

**Due to the COVID-19 concerns and social distancing recommendations, a virtual meeting is being offered. Participants wishing to speak on a topic should message the meeting moderator. All participants are asked to mute their individual computers at times when they are not speaking to minimize background noise. Join: <https://us02web.zoom.us/j/82446495655>*

**NOTICE OF A REGULAR MEETING
BONDURANT PLANNING AND ZONING COMMISSION
NOVEMBER 18, 2021**

NOTICE IS HEREBY GIVEN that a Regular Meeting of the City Council will be held at 6:00 PM on November 18, 2021, in the Bondurant City Center, 200 Second Street, Northeast, Bondurant, Polk County, Iowa. Said meeting is open and the public is encouraged to attend.

AGENDA

1. Call to Order
2. Roll Call
3. Perfecting and Approval of the Agenda
4. Approval of Minutes
 - a. October 28th Meeting Minutes
5. Guests requesting to address the Planning and Zoning Commission
6. Action Items
 - a. PUBLIC HEARING - Request for rezoning from Medium Industrial (M-2) to Central Business (C-4) on portions of land adjacent to the existing C-4 District
 - b. RESOLUTION NO. PZ-211118-25: Considering recommended approval of the Medium Industrial (M-2) to Central Business (C-4) District rezoning request on portions of land adjacent to the C-4 District
 - c. RESOLUTION NO. PZ-211118-26: Considering recommended approval of the Midstates Precast Products site plan at 2340 Hubbell Avenue SW
 - d. RESOLUTION NO. PZ-211118-27: Considering recommended approval of the CDL training lot site plan at 2408 Robinson Avenue NE
 - e. RESOLUTION NO. PZ-1118-28: Considering recommended approval of the Black Oak Farm Plat 1 Final Plat
 - f. RESOLUTION NO. PZ-1118-29: Considering recommended approval of the December 2021 Urban Renewal Amendment
7. Discussion Items -
 - a. Central Park Master Plan
8. Reports / Comments and appropriate action thereon:
 - a. Commission Members
 - b. Commission Chair
 - c. City Administrator
 - d. Planning & Community Development Director
 - e. City Council Liaison

9. Adjournment

Bondurant Planning and Zoning Commission
Minutes
October 28, 2021

1. Call to Order
Commission Chair Cuellar called the meeting of the Planning & Zoning Commission to order at 6:02 p.m. and declared a quorum.
2. Roll Call

Present:	Commission Member Brian Clayton, Commission Member Andy Mains, Commission Member Torey Cuellar, Commission Member Karen Keeran, Commission Member Wes Hoyer, Commission Member Kristin Brostrom (joined at 6:23 p.m.)
Absent:	Commission Member Lisa Cameron
City Officials Present:	City Administrator Marketa Oliver, Planning & Community Development Director Maggie Murray
3. Perfecting and Approval of the Agenda
Motion by Commission Member Mains, seconded by Commission
Member Keeran, to approve the agenda as is. Vote on Motion 5-0.
Motion carried.
4. Approval of Minutes
Motion by Commission Member Mains, seconded by Commission
Member Clayton, to approved the September 23, 2021 meeting minutes.
Vote on motion 5-0. Motion carried.
 - a. September 23, 2021
5. Guests requesting to address the Planning and Zoning Commission
None
6. Action Items
 - a. RESOLUTION NO. PZ-211028-23: Considering recommended approval
of the Myers Site Certification Annexation Area
Murray summarized the agenda statement. Being considered for
recommendation by the Commission is annexation of 70.00 acres of
land currently situated in unincorporated Polk County. This annexation
area is comprised of 2 parcels - one currently owned by the Nelsons and
the other currently owned by Kathryn Zimmer and Robert Johnson.

Jamie Myers of Paramount Development is in the process of purchasing these parcels. This annexation is considered 100% voluntary. Since it falls within 2 miles of Altoona's city limits, the State's City Development Board must review after City Council has approved locally. Murray explained the City of Bondurant is currently pursuing site certification through the IEDA's Certified Site Program, and a requirement is that this property is situated within Bondurant's city limits.

James and Sheryl Weston, 1920 2nd Street NE, were in attendance. The Westons asked for clarification on whether or not their property is being considered for annexation? Murray explained that no, their property is not currently being considered for annexation (it's already within city limits). The land currently being considered for annexation is the property south of 2nd Street NE comprised of 70 acres and owned by the Nelsons and the Zimmers/Johnsons.

The Westons asked about what development could occur on this annexation land? Commission Member Keeran explained that land use will be discussed during the next

Murray noted that when the Commission reviews annexations, they review for consistency with the Comprehensive Plan, street and utility connectivity, and public comments received. This annexation request is consistent with the Comprehensive Plan, which notes that annexation can be explored in this area of 2nd Street NE east of Highway 65. Utilities and streets will be reviewed in further detail if/when development occurs, but Murray noted that the development must follow the Streets Master Plan. Murray noted that as required by Iowa Code, the City notified the following entities: City of Altoona, Polk County Board of Supervisors, Polk County Attorney, area utilities, and the Des Moines Area Metropolitan Planning Organization - no comments have been received.

Mention by Commission Member Mains seconded by Commission Member Clayton, for recommended City Council approval of PZ-212018-23, regarding the annexation of land known as the Myers Site Certification Area into Bondurant's city limits. Roll Call: Ayes: Commission Member Clayton, Commission Member Cuellar, Commission Member Mains, Commission Member Hoyer. Nays: None. Absent: Commission Member Brostrom, Commission Member Cameron.

- b. PUBLIC HEARING - Request for rezoning from Agricultural (A-1) to Medium Industrial, on property currently being considered for annexation on land known as the Myers Site Certification Area, pending annexation; and request for Future Land Use Map amendment from Reserve Ag/Residential and Reserve Industrial to Industrial.

Motion by Commission Member Hoyer, seconded by Commission Member Mains, to close the regular Planning & Zoning Commission meeting at 6:12 p.m. and enter into the public hearing regarding the request for rezoning from Agricultural (A-1) to Medium Industrial (M-2), on property currently being considered for annexation on land known as the Myers Site Certification Area, pending annexation; and request for Future Land Use Map amendment from Reserve Ag/Residential and Reserve Industrial to Industrial. Vote on Motion 5-0. Motion carried.

Murray summarized the agenda statement.

James & Sheryl Weston, 1920 2nd Street NE, asked for clarification on street connectivity plans.

Wally Pelds, Pelds Design Services, summarized the preliminary street realignment plans.

Murray noted that development must follow the City's Streets Master Plan, which guides for a realigned intersection of 2nd Street NE out to Highway 65. Murray also noted the street realignment is also shown as a preliminary concept in the City's Comprehensive Plan.

The Westons asked for clarification on uses allowed on this site. Oliver explained that the use proposed must meet the use requirements of the City's Medium Industrial (M-2) District.

Commission Member Mains noted industrial in this area makes sense, as there has been other recent industrial development in this area (Bondurant Industrial Park).

Commission Member Clayton asked for clarification from the developer on if a use has been identified yet for this site? Sasi Karuturi, Paramount, noted that no final use has been established yet, but they are seeking M-2 zoning to assist in determining a final end user.

Commission Member Clayton noted that as part of the eventual detailed site plan process, items such as screening and parking lot lighting will be reviewed.

The Westons asked for clarification on whether or not their property at 1920 2nd Street NE is being considered for rezoning? Murray explained that no, their property is not currently being considered for rezoning. The only property being considered for rezoning is the 70 acres associated with the annexation request. Murray explained that if a rezoning application were to be submitted for property at 1920 2nd Street NE in the future, the Planning & Zoning Commission and City Council would

look to its Future Land Use Map as part of its Comprehensive Plan for guidance on an allowable zoning designation. The Future Land Use Map currently guides for industrial use on the property at 1920 2nd Street NE.

Commission Member Clayton asked if Alan Knuth is aware of the street realignment plans? Oliver noted that yes, the City has been in discussions with Mr. Knuth.

Motion by Commission Member Clayton, seconded by Commission Member Keeran, to close the public hearing and enter back into the regular Planning & Zoning Commission meeting. Vote on Motion 5-0. Motion carried.

- c. RESOLUTION NO. PZ-211028-24: Considering recommended approval of the Myers Certified Site rezoning request from Agricultural (A-1) to Medium Industrial (M-2) on property currently being considered for annexation; and recommended approval of the Future Land Use Map amendment from Reserve Ag/Residential and Reserve Industrial to Industrial.

Commission Member Brostrom entered the meeting at 6:23 p.m.

Motion by Commission Member Mains, seconded by Commission Member Keeran, recommended City Council approval regarding PZ-211028-24, regarding recommended approval of the rezoning request for Agricultural (A-1) to Medium Industrial (M-2), pending annexation, and recommended approval of the Future Land Use Map amendment request from Reserve Ag/Residential and Reserve Industrial to Industrial on land known as the Myers Certification Area. Roll Call: Ayes: Commission Member Clayton, Commission Member Cueller, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom. Nays: None. Absent: Commission Member Cameron. Motion carried 6-0.

7. Discussion Items -

- a. Discuss potential amendment to the Highpoint Estates development area

Murray explained this is a discussion topic only. The owner of the Highpoint Estates parcel is seeking preliminary feedback from the Planning & Zoning Commission and City Council regarding a potential change to development plans for Highpoint Estates, which is the land just north of the Junior High/High School area. The owner is interested in establishing some townhome units in this development area. The Planning & Zoning Commission and City Council previously approved a preliminary plat for single-family detached development on this entire

parcel area.

Seth Moulton, property owner of Highpoint Estates, noted that he is facing some development challenges for this property as it relates to utility costs, the trail along Grant Street North, while still working around the large natural gas easement located on this property. Moulton noted that he is proposing a mix of single-family detached and owned-occupied townhome units. He noted that he has a similar development in Ankeny where there are single-family detached homes and townhome units located in the same area. The Ankeny townhome units are 26'-wide.

Commission Member Keeran noted she is open to townhomes, but does not want all of the units looking the same. Moulton noted that he is on board with this comment and understands the importance of variability. He noted that every exterior can be unique, as was done in Ankeny.

Commission Member Brostrom noted she is okay with townhomes in this area. She noted that there will need to be some thought put into the driveway layouts, to make sure that the streets are not all just driveway. Moulton noted that the Ankeny units each have their own driveway, but driveway sharing is something that can be considered for this Bondurant development.

Branden Stubbs, Stubbs Engineering, also noted no concerns with driveway sharing. Stubbs mentioned the possibility of installing rolled curbs. Commission Member Brostrom noted this is not allowed in Bondurant on public streets.

Murray asked for clarification on how deep they intend on having the driveways be? Moulton noted that the Ankeny project either has 25' or 30'-wide deep driveways, which is deep enough to park a vehicle without overhanging into the public sidewalk area.

Commission Member Brostrom noted that the original layout had just 14 homes along the south east/west street. This updated concept shows 30 units, so this is where some thought needs to go into driveway design. Moulton noted they can do some mock up site plans to show potential driveway locations.

Commission Member Mains noted concerns over the density proposed. He noted that he appreciated the original plans for single-family development in that the developer was not asking for a Planned Unit Development (R-5) zoning designation. Mains noted concerns that the increased density will generate increased traffic, which is a concern near the school.

Commission Member Clayton asked for clarification on the developer's intended price point? Moulton noted that the Ankeny units are selling for \$238,000-\$241,000, which is approximately \$90,000 less than what a typical single-family detached unit could sell for. Moulton noted that since this site is only approximately 20 acres, this makes it challenging to reach a price point that owners are willing to pay for at this location.

Commission Member Clayton asked if these units will have basements? Moulton noted that no, they will not. He is proposing that all units be slab on grade.

Commission Member Clayton noted that he cannot support this project due to the slab on grade and the increased density.

Moulton noted the units will be 1,600 SF each. They will be 3-bedroom units.

Murray asked for clarification from the Commission, since they have noted density concerns, on if there is a preferred balance between single-family detached and townhome units if the current concept is considered too dense? Commission Member Mains noted that he does not understand why the concept is showing townhome units along the south adjacent to the school. Mains noted this area should be single-family detached. Mains noted that he would instead prefer the townhome units follow the arterial streets of Grant Street North and 16th Street NE only, like an L.

Oliver noted that Council has required basements in townhome units in other recent Planned Unit Developments. She noted basements were required in the Arbor Ridge Villas. Oliver noted that Council is resistant to slab on grade. Moulton noted that a basement will increase the cost per each unit by approximately \$25,000. He noted this additional \$25,000 would push these units out of the affordable range he is targeting. He noted that if basements are required, he will not move forward with development at this location.

Commission Member Clayton noted he is concerned with the amount of dirt being brought onto this site. Commission Member Brostrom noted this is more of a Bob review item through the detailed construction plan and stormwater management report review process and not a zoning issue.

Commission Member Hoyer noted he appreciates the developer coming to the Commission for preliminary feedback. Hoyer noted that he is not in favor of residential at this location, regardless of residential type. He feels commercial or school use would be the best use for this site.

Commission Member Clayton noted he is struggling with the townhome units proposed. He feels the City must protect its views along the main corridors. Townhome units all tend to look the same.

Commission Member Keeran asked for clarification on the zoning designation that would be required. Murray explained that a Planned Unit Development (R-5) zoning designation would be required. The only other District that allows for townhome units is the High Density Residential (R-3) District, however, this District does not seem to take into account townhome type units and instead seems to focus on apartment buildings only, as the minimum lot size is 9,000 SF. The R-3 District also notes that multi-family can only locate on existing lots of record, which these are not.

Commission Member Cuellar noted density concerns, which then creates traffic concerns. Cuellar noted that she appreciates the walkability aspect in that the townhome units would be close to the school. She feels this is a big change to the previously-approved plans due to the number of townhome units proposed.

8. Reports / Comments and appropriate action thereon:

a. Commission Members

Commission Member Clayton - noted that he is struggling with development proposals with multi-family along the main corridors, as these developments all look the same. Commission Member Cuellar noted that we as a community seem to push back on anything high density; are we not looking for high density? Cuellar noted that it seems like the only area that has been considered acceptable for this type of use is along Highway 65.

Commission Member Mains noted he appreciated the previous concept for Highpoint Estates because it was not a planned unit development. Commission Member Brostrom noted that she feels the City should not be afraid of PUDs. PUDs are a tool cities can use to allow for a phasing of lots. Cities can place enhanced site design requirements on these types of developments, specifically about street connections and easement areas. These conditions help with predictability for developers.

Commission Member Keeran - noted there are dead trees on Amazon's Project Bluejay site.

Commission Member Brostrom - asked if the waving Santa is still around to be placed out for the holidays? Oliver noted that this Santa no longer

functions, so he has been decommissioned.

Commission Member Hoyer - none.

b. Commission Chair

Commission Member Cuellar - none.

c. City Administrator

City Administrator Oliver - noted that Council will be considering a resolution at their November 1st meeting to authorize creating an Associate Planner position.

d. Planning & Community Development Director

Planning & Community Development Director Murray - noted that there will be no P&Z meetings on November 11th or November 25th, but we will likely have a special one on November 18th. Noted there is an upcoming P&Z/City Council/Comprehensive Plan Advisory Committee joint session on Monday, November 29th at 6:00 p.m. Noted the survey on the Comprehensive Plan's website is live - so please take within the next few weeks. Noted that the City recently established a joint Code Enforcement Officer/Public Works position.

e. City Council Liaison

Absent

9. Adjournment

Motion by Commission Member Mains, seconded by Commission Member Clayton, to adjourn the meeting of the Planning & Zoning Commission at 7:31 p.m. Motion carried.



