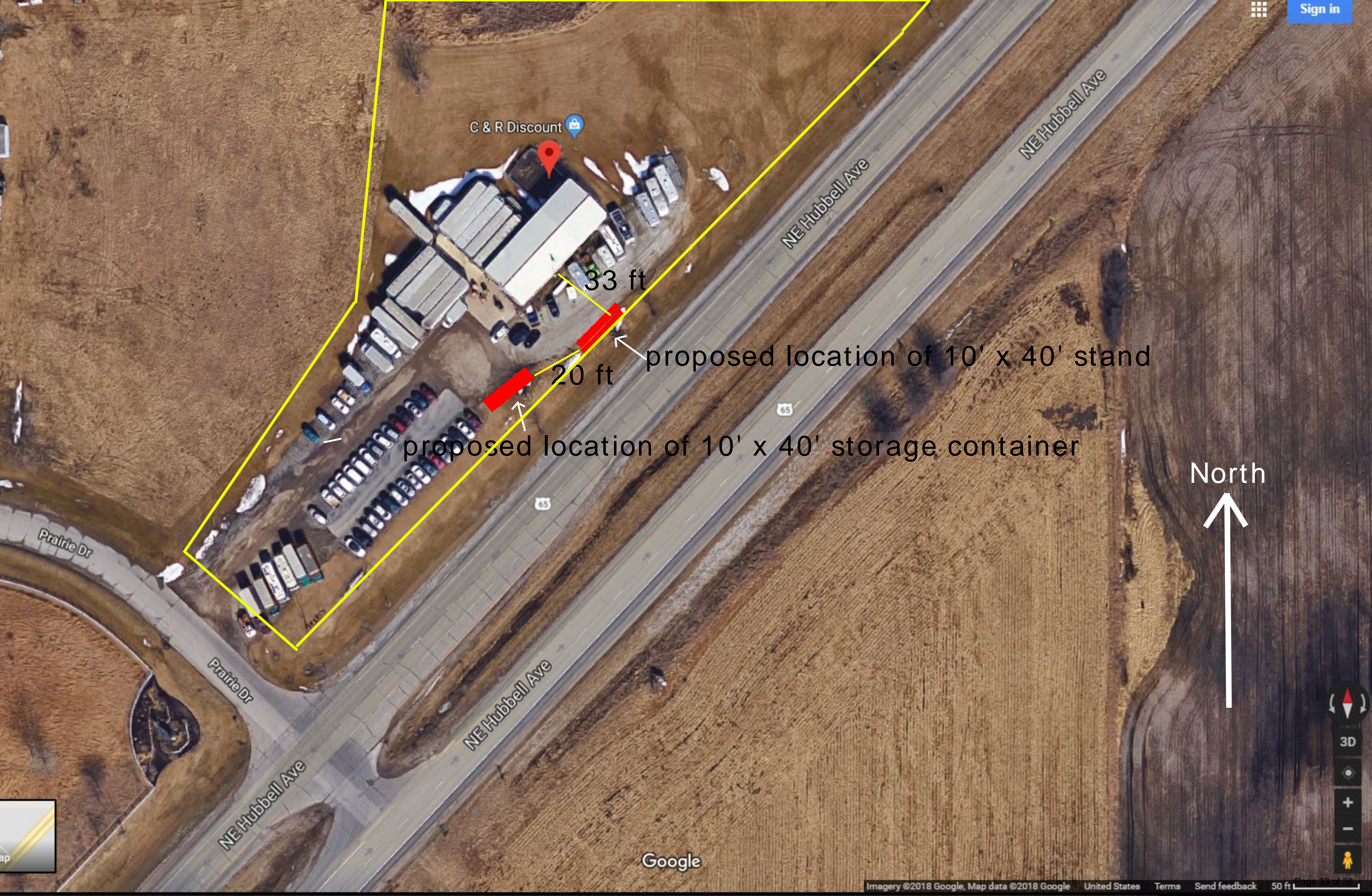


4A 10 lb ABC and 2A Water approved fire extinguisher mounted on inside of tent wall/ support beam. Stand will have one of each

retail fireworks license posted at checkout table

Evacuation Plan Sign

4A 10 lb ABC and 2A Water approved fire extinguisher mounted on inside of tent wall/ support beam. Stand will have one of each



C & R Discount

33 ft

20 ft

proposed location of 10' x 40' stand

proposed location of 10' x 40' storage container

North



NOT TRANSFERABLE

KEEP THIS LICENSE POSTED

Iowa Consumer Fireworks License

Iowa Fireworks Company (906 Prairie Dr)

906 Prairie Dr, Bondurant

License Number: CFRS2026-0512

License Level: First-Class Consumer Fireworks (may include second-class fireworks)

Issue Date: 05/26/2026

Expiration Date: 04/01/2027

Structure Type: Temporary Stand (open to public)

50% or more of retail floor space devoted to consumer fireworks

License Tax Status: Retail Tax Status

Iowa Department of Inspections, Appeals & Licensing

6200 Park Avenue, Suite 100

Des Moines, Iowa 50321-1270

Website: <https://iowa.imagetrendlicense.com/>



The information provided on this certificate is current as of 05/26/2026
Scan the QR code to retrieve or verify the current license status.