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

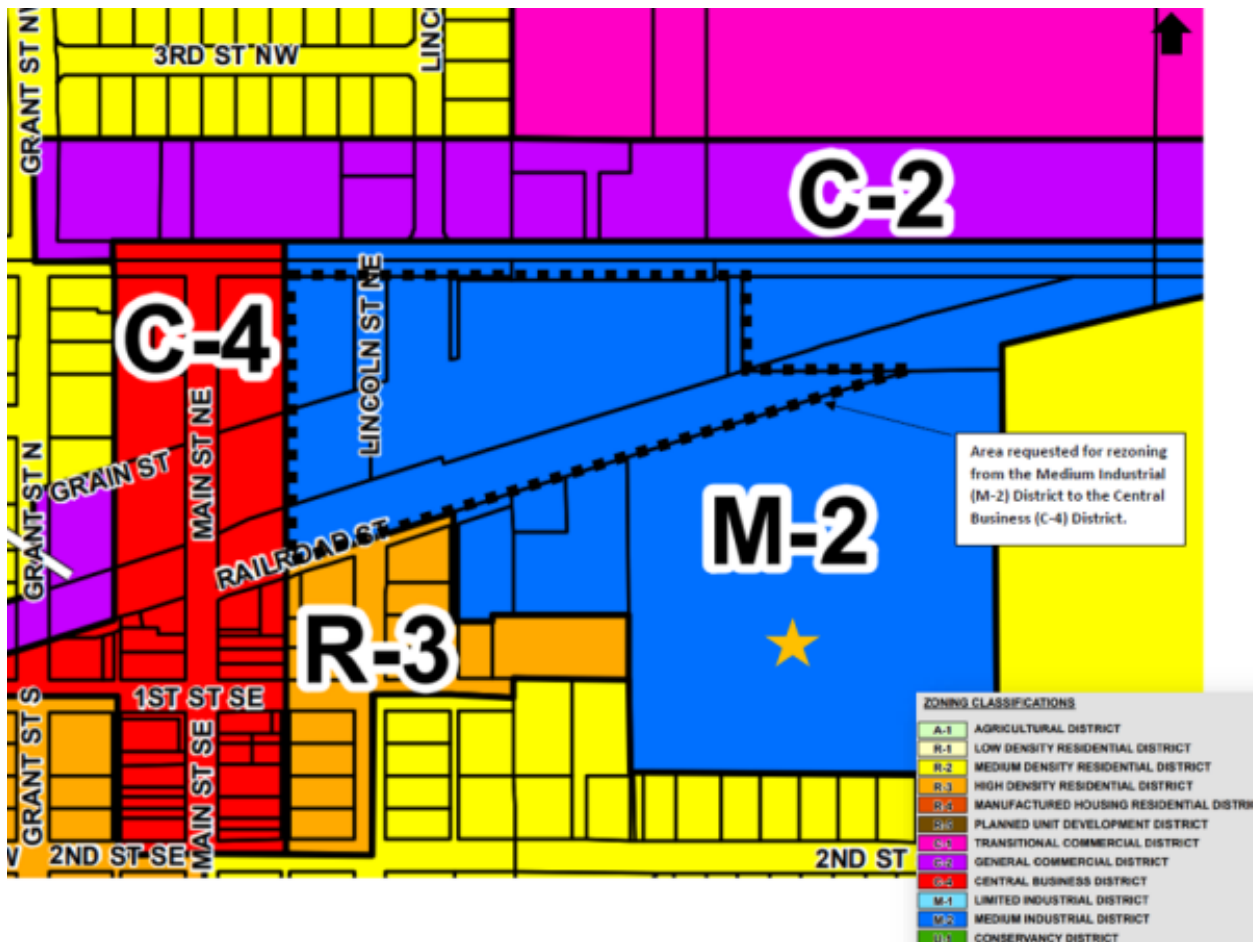
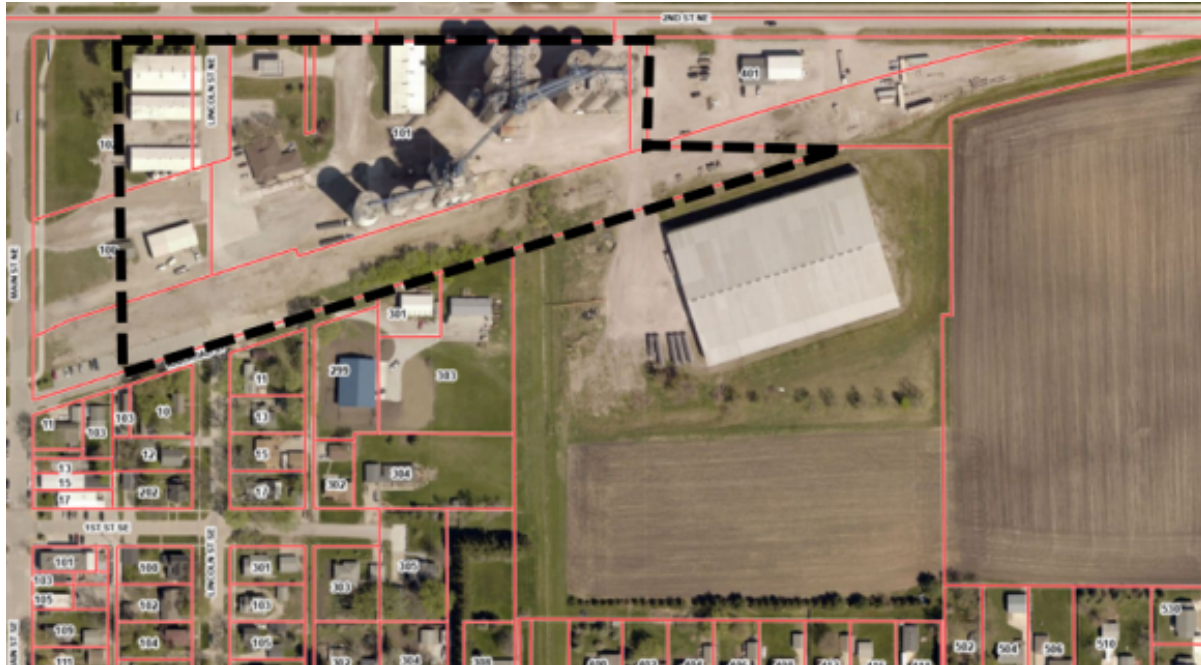
Item No. 6.a.
For Meeting of 11/18/2021
Public Hearing

TITLE: PUBLIC HEARING - Request for rezoning from Medium Industrial (M-2) to Central Business (C-4) on portions of land adjacent to the existing C-4 District

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: For consideration by the Planning & Zoning Commission and City Council is a rezoning as described in this agenda statement. This is considered a Commission/Council-initiated rezoning request, as is allowable per Section 179.04.1 of the Zoning Code. The land being considered for rezoning is owned by the Landus Cooperative - this rezoning area is shown in the bolded black area in the maps below. This land is currently zoned as Medium Industrial (M-2). The request is that the Official Zoning Map be updated from the Medium Industrial (M-2) District to the Central Business (C-4) District. This rezoning area encompasses all of the downtown-area Landus property, except for the Landus property already zoned C-4 along Main Street SE and also except for Parcel 231/00220-017-000 (starred below). It is anticipated a rezoning for all or portions of Parcel 231/00220-017-000 will be considered at a later date after this site has been evaluated in further detail as it relates to the area's Future Land Use Map.

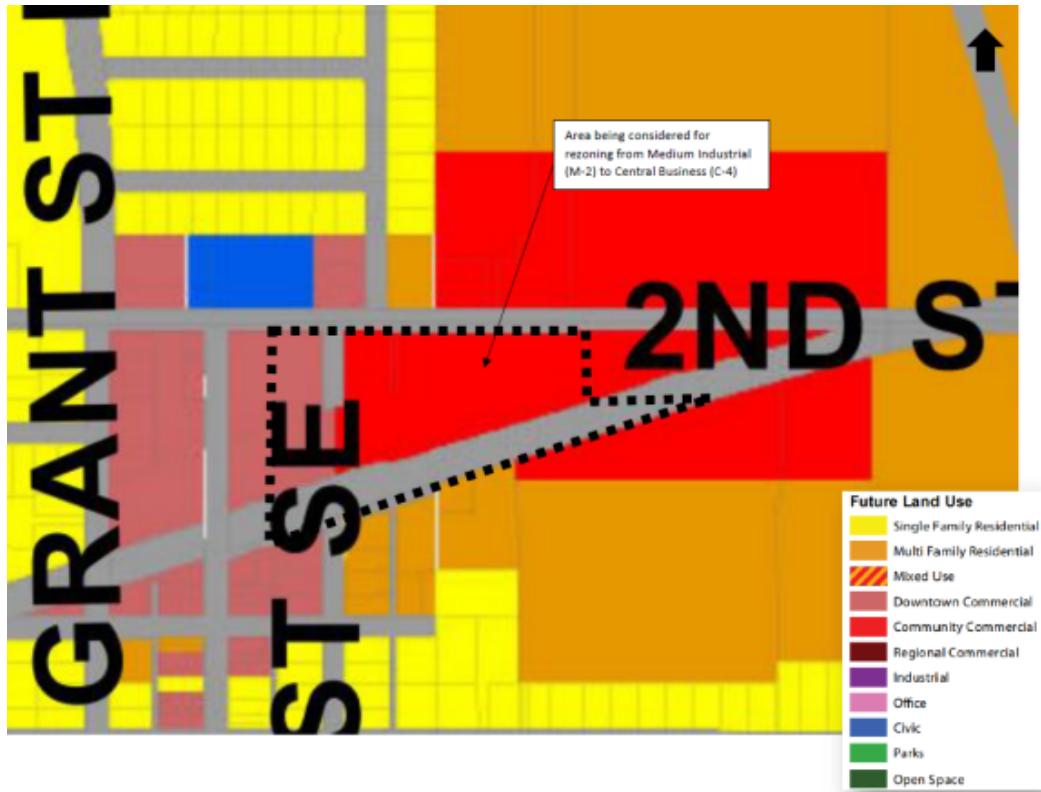


When considering rezoning requests, the Planning & Zoning Commission and City

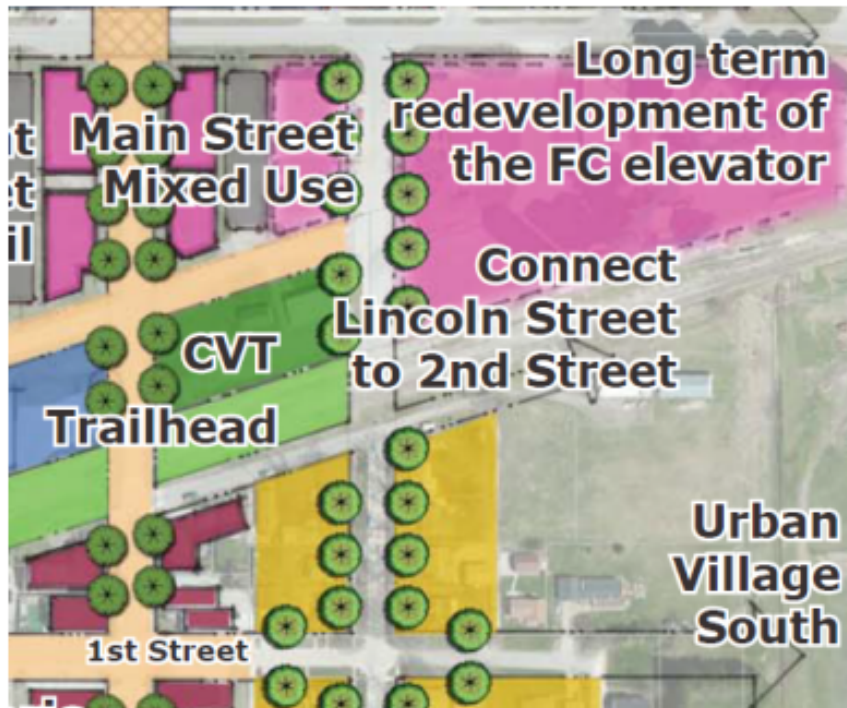
Council should take into account the following: Comprehensive Plan, Consistency with the Zoning Code, Spot Zoning, and Public Input.

Comprehensive Plan

When a City considers a rezoning ordinance, it must find the rezoning is consistent with its Future Land Use Map. The bolded black area in the Future Land Use Map excerpt below represents the area being considered for rezoning. This map shows that this rezoning request is consistent with the Future Land Use Map, which currently guides for commercial development within the rezoning area.



This rezoning area is located within the Comprehensive Plan's identified Downtown Growth Area. A rezoning to the C-4 District would allow for the mixed use development scenario on Page 47 of the Comprehensive Plan, which is also shown below.



Consistency with the Zoning Code

Zoning Code consistency will be evaluated in further detail if/when redevelopment within the rezoning area is proposed. The eventual uses must be permitted uses of the C-4 District. Below is a brief summary of these uses - for an entire list of permitted uses, please see Section 178.10.1 of the Zoning Code.

- Retail, such as: antique shops, apparel shops, art shops, auto and home supply stores, baby and children's stores, bicycle shops, book stores, camera stores, dry goods stores, florist shops, furniture stores, grocery stores, hardware stores, hobby shops, household appliance stores, jewelry stores, key shops, leather goods store, music stores, paint and wallpaper stores, plumbing/heating/air conditioning/refridgeration shops, tv sales shops, shoe and hat shops, toy stores, and variety stores.
- Bakeries, confectionery stores, dairy stores, delicatessens, meat markets, restaurants, night clubs, cafes, taverns
- Car washes
- Clubs and lodges
- Consumer retail uses, personal service business
- Dance studios
- Funeral homes
- Hotels and motels
- Launderettes and dry cleaning establishments
- Medical, dental, osteopathic and clinics
- Music studios
- Printing shops

- Professional offices
- Public buildings
- Tailor and dressmaking shops
- Veteranarian clinics and hospitals
- Churches and similar places of worship
- Museums, libraries, parks, playgrounds, community centers
- Dwelling units, provided that such units are not located on the first floor

If the rezoning from M-2 to C-4 is approved, the existing grain elevator use will be subject to Section 176.04 of the Zoning Code, titled Nonconforming Uses of Structures.

Spot Zoning

To determine whether illegal spot zoning has occurred, the courts consider the rezoning takes into account the following:

1. The characteristics of surrounding property;
2. the community's comprehensive plan;
3. the protection and preservation of public health, justice, morals, order, safety and security, and welfare (police power).

It does not appear that spot zoning will exist if the rezoning from M-2 to C-4 is approved, as the City's Future Land Use Map supports the rezoning. Further, this rezoning area is adjacent to land to the west already zoned C-4.

Public Input

As required by the City's Zoning Code, letters were sent out to property owners within 200' of the proposed rezoning area notifying them of the rezoning being considered. Landus was also notified. At the time of writing this agenda statement, one comment has been received. The comment received was from Landus on November 10th - the Landus comment read: Landus is agreeable with this proposal and has no objection to the change in zoning, so long as we are allowed to continue to operate our existing business at this location until we are able to see and close on the sale of said property sometime around the Spring of 2022. Staff responded, noting that the existing Landus Cooperative use will be recognized as a lawful pre-existing, non-conforming use per Section 176.04 of the Zoning Code; meaning that yes, Landus Cooperative can continue to operate its existing business at this location until the property is sold - so long as Landus does not vacate the Landus use for more than 6 months. The lawful pre-existing, nonconforming Landus use will be subject to the following provisions of Section 176.04 of the Zoning Code, titled Nonconforming Uses of Structures:

1. No existing structure devoted to a use not permitted by the Zoning Code in the district in which it is located shall be enlarged, extended, constructed, reconstructed, or structurally altered except in changing the use of the structure to a use permitted in the district in which it is located.
2. Any nonconforming use may be extended throughout any of the parts of a building

which were manifestly arranged or designed for such use at the time of adoption or amendment of the Zoning Code, but no such use shall be extended to occupy any land outside such building.

3. If no structural alterations are made, any nonconforming use of a structure, or structure and premises, may be changed to a more restricted classification.

4. When a nonconforming use of a structure, or structure and premises in combination, is discontinued or abandoned for six (6) months, the structure, or structure and premises in combination, shall not thereafter be used except in conformance with the regulations of the district in which it is located.

5. Any structure devoted to a use made nonconforming by this Ordinance, that is destroyed by any means to an extent of sixty percent (60%) or more of its replacement cost at the time of destruction, exclusive of the foundation(s), shall not be reconstructed and used as before such happening. If the structure be less than sixty percent (60%) destroyed above the foundation(s), it may be reconstructed and used as before provided reconstruction be started within six (6) months of such happening and be completed within one (1) year, and be built of like or similar materials.

6. Where nonconforming use status applied to a structure and premises in combination, removal of the structure shall eliminate the nonconforming status of the land.

Staff also explained that the next use/uses at this location cannot be industrial, as another industrial use would not be considered a more restricted classification (see Item 3 above). The next use/uses will need to comply with the use requirements of the C-4 District.

FUNDING SOURCE: N/A for rezonings.

STAFF RECOMMENDATION: Staff recommends approval of the attached P&Z recommendation resolution. It is anticipated that City Council will hold their public hearing on December 20th.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-211118-25

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST FOR
REZONING FROM MEDIUM INDUSTRIAL (M-2) TO CENTRAL BUSINESS (C-4) ON
LAND ADJACENT TO THE C-4 DISTRICT

WHEREAS, on November 18, 2021 the Planning and Zoning Commission held a Public Hearing to consider a request to rezone property from Medium Industrial (M-4) to Central Business (C-4) on land in Bondurant described as follows:

BEGINNING AT THE SOUTHWEST CORNER OF PARCEL “L” OF THE ABANDONED CHICAGO AND NORTH WESTERN TRANSPORTATION COMPANY RAILROAD, AS SHOWN ON THE PLAT OF SURVEY THEREOF RECORDED IN BOOK 14493 ON PAGE 751 IN THE POLK COUNTY RECORDER’S OFFICE;

THENCE EAST, ALONG THE SOUTH LINE OF SAID PARCEL “L” TO THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID ABANDONED CHICAGO AND NORTH WESTERN TRANSPORTATION COMPANY RAILROAD;

THENCE SOUTHWEST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE INTERSECTION OF SAID RIGHT-OF-WAY LINE AND THE EAST LINE OF LOTS 1 THROUGH 5 IN BLOCK 12 OF THE ORIGINAL TOWN OF BONDURANT, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF BONDURANT, POLK COUNTY, IOWA, EXTENDED SOUTH;

THENCE NORTH, ALONG SAID EAST LINE EXTENDED AND ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID LOT 5, SAID POINT ALSO BEING ON THE SOUTH RIGHT-OF-WAY LINE OF 2ND STREET NE;

THENCE CONTINUING NORTH, ALONG SAID EAST LINE OF LOTS 1 THROUGH 5 EXTENDED NORTH TO THE NORTH RIGHT-OF-WAY LINE OF SAID 2ND STREET NE;

THENCE EAST, ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE INTERSECTION OF SAID NORTH RIGHT-OF-WAY LINE AND THE EAST LINE OF PARCEL “M” IN SAID PLAT OF SURVEY RECORDED IN BOOK 14493 ON PAGE 751, EXTENDED NORTH;

THENCE SOUTH, ALONG SAID EAST LINE OF PARCEL “M” EXTENDED AND ALONG SAID EAST LINE OF PARCEL “M” TO THE POINT OF BEGINNING.

WHEREAS, the Planning and Zoning Commission has made the following findings:

1. The rezoning request will create consistency between the City’s Future Land Use Map and Official Zoning Map.
2. The change in zoning will maintain a consistency with adjacent land uses and provide a transition for adjacent zoning.
3. That the zoning change will not negatively impact the character of the neighborhood.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends the request for rezoning from Medium Industrial (M-2) to Central Business (C-4) be approved by City Council.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, hereby certify that at a meeting of the Planning and Zoning Commission held on November 18, 2021, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

Action	Yay	Nay	Abstain	Absent
Clayton				
Mains				
Keeran				
Cuellar				
Cameron				
Bostrom				

Torey Cuellar, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.c.
For Meeting of 11/18/2021
Resolution

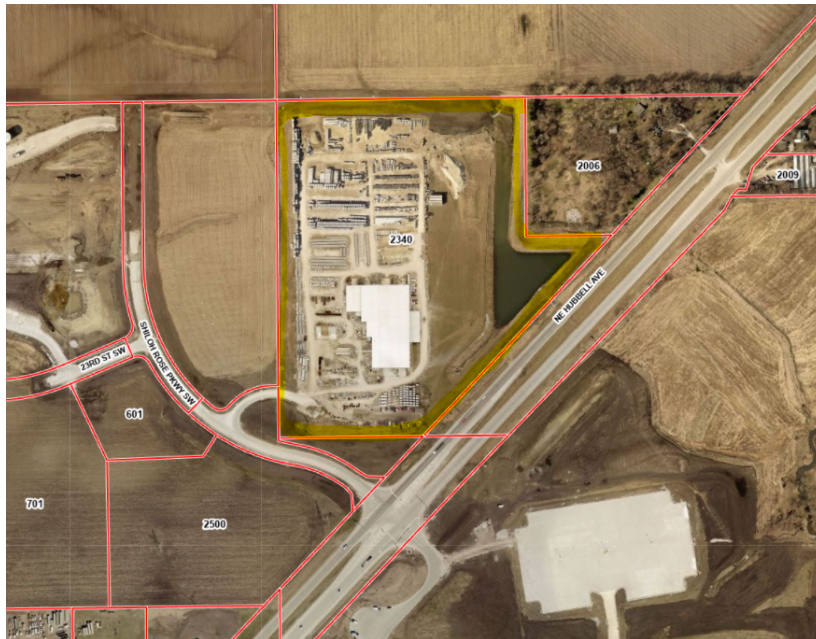
TITLE: RESOLUTION NO. PZ-211118-26: Considering recommended approval of the Midstates Precast Products site plan at 2340 Hubbell Avenue SW

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: Brief History:

The City is in receipt of a site plan for review by the Planning & Zoning Commission and City Council for the existing Midstates Precast Products site at 2340 Hubbell Avenue SW. The site plan proposes the following: a note to replace any dead trees within the landscape buffer area; a new 2,560 SF storage facility in the rear yard area; and a new 9,240 SF concrete pad that will house a future structure. As proposed, the pad for the 9,240 SF concrete area will house a stand-alone frame structure with no roof or siding. The site plan also shows a future parking lot area and a future 1,650 SF building near this future parking lot area.



When the Planning & Zoning Commission and City Council reviews site plans, they review for consistency with the following documents: Comprehensive Plan; Zoning Code; and Comments from City Officials.

Analysis:

Consistency with the City's Comprehensive Plan

The City's Future Land Use Map guides for industrial use on this Midstates Precast Products site. Since this property is already zoned for industrial use, no rezoning is proposed as part of this site plan.

Consistency with the City's Zoning Code

Below are notes detailing how the Zoning Code is met for this request or what additional information is needed to ensure the Code will be met for this development.

• Medium Industrial Use & Bulk

- The 2017 agenda statement noted the property is zoned for the intended use; it is assumed the following use category was considered in 2017: lumber and building materials and sales or like business (Section 178.13.1.P).
- Section 178.13.1 of the Zoning Code states that all manufacturing, assembling, compounding, processing, packaging, or other comparable treatment shall take place within a building.
- Section 178.13.4 of the Zoning Code allows for outside storage yard areas in the M-1 District only through the granting of a conditional use permit through the City's Board of Adjustment. Note on this: if in the future any new outdoor storage yard areas are proposed for any portions of the site not shown in the 2017 site plan, a conditional use will be required. Review criteria: outdoor storage yard areas are fenced or screened in their entirety such that no materials are visible from the street or another property.
- The side plan shows the structures proposed will meet the following M-1 District setbacks: 50' front, 50' rear, 20' side.
- The maximum building height of the M-1 District is 80' with additional height allowed if greater setbacks.

• Parking/Drive Areas

- The site plan shows no new gravel surface areas from what was shown on the 2017-approved site plan.
- Further information must be provided relative to parking area paving. As required by Section 177.10.2 of the Zoning Code, any off-street parking area, including any parking lot, shall be surfaced with asphaltic or Portland cement binder pavement. Further clarification must also be provided relative to the requirement of Section 177.10.7.A that when a parking area is visible from the right-of-way, at least 5% of it must be greenspace and that perimeter landscaping cannot count toward this requirement.
- Further clarification shall be provided on the number of employees on site to ensure Section 177.09 of the Zoning Code relative to minimum parking stall count requirements are met for this site. Section 177.09.21 requires at least 1 parking space on the lot for each employee for this industrial-type use.

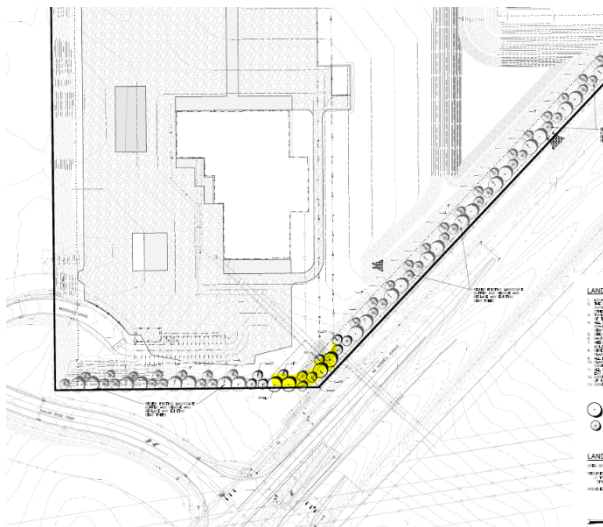
- It is assumed that Section 177.08 of the Zoning Code relative to off-street loading spaces was reviewed when the 2017 site plan was approved. Primary structure SF is what is reviewed for when calculating minimum off-street loading space requirements. There is no change in the square footage of the primary structure.
- Further clarification shall be provided to ensure the following will be met: parking spaces must be provided with raised curbing or equivalent, as is required by Section 177.10.8.

- **Stormwater, Utilities, & Natural Features**

- The required stormwater management report is currently under review by the City Engineer; this has been factored in as part of the attached resolution.
- Site plan to be updated to note total impervious SF proposed on this site as a result of the current projects proposed.
- The site plan shows no new utility connections from area mains into the buildings.
- The 100-year floodplain is not located on this property.
- This site is located outside of the City's Stream Buffer Ordinance area.

- **Landscaping Plan**

- Page 4 contains the required landscaping plan. It notes to review existing landscape buffer and remove and replace any existing dead trees. It also proposes a new portion of landscape buffer area in the area highlighted in yellow below - this site's access out to Highway 65 was formerly located in this area but has since been routed to the Shiloh Rose Parkway SW street connection out to Highway 65.



- **Architectural Elevations** - no colored elevations have been received. Attached are the building plans.

- **Other Site Plan Features-**

- If any detached monument signage is proposed, a sign permit will be required prior to installation.

- If any parking lot lighting is proposed, it must be installed such that it is directed away from any residential properties, if applicable.
- If a dumpster is proposed, it must be screened.

Comments from City Officials

1. **Public Works** - still under review; resolution reflects this.
2. **Engineering** - has done an initial review and noted no major concerns, however, still reviewing in further detail; resolution reflects this.
3. **Fire Department** - noted no fire code concerns.

FUNDING SOURCE: N/A

STAFF RECOMMENDATION: Staff has not yet prepared a P&Z recommendation resolution, but can do so after the meeting. The following City Code clarification items should be included as part of the resolution:

1. That all manufacturing, assembling, compounding, processing, packaging, or other comparable treatment shall take place within a building (the frame is considered a building).
2. That if any new outdoor storage yard area is proposed in the future that was not shown on the 2017 site plan, a conditional use permit shall be obtained from the City's Board of Adjustment.
3. That the buildings shall comply with the maximum building height requirements of the M-1 District.
4. That as required by Section 177.10.2 of the Zoning Code, any off-street parking area, including any parking lot, shall be surfaced with asphaltic or portland cement. Timing as determined in the 2020-approved development agreement.
5. That the site plan must provide calculations on interior greenspace requirements.
6. That the site plan must provide calculations on minimum interior tree requirements.
7. That the site plan must be updated to note number of employees to ensure minimum parking stall count requirements will be met. At least 1 per employee.
8. That the site plan must be updated to note the total impervious SF.
9. That the site plan must address the following: parking spaces must be provided with raised curbing or equivalent, as is required by Section 177.10.8.
10. That should any feedback be received by the City Engineer or Public Works Director, such feedback must be reflected in the site plan

A discussion on building design/material requirements should also occur, as no colored elevations were submitted. Is the expectation that any future buildings proposed on site must meet the design of the current primary structure? This site falls within the Overlay District. There are certain primary and secondary building material requirements. Alternative materials are allowed only when determined acceptable by the Commission and Council.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. Midstates Precast Products - Phase 2 - Site Plan - first submittal - 2021-11-10
2. Storage building drawings for approval
3. 20211019_Concrete And Steel For Approval_Sideline Steel Midstates Precast (RRI21193)

SITE PLAN FOR:

MIDSTATES PRECAST PRODUCTS - PHASE 2

BONDURANT, IOWA

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3	GRADING PLAN
4	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

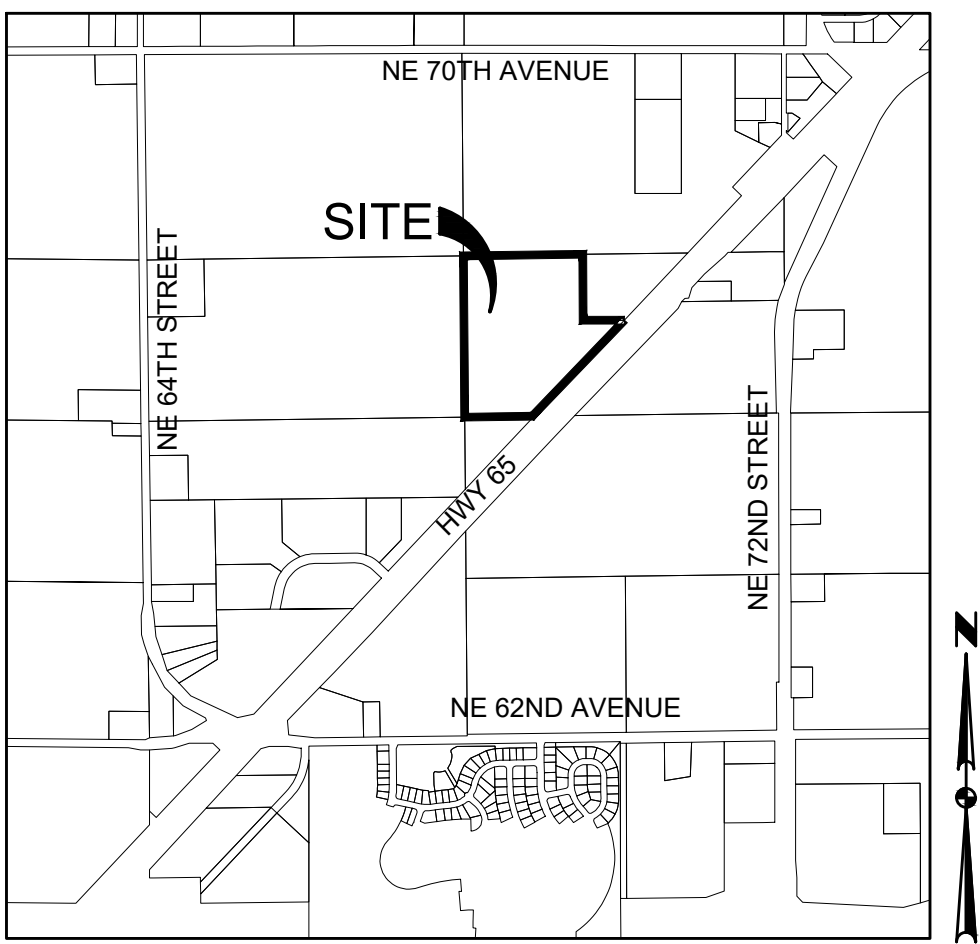
PROJECT BOUNDARY	_____
LOT LINE	_____
SECTION LINE	_____
CENTER LINE	_____
RIGHT OF WAY	_____R/W_____
PERMANENT EASEMENT	_____P/E_____
TEMPORARY EASEMENT	_____T/E_____
TYPE SW-501 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-402 STORM MANHOLE	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY	
SIGN	
DETECTABLE WARNING PANEL	
STORM SEWER STRUCTURE NO.	
STORM SEWER PIPE NO.	
SANITARY SEWER STRUCTURE NO.	
SANITARY SEWER PIPE NO.	
SANITARY SEWER WITH SIZE	_____8"S_____
SANITARY SERVICE	_____S_____
STORM SEWER	_____ST_____
STORM SERVICE	_____S_____
WATERMAIN WITH SIZE	_____8"W_____
WATER SERVICE	_____W_____
SAWCUT (FULL DEPTH)	
SILT FENCE	

EXISTING

SANITARY MANHOLE	
WATER VALVE BOX	
FIRE HYDRANT	
WATER CURB STOP	
WELL	
STORM SEWER MANHOLE	
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
ROOF DRAIN/ DOWNSPOUT	
DECIDUOUS TREE	
CONIFEROUS TREE	
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
POWER POLE W/ TRANSFORMER	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
ELECTRIC TRANSFORMER	
ELECTRIC MANHOLE OR VAULT	
TRAFFIC SIGN	
TELEPHONE JUNCTION BOX	
TELEPHONE MANHOLE/VAULT	
TELEPHONE POLE	
GAS VALVE BOX	
CABLE TV JUNCTION BOX	
CABLE TV MANHOLE/VAULT	
MAIL BOX	
BENCHMARK	
SOIL BORING	
UNDERGROUND TV CABLE	_____TV_____
GAS MAIN	_____G_____
FIBER OPTIC	_____FO_____
UNDERGROUND TELEPHONE	_____T_____
OVERHEAD ELECTRIC	_____OE_____
UNDERGROUND ELECTRIC	_____E_____
FIELD TILE	_____TILE_____
SANITARY SEWER W/ SIZE	_____8"S_____
STORM SEWER W/ SIZE	_____15" RCP_____
WATER MAIN W/ SIZE	_____8"W_____

VICINITY MAP

NOT TO SCALE



OWNER / APPLICANT

MPP PARTNERS, LLC
CONTACT: BILL SPENCER
9500 HICKMAN ROAD, SUITE 220
CLIVE, IOWA 50325
PH. (515) 986-5994

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: ERIN OLLENDIKE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: MIKE BROONER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

DATE OF SURVEY

NOVEMBER 7, 2017

BENCHMARKS

NCS BENCHMARK MH0385 100' +/- SOUTH OF
78TH AVENUE, 11' +/- EAST OF RAILROAD, 1.9
MILES SOUTH OF ENTERPRISE.
ELEVATION=938.93

5/8" REBAR W/CONTROL POINT POST, 20' +/-
SOUTHWEST OF SOUTHEAST PROPERTY CORNER.
ELEVATION=957.50

RAILROAD SPIKE IN FENCE POST 100' +/- WEST
OF SOUTHEAST PROPERTY CORNER.
ELEVATION=960.11

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 11/10/2021



1-800-292-8989
www.iowaonecall.com



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE
SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES
SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER
IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER
DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN
THE EXACT LOCATION SHOWN.



CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111

PH: (515) 369-4400 Fax: (515) 369-4410

PROJECT NO. 2111.891

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF BONDURANT
GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE
INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE
CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND
MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

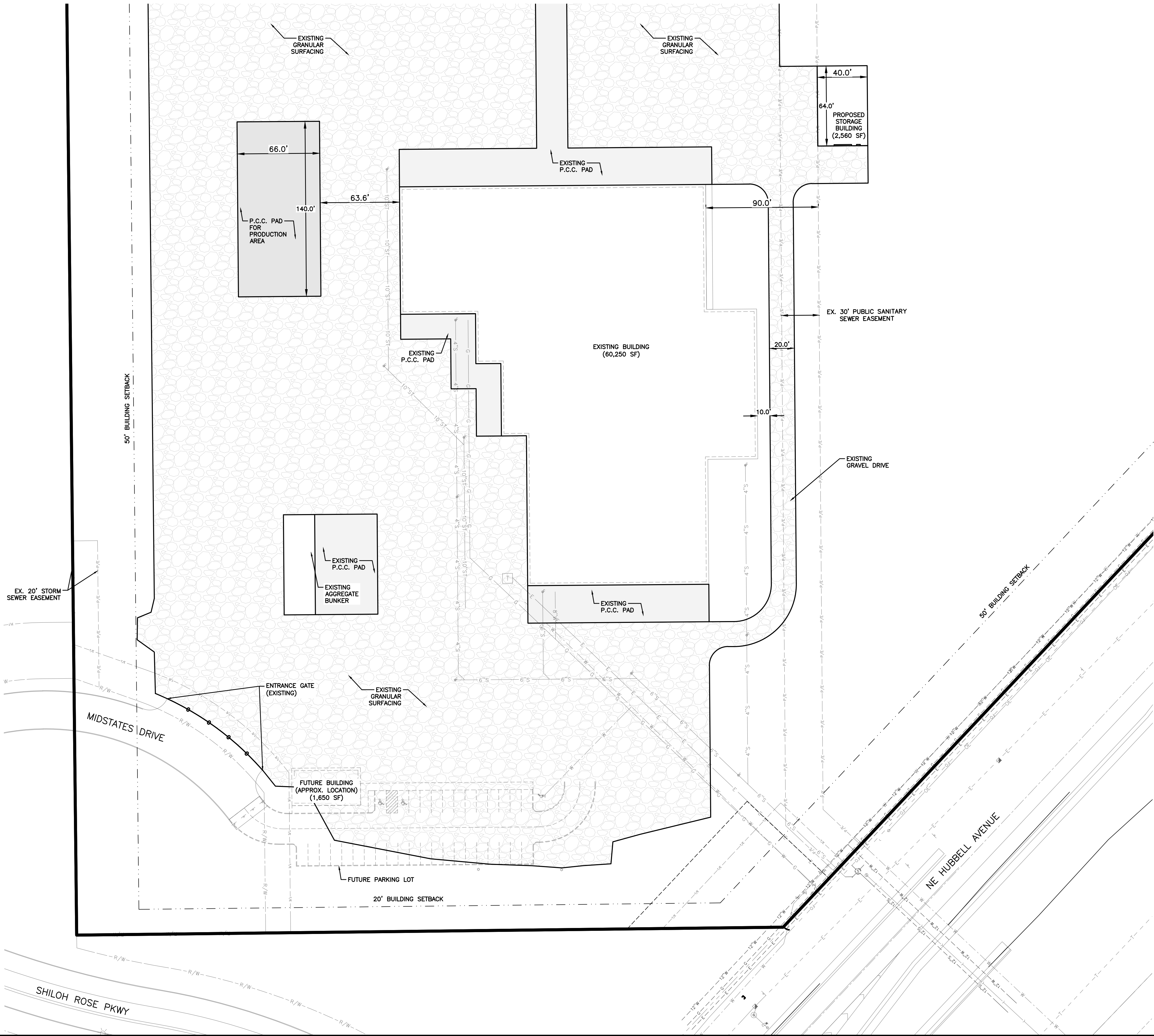
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR
ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2021 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC
RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY
SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT
UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN
ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND
ANY ACCOMPANYING SPECIFICATIONS.

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
	ERIN OLLENDIKE, PE DATE _____
	MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021 PAGES OR SHEETS COVERED BY THIS SEAL: _____
	SHEETS 1-4

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PLOTTER: HP DesignJet T120



GENERAL NOTES

1. THE 2017 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. A RAPID ENTRY LOCK BOX WILL BE INSTALLED AS REQUIRED BY THE FIRE DEPARTMENT.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

CONSTRUCTION SCHEDULE

1. GRADING - DECEMBER / JANUARY
2. POUR FOOTINGS AND SLAB FOR PRODUCTION AREA AND BUILDING - DECEMBER / JANUARY
3. ERECT STORAGE BUILDING - DECEMBER / JANUARY
4. INSTALL FRAMING AND RUNWAY MOUNT NEW CRANE - JANUARY - APRIL 2022
5. LANDSCAPING - APRIL 2022

2

4

2111.891

MIDSTATES PRECAST PRODUCTS - PHASE 2

DIMENSION PLAN

BONDURANT, IOWA

CIVIL DESIGN ADVANTAGE

3405 S.E. CROSSROADS DRIVE, SUITE G

GRIMES, IOWA 50111

PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: EKO

EI: GH

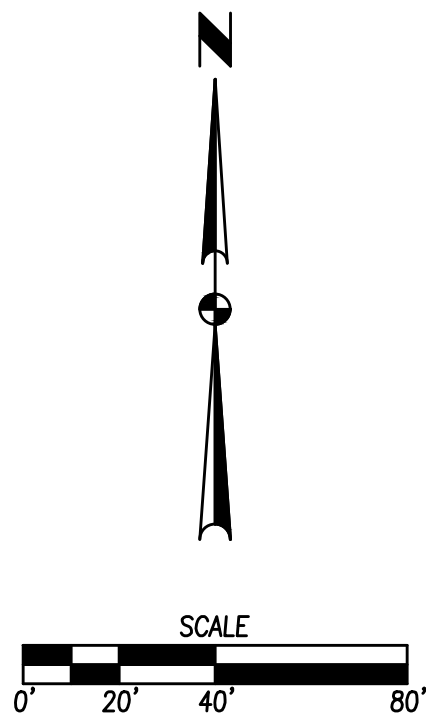
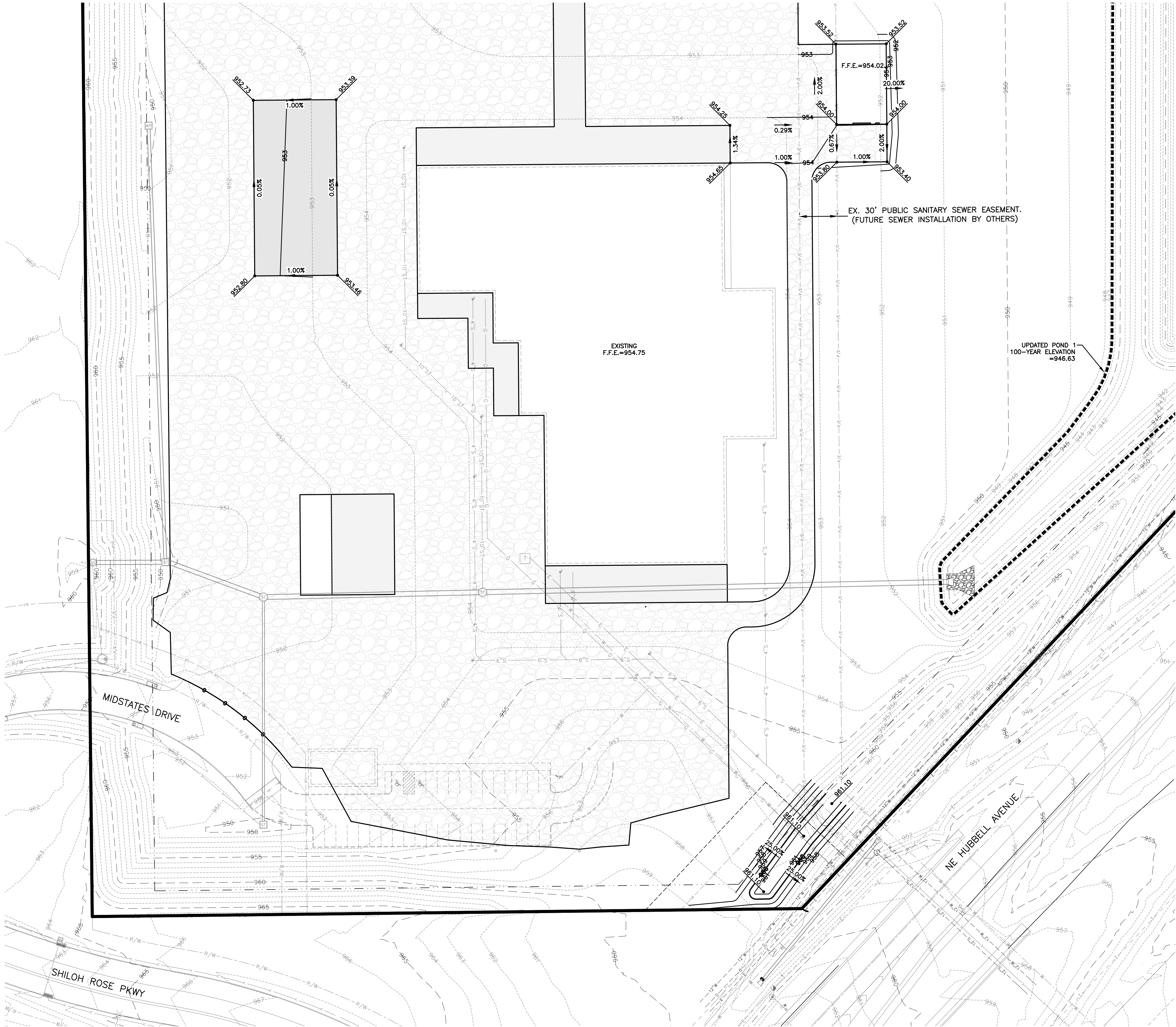
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11/10/21

REVISIONS

1ST SUBMITTAL

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- GRADING NOTES**
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF BONDURANT.
 2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
 3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2014 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
 4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
 5. ALL SPOT ELEVATIONS ARE FOR GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
 6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
 7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
 8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
 10. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
 11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
 12. SIDEWALKS:
MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
 13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.
 14. NO GRADING OFFSITE WILL BE ALLOWED WITHOUT PERMISSION FROM THE PROPERTY OWNER.

3

MIDSTATES PRECAST PRODUCTS - PHASE 2

4

GRADING PLAN

2111.891

BONDURANT, IOWA

CIVIL DESIGN ADVANTAGE

3405 S.E. CROSSROADS DRIVE, SUITE G

GRIMES, IOWA 50111

PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: EKO

EI: GH

DATE

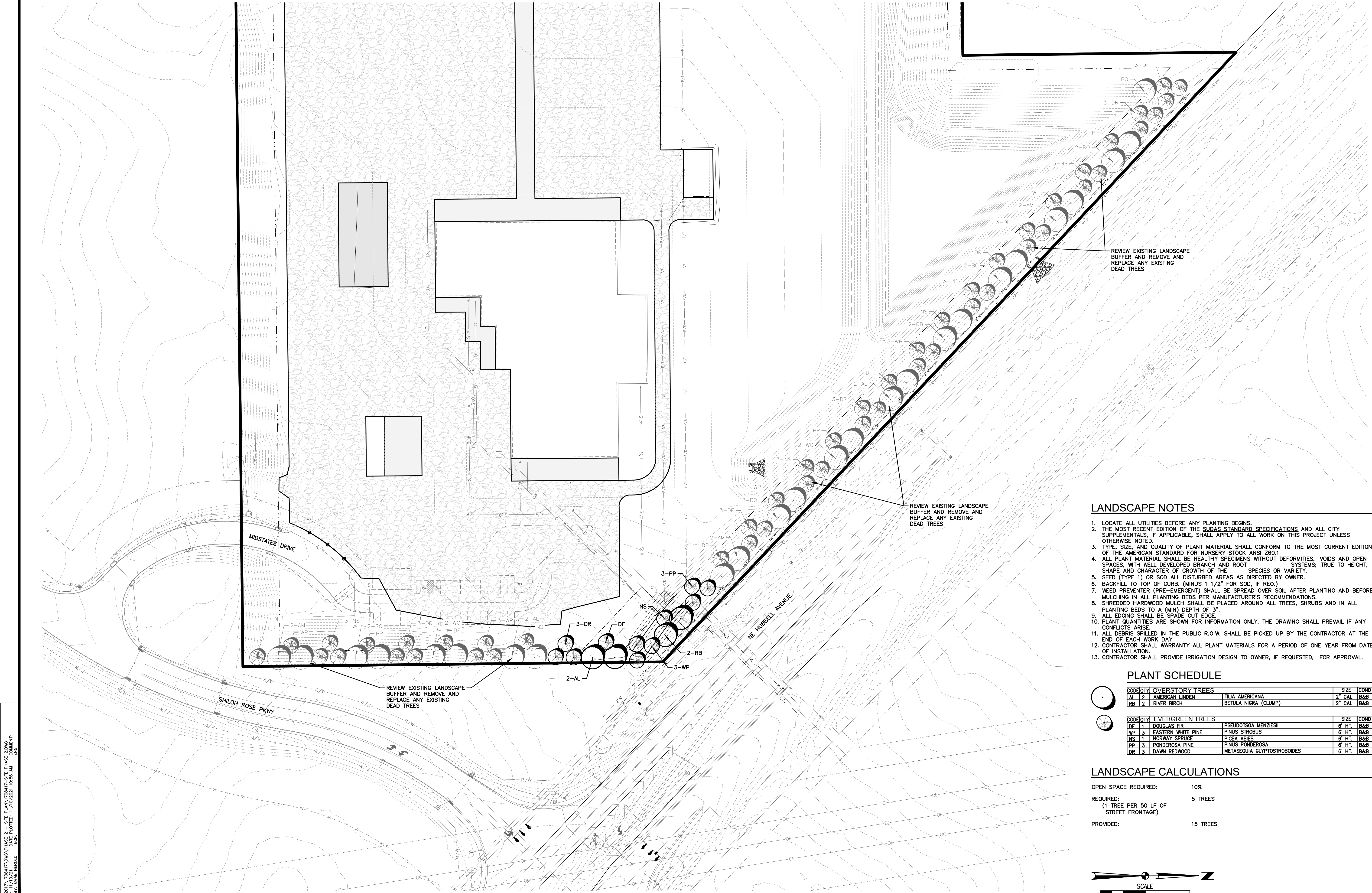
REVISIONS

1ST SUBMITTAL

11/10/21

Page 26 of 55

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PLOT BY: GIVE HEROLD



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE, AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

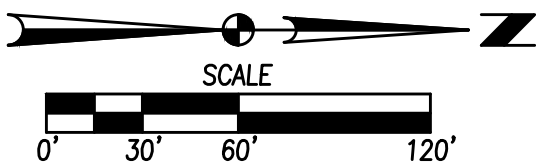
PLANT SCHEDULE

OVERSTORY TREES		SIZE	COND
AL	2	AMERICAN LINDEN	2" CAL B&B
RB	2	RIVER BIRCH	2" CAL B&B

EVERGREEN TREES		SIZE	COND
DF	1	DOUGLAS FIR	6" HT. B&B
WP	3	EASTERN WHITE PINE	6" HT. B&B
NS	1	NORWAY SPRUCE	6" HT. B&B
PP	3	PONDEROSA PINE	6" HT. B&B
DR	3	DAWN REDWOOD	6" HT. B&B

LANDSCAPE CALCULATIONS

OPEN SPACE REQUIRED: 10%
REQUIRED: 5 TREES
(1 TREE PER 50 LF OF STREET FRONTAGE)
PROVIDED: 15 TREES



4

MIDSTATES PRECAST PRODUCTS - PHASE 2

2111.891

LANDSCAPE PLAN

4

DATE

11/10/21

REVISIONS

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: EKO
EI: GH

BONDURANT, IOWA

CIVIL DESIGN ADVANTAGE

EA

11/10/21

COVER PAGE

40' X 64' X 16' POST FRAME BUILDING

OCCUPANCY CATEGORY: AG. OR MINOR STORAGE

DESIGN LOADS: 30 PSF GROUND SNOW LOAD, 115 MPH WIND, EXPOSURE "C"

FOOTINGS ARE DESIGNED FOR 2000PSF ASSUMED BEARING CAPACITY.