Aaron Baack
Interim Director

APPLICATION FOR FIREWORK SALES PERMIT City of Bondurant, Iowa

Applicant Information, Notification List, Fee, Consent

- Provide contact information for applicant, property owner, contract purchaser, tenant, and authorized agent in following table (complete as appropriate to the application, attaching additional sheets if necessary).
- Provide names and mailing addresses of all surrounding property owners (provide names and addresses of any residential areas, schools, child care facilities or elderly residential facilities within 500 feet of the property). An Abstractor must certify accuracy of the ownership list within thirty (30) days of the application date.
- Submittal fee payable to the City of Bondurant. The fee is not refundable.
- If the Applicant is not the Title Holder of record, the Title Holder must authorize the appeal by submitting a written consent with the application.

	Applicant	Record Owner	Authorized Agent (Attorney, engineer, architect, etc.)
Name:	Jeremiah Terhark	Randy Schlenker	
Mailing Address:	609 6th street NE Mitchellville	906 Prairie Dr, Bondurant, IA 50035	
Telephone No.	(515) 556-1792	(515) 967-0227	
Fax No.			
Email Address:	jeremiah@iowa-fireworks.com	randy@crdiscount.com	

Effective Date of Form: January 1, 2018

TO THE CHAIRPERSON OF THE BONDURANT CITY COUNCIL:

The undersigned hereby applies to the Bondurant City Council for a Firework Sales Permit on property legally described as follows:

906 Prairie Dr, Bondurant, IA 50035

The Fireworks Sales Permit is requested to allow the above property to be used in the manner described in this application and shown on the Conceptual Site Plan, by reference incorporated in and made a part of this application together with any and all other information and materials referenced in or attached to this application, and in full conformance with all City ordinances and any conditions that may be required by City Council in approving this application.

The undersigned hereby certifies that all information provided is complete and accurate to the best of undersigned's knowledge, and that all information required by this application or by City Council on its behalf has been provided.

(Signature on line, type or print name below)


By: Jeremiah Terhark

Submittal Date: 05/30/2026

Note: The Applicant or an authorized agent must personally present the application before the City Council. City Council meetings are held in the Bondurant City Center.

Please contact the City Hall, 200 2nd Street NE, to obtain a list of meeting dates and submittal deadlines.

Effective Date of Form: January 1, 2018

Application for Firework Sales Permit Accompanying Information: Detailed Explanation of Permanent or Temporary Sales Facility

Provide a detailed explanation of the permanent or temporary sales facility on this page and/or attachments. Please note that this information together with the Conceptual Site Plan and any conditions of approval by City Council will govern the development and operation of Firework Sales if approved, and cannot be altered except by approval of an amendment to the Fireworks Sales Permit. Development must also conform to the Site Plan Ordinance and other City regulations and ordinances, so it may be appropriate to take development design beyond the minimum requirements of the Conceptual Site Plan to ensure all requirements can be met.

Refer to the Zoning Ordinance for such additional submittal requirements.

Refer to interior/exterior site plan

Effective Date of Form: January 1, 2018



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

5/26/2026

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Acrisure Great Lakes Partners Insurance Services 223 West Grand River Ave #1 Howell MI 48843	CONTACT NAME: PHONE (A/C. No. Ext): 216-658-7100	FAX (A/C. No.): 216-658-7101
	E-MAIL ADDRESS: info@brittongallagher.com	
INSURER(S) AFFORDING COVERAGE		NAIC #
INSURER A : Palomar Excess and Surplus Insurance Company		16754
INSURED Iowa Fireworks Company LLC 5907 Meredith Drive Urbandale IA 50322	INSURER B :	
	INSURER C :	
	INSURER D :	
	INSURER E :	
	INSURER F :	

COVERAGES

CERTIFICATE NUMBER: 766191022

REVISION NUMBER:


THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC			AESPLMR-GL-26-00113	4/9/2026	4/9/2027	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000
							MED EXP (Any one person)	\$
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident)	\$
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						WC STATUTORY LIMITS	OTHER
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

Stand Owner, Property Owner and Others listed below are named additional insured's.
 Stand Owners: Zachariah Terhark and Jeremiah Terhark, Iowa Fireworks Company
 Property Owner: Randy Schlenker / C&R Discount
 Other: Bondurant, IA; Polk County
 Location: 906 Prairie Drive SW Bondurant, IA 50035
 Effective Dates: June 9, 2026 through July 11, 2026

CERTIFICATE HOLDER**CANCELLATION**

Iowa Fireworks Company LLC 5907 Meredith Drive URBANDALE IA 50322 United States	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

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