FOOTING SHALL BEAR ON CLEAN UNDISTURBED SOIL OR PROPERLY COMPACTED FILL MATERIAL

ANY ENCOUNTERED WATER SHALL BE PROPERLY REMOVED PRIOR TO PLACING FOOTINGS

TRUSS BRACING SHALL BE IN ACCORDANCE WITH THE TRUSS MANUFACTURER'S
DRAWINGS AND REQUIREMENTS.

TEMPORARY BRACING DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR

THE CERTIFICATION OF THESE PLANS BY CHRIS KRANZLER

IS FOR THE BUILDING STRUCTURE ONLY AND DOES NOT APPLY TO OTHER DEVELOPMENT
FEATURES SUCH AS LAND DRAINAGE, SLOPE STABILITY, PAVING AND UTILITIES.

	I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Iowa.	
	Signature: 	
	Name: Chris R. Kranzler	
	Date: <u>10/12/21</u>	Renewal: <u>12/31/21</u>
Pages Covered by this seal: <u>Sheets 1 - 5</u>		

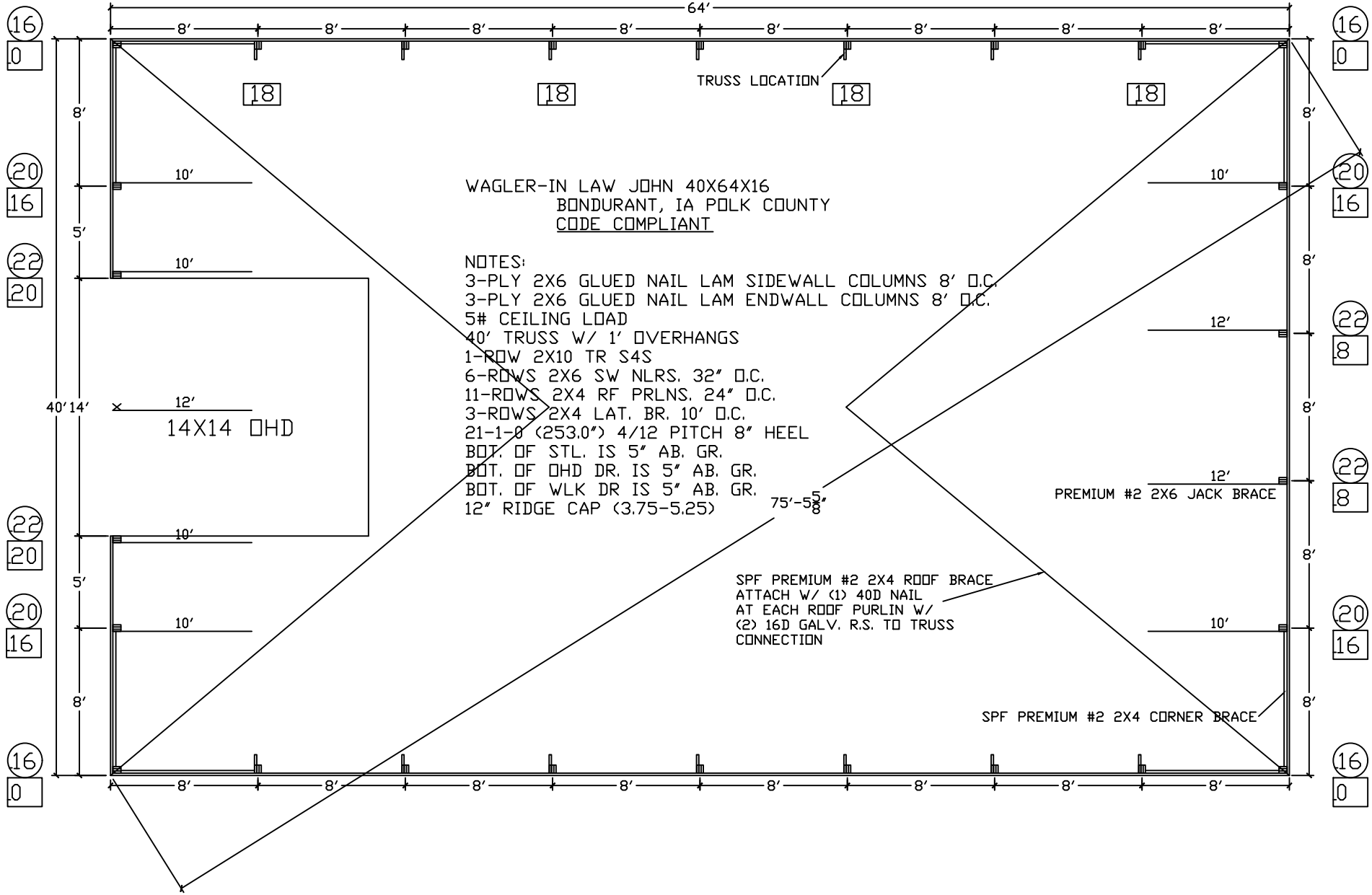
GREINER BUILDINGS INC.

120 E MAIN ST. WASHINGTON, IA

JOB NAME: WAGLER-IN LAW JOHN **SHEET:** 1 OF 5

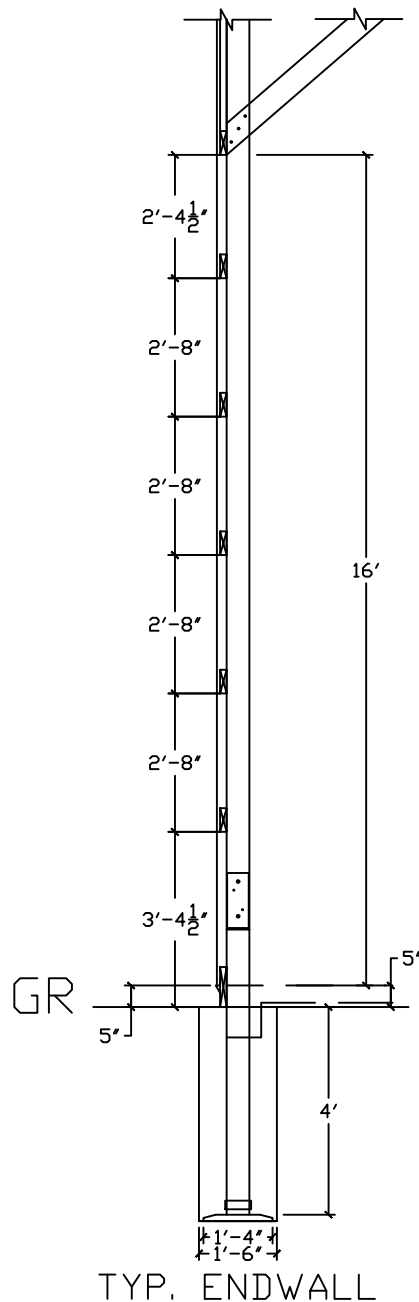
DRAWN BY: GRANT MAREK

DATE: 10-5-21



GREINER BUILDINGS INC.
120 E MAIN ST. WASHINGTON, IA

JOB NAME: WAGLER-IN LAW JOHN **SHEET:** 2 OF 5
DRAWN BY: GRANT MAREK **DATE:** 10-5-21



BOTTOM TRUSS CORD W/(6)
12D GALV. R.S. GUN NAILS 8' O.C.
& (4) 3" GUN. NAILS THROUGH
TRUSS WEBS INTO COLUMNS

29 GA. GRABER G-RIB GALVALUME
END STEEL W/1.5" SCREWS
9" O.C. ACROSS END NAILERS

SPF PREMIUM #2 SPF
2X6 END NAILERS W/(5)
3" GALV. R.S. GUN NAILS 8' O.C.

2X10 TR. S4S SPLASH
W/(3) 3/16"x3" GALVANIZED
STEEL SPLIT DRIVE ANCHOR 8' O.C.

GR

PC6300
PERMACOLUMN
FOOTING W/
STEEL UPLIFT
ANGLES

TYP. ENDWALL

SPF PREMIUM 2X6 JACK BRACE W/(3)
20D R.S. NAILS INTO COLUMNS &
(4) 16D SINKERS INTO TOP
TRUSS CORD

3-PLY 2X6 GLUED NAIL-LAM
END COLUMNS 8' O.C.

COLUMN ATTACHED TO BRACKET
W/(2) 1/2" X 6" MACHINE BOLTS

PROPOSED FINISHED FLOOR ELEVATION

POST HOLES BACKFILLED
WITH ROAD ROCK

16" COMPOSITE
FOOTING

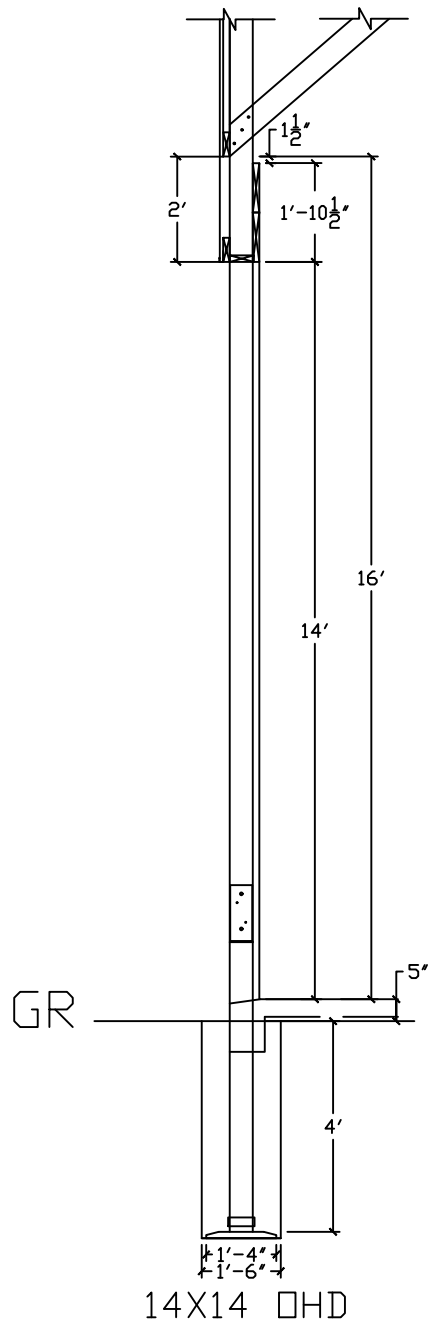
GREINER BUILDINGS INC.

120 E MAIN ST. WASHINGTON, IA

JOB NAME: WAGLER-IN LAW JOHN SHEET: 4 OF 5

DRAWN BY: GRANT MAREK

DATE: 10-5-21



SPF PREMIUM #2 SPF
2X6 OUTSIDE HEADER
W/(5) 3\" GALV. R.S. GUN
NAILS EACH END

SPF PREMIUM #2 2X6
FILLER BOARD W/(2) 3\" R.S.
GUN NAILS 12\" O.C.

DOUBLE SYP 2X12 HEADER
W/(8) 4\" R.S. NAILS EACH END
& INTO STUB COLUMN

2X6 TRACK SPACER
W/(3) 3\" GALV. R.S.
GUN NAILS 16\" O.C.

3-PLY 2X6 GLUED NAIL LAM
OHD COLUMNS

COLUMN ATTACHED TO BRACKET
W/(2) 1/2\" X 6\" CARRIAGE BOLTS

PROPOSED FINISHED FLOOR ELEVATION

PC6300
PERMACOLUMN
FOOTING W/
STEEL UPLIFT
ANGLES

POST HOLES BACKFILLED
WITH ROAD ROCK

16\" COMPOSITE
FOOTING

14X14 OHD

GREINER BUILDINGS INC.

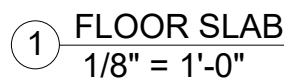
120 E MAIN ST. WASHINGTON, IA

JOB NAME: WAGLER-IN LAW JOHNSHEET: 5 OF 5

DRAWN BY: GRANT MAREK

DATE: 10-5-21


$$1/8" = 1'-0"$$



FOUNDATION SYMBOL KEY	
	T/ WALL/ STEEL
	T/ FOOTING
	T/ JOIST BEARING
	T/ BRICK LEDGE
	ELEV. STEP
	EXIST. BLDG.

S1.2

SIDELINE STEEL
MIDSTATES PRECAST CRANE BLDG
BONDURANT, IA

BONDURANT, IA

RL **RAKER RHODES**
Industrial
Des Moines, Iowa www.rakerrhodes.com

www.rakerrhodes.com



SIDELINE STEEL
MIDSTATES PRECAST CRANE BLDG
BONDURANT, IA

[illegible]

Job No. **RRI21193** Proj. Mgr. **VWW**

Sheet Title

**FOUNDATION
SECTIONS**

Sheet No. _____

S2.1

S2.1

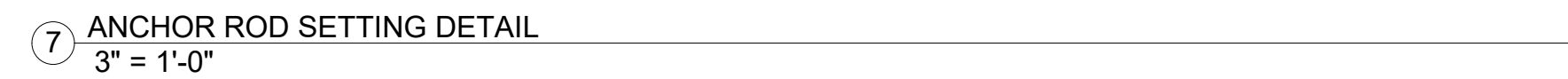
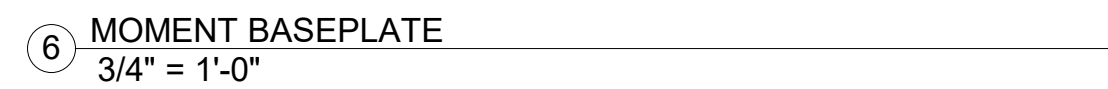
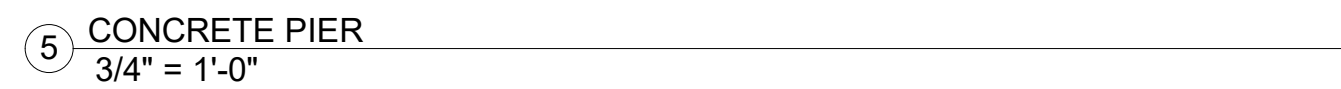
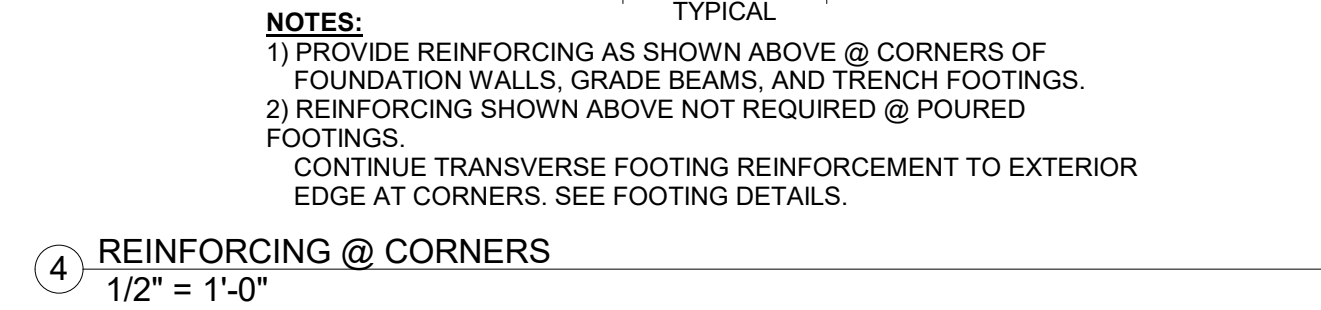
www.rakerrhodes.com

Des Moines, Iowa

RL RAKER RHODES
Industrial

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NOT FOR CONSTRUCTION



ANCHOR DIA.	MIN WASHER SIZE	MIN WASHER THICKNESS
3/4"	2"	1/4"
7/8"	2 1/2"	5/16"
1"	3"	3/8"
1 1/4"	3 1/2"	1/2"
1 1/2"	4"	1/2"
1 3/4"	4 1/2"	5/8"
2"	5"	3/4"
2 1/2"	5 1/2"	7/8"

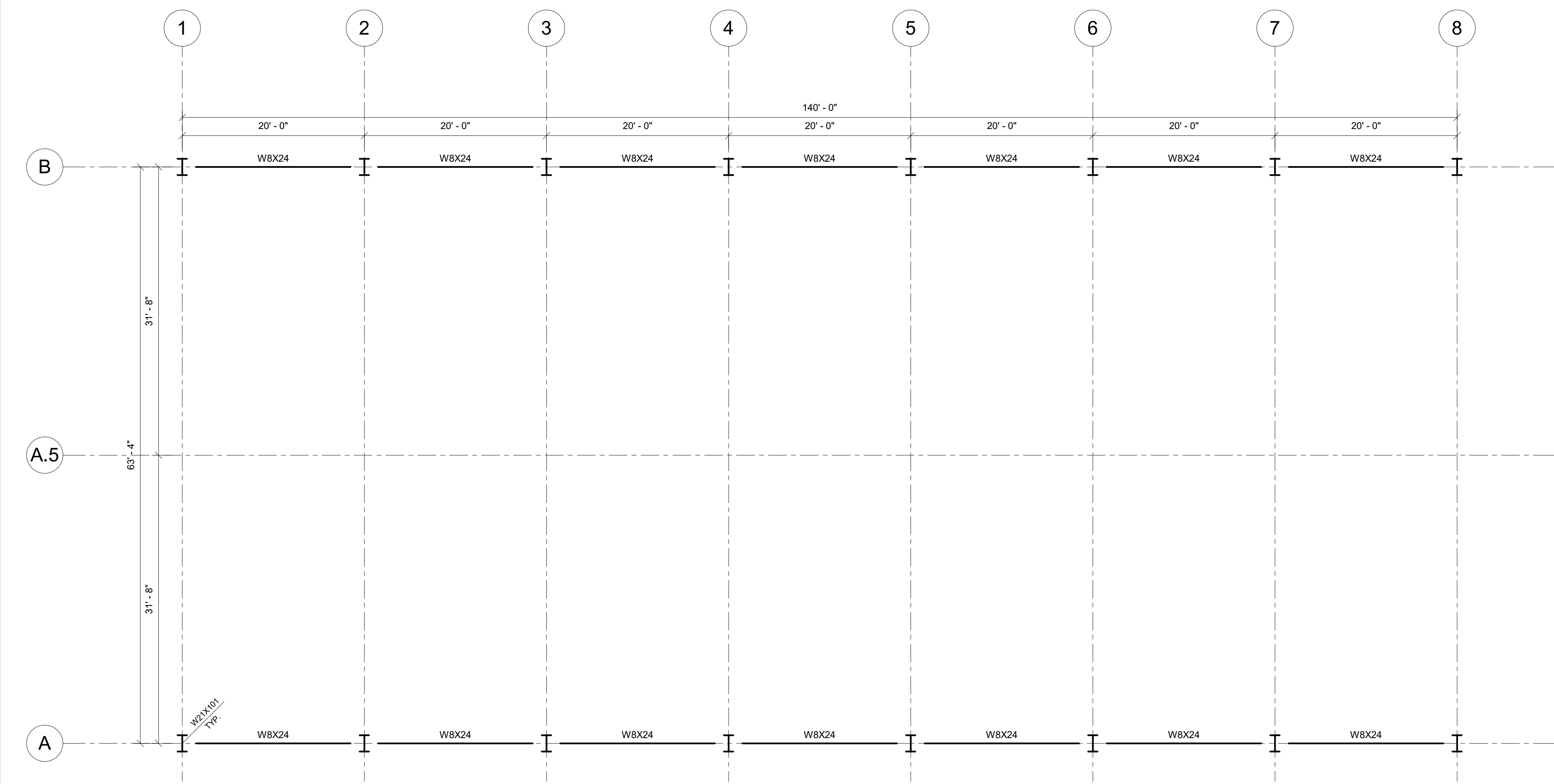


SIDELINE STEEL
MIDSTATES PRECAST CRANE BLDG
BONDURANT, IA

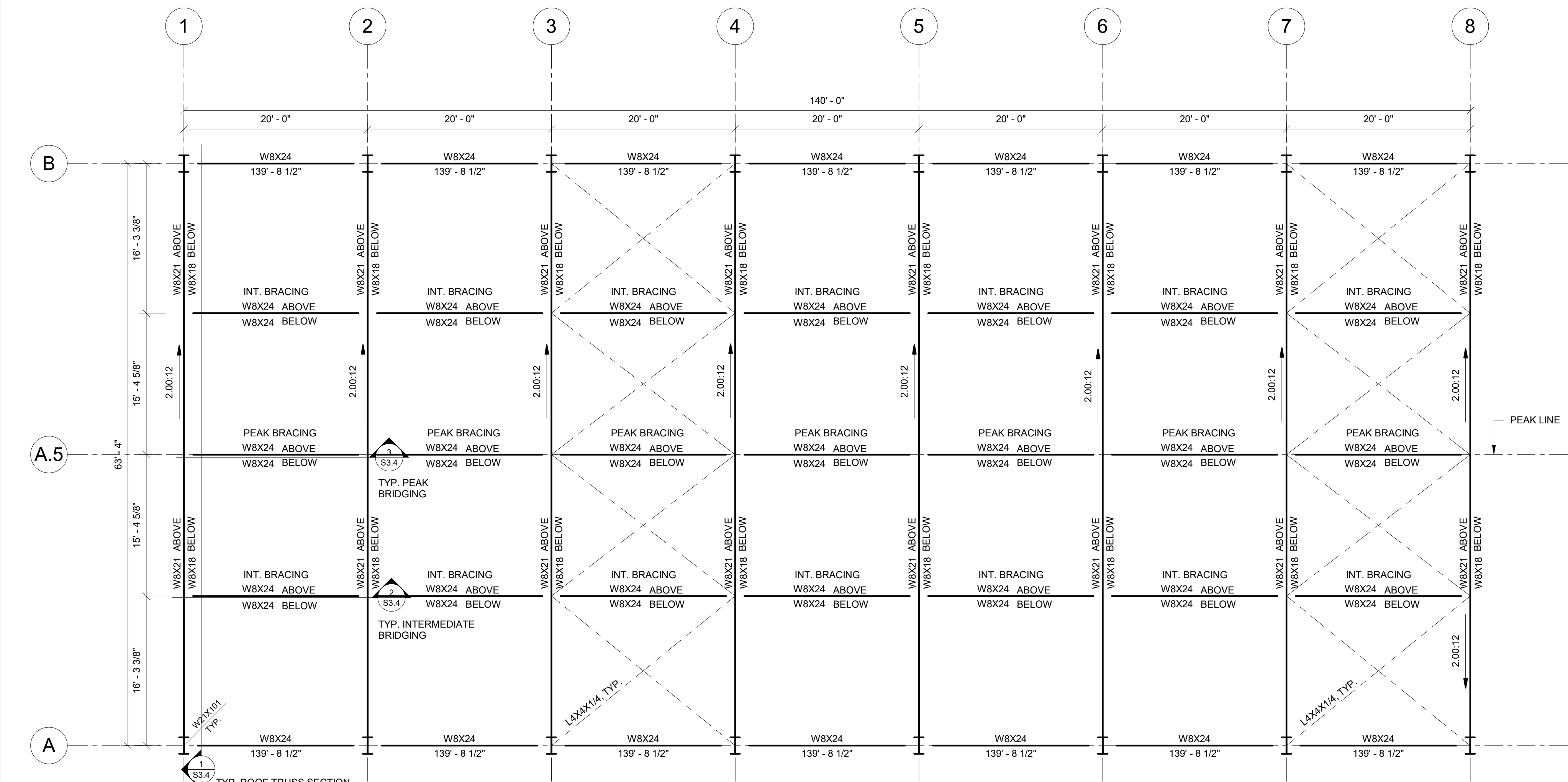
Job No.	Proj. Mgr.
RRI21193	VWW

Sheet No. _____

NOT FOR CONSTRUCTION | **S2.2**



1 T/ STEEL = 120' - 0"
1/8" = 1'-0"



2 ROOF FRAMING PLAN
1/8" = 1'-0"

NOTES:
1) ALL MEMBERS SHOWN ARE FOR FUTURE CONSTRUCTION, EXCEPT FOR STRUT MEMBERS ON COLUMN LINES A AND B
2) FUTURE ROOF PURLINS (NOT SHOWN) TO HAVE A MAXIMUM SPACING OF 5 FEET
3) BAYS 3/4 AND 7/8 HAVE L4X4X1/4 X-BRACING, IN THE PLANE OF THE TOP CHORD OF THE ROOF TRUSSES

NOT FOR CONSTRUCTION

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SIDELINE STEEL
MIDSTATES PRECAST CRANE BLDG
BONDURANT, IA

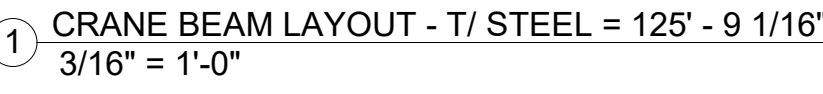
No.	Description	Date
1	ADDED STEEL FOR APPROVAL	10/19/2021
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Job No. **RR121193** Proj. Mgr. **VWW**

Sheet Title **FRAMING PLAN**

Sheet No.

S3.1



S3.2

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Des Moines, Iowa

SIDELINE STEEL
MIDSTATES PRECAST CRANE BLDG

BONDIIRANT IA

Job No. **RRI21 193** Proj. Mgr. **VWW**

Sheet Title

FRAMING PLAN

Sheet No. _____



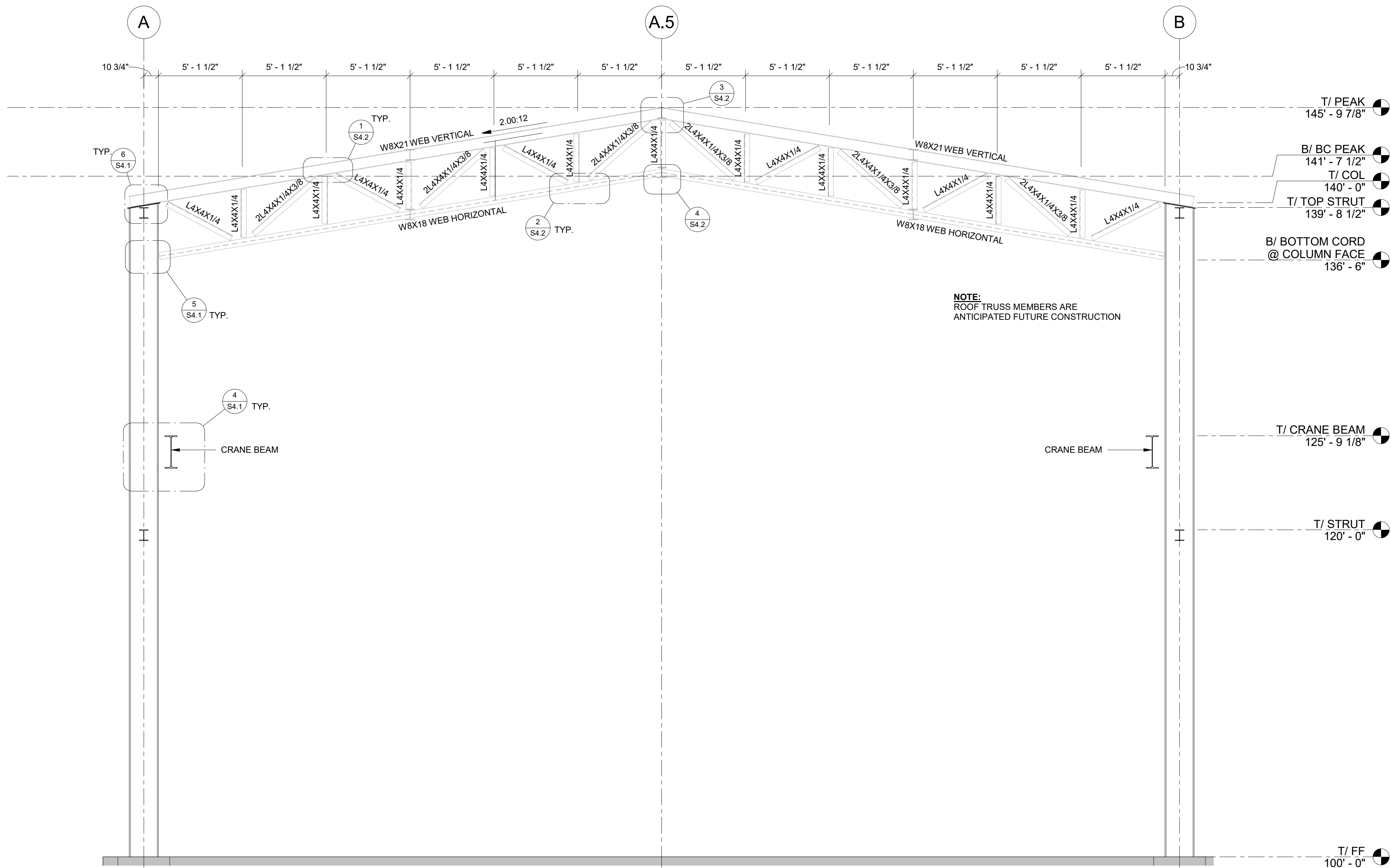
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SIDELINE STEEL
MIDSTATES PRECAST CRANE BLDG

BONDURANT, IA

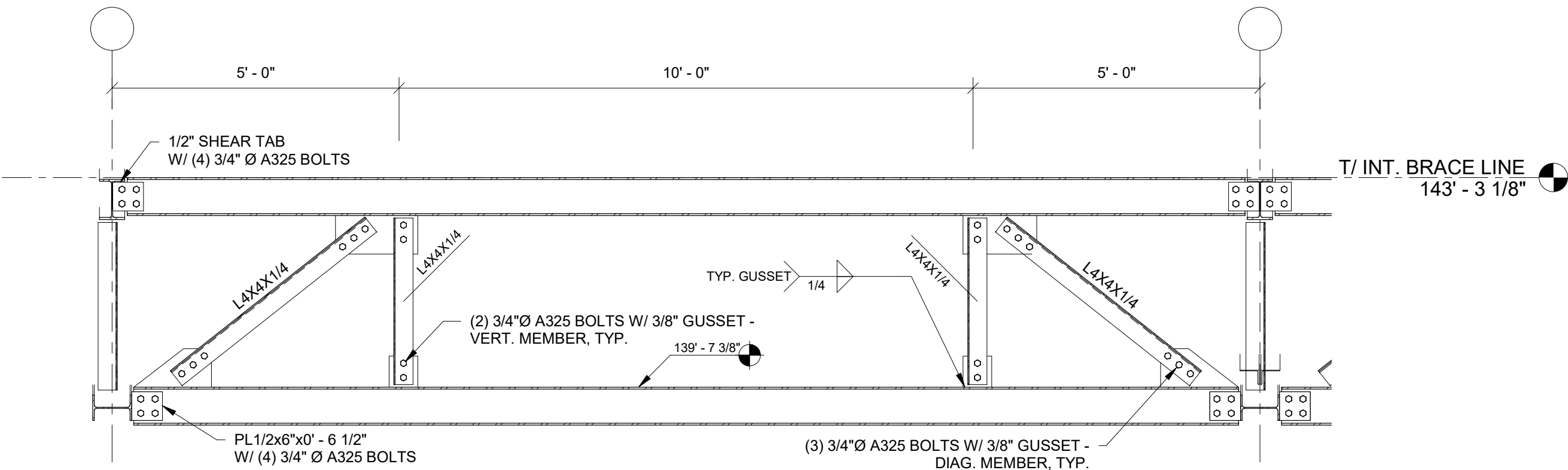
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NOT FOR CONSTRUCTION | **S3.3**

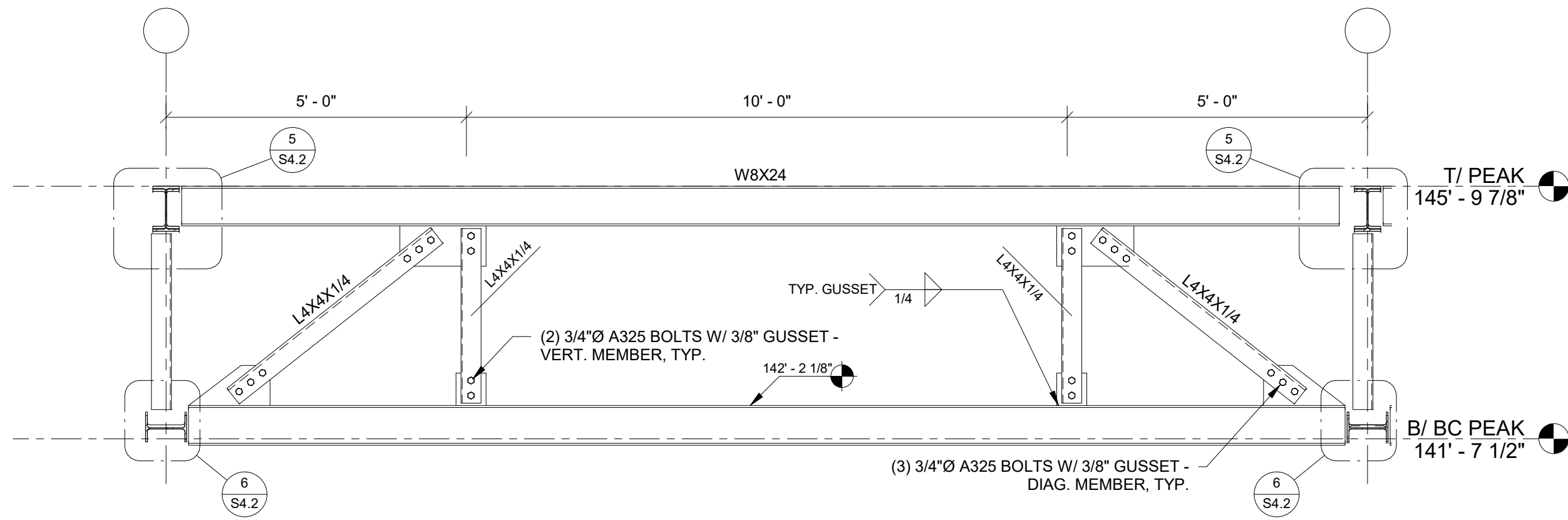


1 Section 3
1/4" = 1'-0"

NOTE:
ALL ROOF TRUSS MEMBERS ARE FUTURE CONSTRUCTION.
FABRICATOR TO DETAIL COLUMNS FOR FUTURE ROOF



2 INTERMEDIATE BRIDGING
1/2" = 1'-0"



3 PEAK BRIDGING
1/2" = 1'-0"

- T/ PEAK
145' - 9 7/8"
- B/ BC PEAK
141' - 7 1/2"
- T/ COL
140' - 0"
- T/ TOP STRUT
139' - 8 1/2"
- B/ BOTTOM CORD
@ COLUMN FACE
136' - 6"
- T/ CRANE BEAM
125' - 9 1/8"
- T/ STRUT
120' - 0"
- T/ FF
100' - 0"

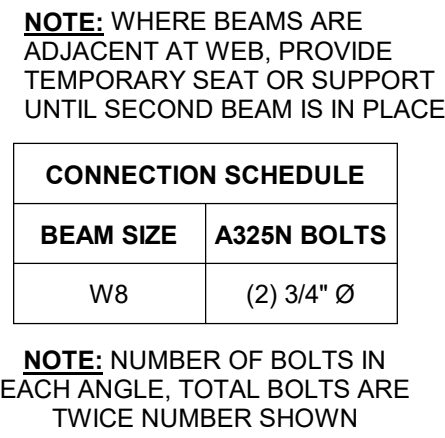
NOTE:
ROOF TRUSS MEMBERS ARE
ANTICIPATED FUTURE CONSTRUCTION

NOT FOR CONSTRUCTION S3.4

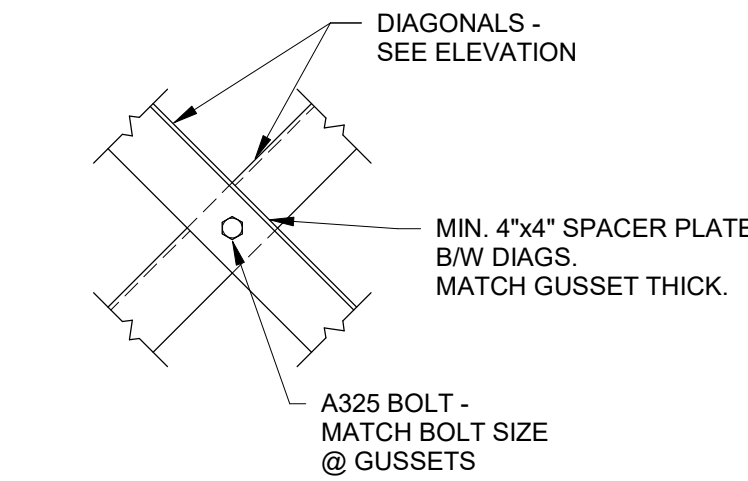
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SIDELINE STEEL
MIDSTATES PRECAST CRANE BLDG
BONDURANT, IA

Description	Date											
	No.											
Job No.	RR121193											
Proj. Mgr.	VWW											
Sheet Title	FRAMING SECTIONS											
Sheet No.												



② ANGLE BRACED BAY @ COLUMN
3/4" = 1'-0"



SECTION

ELEVATION @ CONTINUOUS

ELEVATION @ SPLICEELEVATION

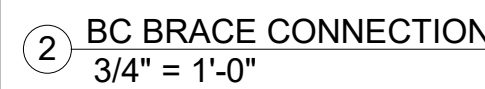
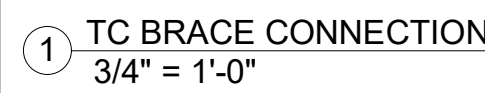
SECTION

7 BRACE AT BASE
 $3/4" = 1'-0"$

S4.1

BONDI RANT IA

Sheet No. _____



SIDELINE STEEL
MIDSTATES PRECAST CRANE BLDG
BONDURANT, IA

BONDURANT, IA

Job No.	Proj. Mgr.
RR121193	VWW

Sheet Title

**ROOF FRAMING
DETAILS**

Sheet No.

NOT FOR CONSTRUCTION

S4.2



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

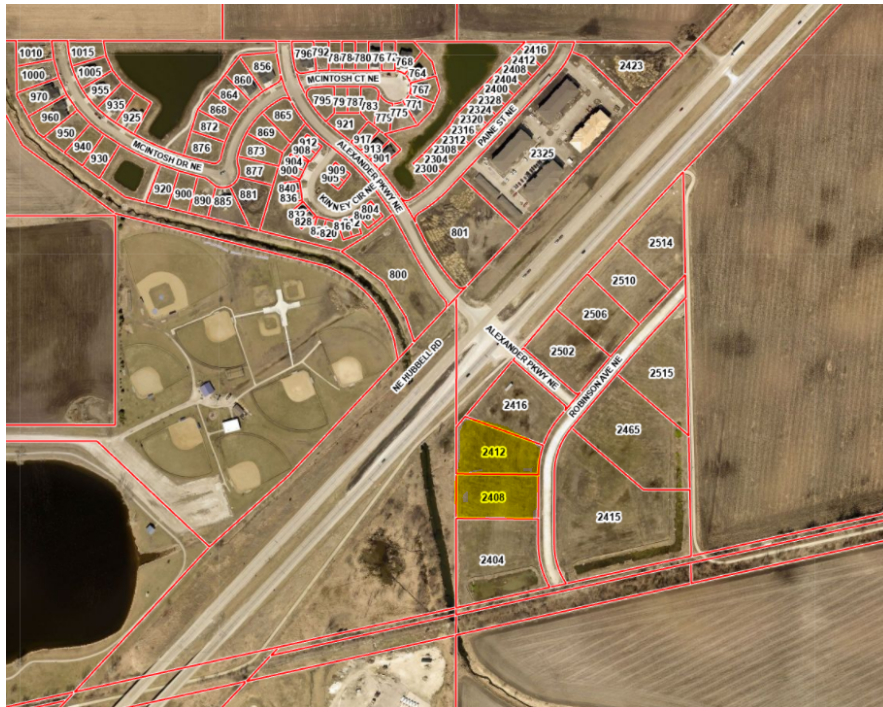
Item No. 6.d.
For Meeting of 11/18/2021
Resolution

TITLE: RESOLUTION NO. PZ-211118-27: Considering recommended approval of the CDL training lot site plan at 2408 Robinson Avenue NE

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: The City is in receipt of a site plan for review by the Planning & Zoning Commission and City Council for 2408 Robinson Avenue NE. This site plan is comprised of Lots 6 & 7 of the Bondurant Industrial Park - please see the highlighted area below. The use proposed is a CDL training lot. This property is zoned as being within the City's Medium Industrial (M-2) District.



When the Planning & Zoning Commission and City Council reviews site plans, they review for consistency with the following documents: Comprehensive Plan; Zoning

Code; and Comments from City Officials.

Analysis:

Consistency with the City's Comprehensive Plan

The City's Future Land Use Map guides for industrial use within the Bondurant Industrial Park. Since this property is already zoned for industrial use, no rezoning is proposed as part of this site plan.

Consistency with the City's Zoning Code

Below are notes detailing how the Zoning Code is met for this request or what additional information is needed to ensure the Code will be met for this development.

- **Medium Industrial Use & Bulk**

- A CDL training lot is a permitted use per either Section 178.13.1.F (trade school) or Section 178.14.1.D (carting, express, hauling, or storage yards).
- N/A for setbacks, as no structure is currently proposed.
- N/A for building height, as no structure is currently proposed.

- **Parking/Drive Areas**

- The site plan shows all parking/drive areas will be paved as required by Section 177.10.8 of the Zoning Code. The developer has noted that if the paving cannot be completed yet this year, they will temporarily place gravel until it can be paved in 2022; this has been factored in as part of the attached P&Z recommendation resolution.
- Two separate 30'-wide curb cuts are proposed off of the existing Robinson Avenue NE street area.
- Section 177.08 of the Zoning Code relative to off-street loading spaces does not apply, as no structure is proposed.
- The site plan shows parking spaces will be provided with raised curbing or equivalent, as is required by Section 177.10.8.
- Fifteen standard parking stalls are proposed and six truck parking stalls are proposed. Developer to provide a written summary on the intensity of the use proposed to ensure Section 177.09. of the Zoning Code is met relative to when there is a use not specified in the Zoning Code for minimum parking stall count requirements.

- **Stormwater, Utilities, & Natural Features**

- Stormwater - the required stormwater management plan has been submitted and reviewed by the City Engineer.
- No utility connections are proposed for this CDL training site. While no utilities are proposed at this location, this development site falls within the City's Park Side Water Connection Fee District and the City's Urban Service Area Sanitary Sewer Connection Fee District. The subdivision developer opted that the Bondurant Industrial Park Subdivision's connection fee district fees be captured at the time each lot develops; as such, payment into the water and sewer connection

fee districts for this CDL training lot must be made prior to beginning development.

- Parking lot pavement is proposed over the existing sanitary sewer easement and storm sewer easement. The City of Bondurant is not responsible for repair/replacement should access ever be needed to the utilities within the easement area.
- The 100-year floodplain is located on this site in areas as shown on the site plan. Chapter 165 of the City Code, titled Floodplain Management, will need to be met if/when there is a structure proposed at this location.
- The Stream Buffer Ordinance does not fall within this site plan area.

- **Landscaping Plan**

- Page C-100 contains the required landscaping plan. Notes on this:
 - This site has 277' of street frontage. The landscaping plan shows 6 general trees are proposed, however, it appears the site plan only shows 5 general trees on this site. Site plan to be updated to show 6 general trees on this site. The landscaping plan shows that these general trees will be planted within the M-2 District's 30' minimum front yard setback area. Site plan engineer to confirm the general trees will be planted at least 4' away from the front property line, as is required by Section 182.05.E.
 - 15 parking spaces are proposed. 15/18 = at least 1 interior tree required. The landscaping plan does not currently show the interior tree in an interior parking lot island. Site plan to be updated accordingly.
 - Site plan does not provide a calculation for the 5% minimum interior greenspace requirement, as is required by Section 177.10.7.a of the Zoning Code. Site plan to be updated accordingly.
 - The types of trees proposed are considered deciduous. This meets the type requirement regulated by Section 182.05.D.1 of the Zoning Code notes
 - The landscaping plan notes that all trees will be 1 /34 inch caliper in size. This meets the size requirements as regulated by Section 182.04 of the Zoning Code.

- **Architectural Elevations** - N/A, as no structure is proposed.

- **Other Site Plan Features-**

- If any detached monument signage is proposed, a sign permit will be required prior to installation.
- If any parking lot lighting is proposed, it must be installed such that it is directed away from any residential properties, if applicable.
- If a dumpster is proposed, it must be screened.
- No sidewalks are shown - this is consistent with the other developed lots of the Bondurant Industrial Park. If the City determines sidewalks

should be required in the future, the City Council may do so in accordance with Chapter 136 of the City Code.

Comments from City Officials

1. **Public Works** - reviewed an initial site plan submitted in October 2021 and provided a note that the right-of-way driveway areas shall be paved. This has been addressed with the resubmitted site plan.
2. **Engineering** - reviewed an initial site plan submitted in October 2021 and provided a note that the right-of-way driveway areas shall be paved. This has been addressed with the resubmitted site plan.
3. **Fire Department** - noted no Fire Code comments/concerns.
4. **City Building Official** - current use proposed is not required to install a permanent restroom facility. However, if use intensifies in the future, the City of Bondurant will require installation of such facilities. A temporary kybo will not meet this City of Bondurant requirement.

FUNDING SOURCE: N/A

STAFF RECOMMENDATION: Staff recommends approval of the attached P&Z recommendation resolution. This resolution includes the following City Code clarification notes:

1. The site shall be paved in accordance with Section 177.10.8 of the Zoning Code within 180 days after City Council approval, as is regulated by Section 179.01.6 of the Zoning Code.
2. That if in the future the CDL training use intensifies, the City Building Official may make a determination that permanent restroom facilities or other building code requirements shall be accommodated for on site.
3. The developer shall provide a written summary of the intensity of the use proposed so that the City Administrator can make a determination that the number of parking spaces proposed is satisfactory, as is allowed per Section 177.09 of the Zoning Code.
4. The Park Side Water Connection Fee District fees shall be paid prior to issuance of a grading permit.
5. The Urban Service Area Sanitary Sewer Connection Fee District shall be paid prior to issuance of a grading permit.
6. The site plan must be updated so that it meets the landscaping requirements as noted in this agenda statement.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RESOLUTION NO. PZ-211118-27 - CDL Training, 2408 Robinson Ave NE
2. 21-165 Site Plan 11.9.21

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-211118-27

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE CDL TRAINING
SITE PLAN AT 2408 ROBINSON AVENUE NE

WHEREAS, Pelds Design Services submitted the CDL training site plan for property at 2408 Robinson Avenue NE; AND

WHEREAS, the zoning for the property is Medium Industrial (M-2) and the use proposed is considered a permitted use per the following uses: ; AND

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted CDL training site plan at 2408 Robinson Avenue NE, subject to the following City Code/Policy clarification recommendation items:

1. The site shall be paved in accordance with Section 177.10.8 of the Zoning Code within 180 days after City Council approval, as is regulated by Section 179.01.6 of the Zoning Code.
2. That if in the future the CDL training use intensifies, the City Building Official may make a determination that permanent restroom facilities or other building code requirements shall be accommodated for on site.
3. The developer shall provide a written summary of the intensity of the use proposed so that the City Administrator can make a determination that the number of parking spaces proposed is satisfactory, as is allowed per Section 177.09 of the Zoning Code.
4. The Park Side Water Connection Fee District fees shall be paid prior to issuance of a grading permit.
5. The Urban Service Area Sanitary Sewer Connection Fee District shall be paid prior to issuance of a grading permit.
6. The site plan must be updated so that it meets the landscaping requirements as noted in this agenda statement.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on November 18, 2021; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

Action	Yay	Nay	Abstain	Absent
Cameron				
Clayton				
Mains				
Keeran				
Cuellar				
Hoyer				
Brostrom				

Torey Cuellar, Commission Chair

SITE ADDRESS
2408 & 2412 ROBINSON AVENUE NE
BONDURANT, IOWA 50035

SITE USE
CDL TRAINING LOT

ZONING
EXISTING: M-2 MEDIUM INDUSTRIAL DISTRICT
PROPOSED: N/A
ADJACENT ZONING:
NORTH: M-2
EAST: M-2
SOUTH: M-2
WEST: M-2

PAVING
SITE: 6" THICK NON REINFORCED R.C.C. WITH MINIMUM 6" CRUSHED P.C.C. SUBBASE***
ACCESS: 7" THICK NON REINFORCED R.C.C. WITH MINIMUM 6" CRUSHED P.C.C. SUBBASE***

***6" CRUSHED RECYCLED CONCRETE THAT COMPLIES WITH AASHTO M147 GRADE C OR GRADE D AND SUBGRADE THAT IS COMPACTED TO 95% STANDARD PROCTOR DENSITY. GEOTECHNICAL REPORT UNAVAILABLE AT THE TIME OF CIVIL SET PREPARATION. VERIFY SUBBASE DEPTH WITH ENGINEER PRIOR TO CONSTRUCTION.

MAXIMUM JOINT SPACING = PAVEMENT THICKNESS * 1.5 6 * 1.5 = 9 FT

SITE AREA
2.39 ACRES (104,272 SQ.FT.)

OPEN SPACE
EXISTING: 100% (104,272 SQ.FT.)
PROPOSED: 23% (24,272 SQ.FT.)
REQUIRED: 10% (10,427 SQ. FT.)

IMPERVIOUS SPACE
EXISTING: 0% (0 SQ.FT.)
PROPOSED: 77% (80,000 SQ.FT.)

PARKING
15 SPACES (INCLUDING 1 HANDICAP PARKING STALLS)
6 TRUCK PARKING SPACES

DISTURBED AREAS
ESTIMATED: 104,272 SQ. FT.
ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED.
THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS REQUIRED.

FLOODPLAIN
PER FEMA MAP #19153C0235F, THE SITE IS LOCATED IN ZONE A WHICH IS A FLOOD HAZARD WITHOUT BASE FLOOD ELEVATION

FAA
PER FAA NOTICE CRITERIA TOOL, SITE DOES NOT EXCEED NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE CRANE HEIGHT) AND THEREFORE FILING WITH THE FAA IS NOT REQUIRED

SITE IMPROVEMENTS

FOR

BIP - LOTS 6 & 7

2408 & 2412 ROBINSON AVENUE NE

BONDURANT, IOWA



SHEET INDEX

- C-001 - COVER SHEET
- C-002 - NOTE SHEET
- C-100 - SITE AND LANDSCAPING SHEET
- C-101 - GRADING AND UTILITY SHEET

LEGAL DESCRIPTION:
LOTS 6 & 7, BONDURANT INDUSTRIAL PLAT, ALL BEING IN AND FORMING A PART OF THE CITY OF BONDURANT, POLK COUNTY, IOWA.

DEVELOPER

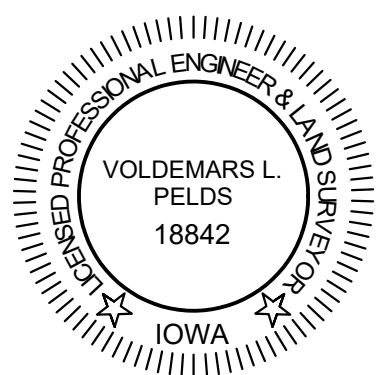
BONDURANT BUISNESS PARK LLC
2540 73RD STREET
URBANDALE, IOWA 50322
PROJECT CONTACT: JAMIE MYERS
PHONE: (515) 440-1111
EMAIL: JAMIE@PARAMOUNT-MIDWEST.COM

ENGINEER/ LAND SURVEYOR

PELDS DESIGN SERVICES
2323 DIXON ST
DES MOINES, IOWA 50316
PROJECT CONTACT: ELARA JONDLE
PHONE: (515) 265-8196
EMAIL: ELARA@PELDS.COM

CITY CONTACT

CITY OF BONDURANT
200 2ND STREET BOX 37
BONDURANT, IOWA 50035
PROJECT CONTACT: MAGGIE MURRAY
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I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

VOLDEBARS L. PELDS, P.E. IA LIC. NO. 18842 DATE
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021
ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE) C-001 - C-101

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REVISIONS:

LEGEND:

F.F.	FINISHED FLOOR	▲	CALCULATED SECTION CORNER	⊕	ELEC. MANHOLE	⌚	SINGLE INTAKE	— CATV —	CABLE TELEVISION
+/-	MORE OR LESS	▽	FOUND SECTION CORNER	⊖	ELEC. VAULT	⌚	AREA INTAKE	— FO —	FIBER OPTIC
123.45G	GUTTER ELEVATION	▽	PARKING SPACE	⊖	GUY ANCHOR	⌚	THROAT INTAKE	— G —	GAS LINE
123.45TC	TOP OF CURB ELEVATION	▽	SIGN	⊖	TEL. JUNCTION BOX	⌚	FLARED END SECTION	— OHE —	OVERHEAD ELEC.
123.45/ 123.45	EXISTING/ PROPOSED ELEVATION	▽	STREET LIGHT	⊖	CABLE TV JUNCTION BOX	⌚	VALVE	— OHT —	OVERHEAD TEL.
FL	FLOWLINE ELEVATION	▽	POWER POLE	⊖	GAS VALVE	⌚	FIRE HYDRANT	— SAN —	SANITARY SEWER
⊕	CONTROL POINT	▽	LIGHT POLE	⊖	GAS METER	⌚	WATER METER	— ST —	STORM SEWER
○	CALCULATED CORNER	▽	AREA LIGHT	⊖	SANITARY SEWER MANHOLE	⌚	WATER VALVE	— UGE —	UNDERGROUND ELEC.
●	FOUND CORNER	▽	ELEC. TRANSFORMER	⊖	STORM SEWER MANHOLE	⌚	WATER TEE	— UGT —	UNDERGROUND TEL.
		▽	ELEC. METER	⊖	CLEANOUT	⌚	PROPOSED UTILITY LINE	— W —	WATER
		▽	ELEC. BOX	⊖	DOWNSPOUT	⌚	EXISTING UTILITY LINE	— F —	FENCE LINE

TITLE: BIP - LOTS 6 & 7 2408 & 2412 ROBINSON AVENUE NE BONDURANT, IOWA	
BENCHMARK: PRELIMINARY	
COPYRIGHT DATE: 10.1.21	DATE: 10-07-2020
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FILE PATH: J:\2021 Projects\21-165 BIP Lots 6 & 7\Engineering\Site Plans\Sheet Set	
C-001 - Cover Sheet	

GENERAL NOTES

- THE CITY OF BONDURANT MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- ALL PROPOSED MATERIALS AND STRUCTURES SHALL BE APPROVED BY THE CITY OF BONDURANT AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- PELDS DESIGN SERVICES SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- IF A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNER'S REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF BONDURANT.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES OR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ALL CONSTRUCTION WITHIN THE PUBLIC R.O.W/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF BONDURANT.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BONDURANT TO SCHEDULE ANY REQUIRED INSPECTIONS AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS
- IN THE EVENT OF ANY CONFLICTING NOTES BETWEEN THE COVER SHEET AND ALL OTHER SHEETS, THE NOTES ON THE COVER SHEET SHALL SUPERCEDE ALL OTHERS
- IN THE EVENT OF ANY CONFLICTING INFORMATION BETWEEN THE LABEL, ELECTRONIC CAD FILE, AND THE ELECTRONIC SURFACE, THE DESIGN ENGINEER SHALL BE CONTACTED FOR CLARIFICATION

SURVEY NOTES

- SURVEY WORK WAS COMPLETED BY PELDS DESIGN SERVICES IN JANUARY 2021. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

STAKING NOTES

- IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
- IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
- STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

DEMO NOTES

- SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
- PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
- PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
- PROPERLY DISCONNECT ALL PUBLIC AND PRIVATE UTILITIES, AS NECESSARY.
- COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE AND PROPERLY DISPOSE OF SIDEWALKS, STEPS, DRIVEWAYS, AND STRUCTURES (INCLUDING BOTH ABOVE GROUND AND BELOW GROUND ELEMENTS).
- COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE FUEL TANKS, SEPTIC TANKS, CISTERNS, AND ANY OTHER UNDERGROUND FACILITIES; AND TO PROPERLY DISPOSE OF ANY LIQUIDS OR PRODUCTS CONTAINED WITHIN THESE ITEMS.
- PLACE BACKFILL MATERIAL IN HOLES AND DEPRESSIONS, GRADE THE SITE, AND ESTABLISH GROUND COVER.
- PROTECT EXISTING FIRE HYDRANTS, STREET LIGHTS, TRAFFIC SIGNALS, UTILITY POLES, FIRE ALARM BOXES, WIRE CABLES, UNDERGROUND UTILITIES, AND OTHER APPURTENANCES IN THE VICINITY OF THE DEMOLITION SITE
- COMPLY WITH NOISE POLLUTION REQUIREMENTS AND ANY WORKING HOUR RESTRICTIONS OF THE JURISDICTION.
- MAINTAIN OR RE-ESTABLISH ALL TILES, ROADWAY SUBDRAINS, CULVERTS, OR OTHER DRAINAGE FACILITIES NOT IDENTIFIED IN THE CONTRACT DOCUMENTS FOR REMOVAL.
- IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR EACH SITE PRIOR TO INITIATING DEMOLITION BY PLACING ALL REQUIRED DEVICES; INCLUDE MEASURES TO PREVENT TRACKING OF MUD ONTO ADJACENT STREETS OR ALLEYS.
- COMPLY WITH ALL APPLICABLE AIR POLLUTION REQUIREMENTS OF THE JURISDICTION. USE WATER OR APPROPRIATE CHEMICALS FOR CONTROL OF DUST IN THE DEMOLITION AREA, ON HAULING EQUIPMENT, ON ADJACENT ROADWAYS, AND WHEN GRADING THE SITE.
- TAKE STEPS TO PREVENT THE GENERATION OF LITTER DURING DEMOLITION AND COLLECT ALL LITTER FROM THE DEMOLITION AREA AT THE END OF EACH WORKING DAY. LOAD TRUCKS TO PREVENT LEAKAGE OR BLOWING OF DEBRIS.
- REMOVE ALL CONCRETE, ASPHALT, OR MASONRY SLABS AND APPURTENANCES.
- REMOVE AND DISPOSE OF ALL BRUSH, SHRUBS, TREES, LOGS, DOWNED TIMBER, AND OTHER YARD WASTE ON THE SITE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. DO NOT MIX WITH DEMOLITION MATERIAL. REMOVE STUMPS TO A MINIMUM OF 2 FEET BELOW FINISH GRADE. PROTECT ANY TREES OR OTHER VEGETATION NOT DESIGNATED FOR REMOVAL BY PLACING A FENCE AT THE DRIP LINE ENCOMPASSING THE ENTIRE TREE AND KEEPING ALL OPERATIONS OUTSIDE OF THE FENCED IN AREA, INCLUDING STORAGE OF EQUIPMENT OR MATERIALS. AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY, REPLACE ANY TREES THAT ARE DESIGNATED FOR PROTECTION BUT ARE DAMAGED BEYOND TREATMENT. THE ENGINEER WILL DETERMINE SIZE AND SPECIES OF THE REPLACEMENT TREE.
- SAW-CUT ALL HARD SURFACING AT LOCATION OF REMOVAL LIMITS.
- WHERE SELECTIVE DEMOLITION IS SHOWN AT PAVED AREAS, DEMOLISH THE EXISTING PAVING BACK TO AN EXISTING CONTROL JOINT NEAR THE LOCATION SHOWN.

WETLAND NOTES

- PELDS DESIGN SERVICES DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

DISCLAIMER

- THIS DRAWING IS BEING MADE AVAILABLE BY PELDS DESIGN SERVICES (P.D.S.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH P.D.S.'S AGREEMENT FOR PROFESSIONAL SERVICES. P.D.S. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.
- P.D.S. DISCLAIMS ANY AND ALL LIABILITY OR RESPONSIBILITY FOR INFORMATION THAT DOES NOT BEAR THE ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL IN CHARGE.

CIVIL ENGINEERING NOTES
FOR
BIP - LOTS 6 & 7
2408 & 2412 ROBINSON AVENUE NE
BONDURANT, IOWA

UTILITY NOTES

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- PIPE LENGTHS CALLED OUT ON PLANS DO NOT INCLUDE FLARED END SECTION, WHERE APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL RELOCATE EXISTING UTILITIES AS NECESSARY, SHOWN OR NOT SHOWN.
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY ON ALL SIZE, DEPTHS, AND MATERIALS OF ALL PROPOSED UTILITIES.
- THE CONTRACTOR MUST PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES IF REQUIRED BY CITY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
- CONTRACTOR IS TO COMPLY WITH THE LATEST SUDAS SPECIFICATIONS FOR MAINTENANCE, INSTALLATION, AND TESTING FOR CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- ALL STRUCTURE SIZES CALLED OUT ON PLANS ARE MINIMUM INSIDE WALL DIMENSIONS.
- ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
- ALL STRUCTURES CALLED OUT AS "MODIFIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURE STABILITY. MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPER STRUCTURES. ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID

ELECTRICAL SERVICE NOTES

- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS
- TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

SANITARY SERVICE NOTES

- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2% FOR A 4" PIPE AND 1% FOR A 6" PIPE. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATER MAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.

STORM WATER SERVICE NOTES

- ALL STORM SEWER IN THE ROW SHALL BE RCP (CLASS III RCP), UNLESS OTHERWISE SPECIFIED.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL SUMP SERVICE LINES SHALL HAVE TRACE WIRE

WATER SERVICE NOTES

- WATER SERVICE SHALL BE TYPE K COPPER, DIP OR HDPE, DEPENDING ON SIZE AND JURISDICTIONAL REQUIREMENTS. IF CONTAMINATED OR "HOT" SOILS, ENSURE APPROPRIATE PIPE IS BEING UTILIZED. SIZE OF WATER MAIN AS SHOWN ON PLANS.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION.
- ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BENDS, SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER UNLESS NOTED OTHERWISE.

EXISTING UTILITIES NOTE

- THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION: IOWA ONE-CALL (1-800-292-8989).

UTILITY CONFLICT NOTES

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION THAT ARE EITHER CALLED OUT ON THE PLANS OR NOT CALLED OUT.
- CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
- FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY PELDS DESIGN SERVICES PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

SPECIFICATIONS NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF BONDURANT SUPPLEMENTAL SPECIFICATIONS.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND THE CITY OF BONDURANT REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT, THE CITY OF BONDURANT STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF THE ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.

REQUIRED AS-BUILT NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO, IF REQUIRED BY CITY.
- CONTRACTOR SHALL CONTACT PELDS DESIGN SERVICES TO PERFORM SAID AS-BUILT SURVEYS.
- IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

PAVING NOTES

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF BONDURANT SPECIFICATIONS AND THE LATEST VERSION OF SUDAS.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- DETECTABLE WARNING PANEL(S) CALLED OUT ON PLANS SHALL BE PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- SIDEWALKS SHALL HAVE EXPANSION JOINTS AT 100 FOOT INTERVALS AS REQUIRED BY CITY CODE
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

PAVEMENT SAWCUT NOTES

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L-1' OR 'L-2' JOINTS AND HAVE STEEL. INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' OR TYPE 'K' JOINTS. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

SOIL NOTES

- STRIP AND STOCKPILE THE TOP 8 INCHES OF SOIL ON ALL DISTURBED AREAS. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING.
- SOD REQUIREMENT PER SUDAS: IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED, A SODBED SHOULD BE CONSTRUCTED BY SPREADING A MINIMUM OF 6 INCHES OF TOPSOIL PRIOR TO SODDING. DEEPER TOPSOIL DEPTHS (8 TO 12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- PERMANENT SEED REQUIREMENT PER SUDAS: IN ORDER TO PROVIDE AN ADEQUATE GROWING MEDIUM, A MINIMUM OF 8 INCHES OF TOPSOIL SHOULD BE PLACED OVER THE DISTURBED AREA PRIOR TO SEEDING. DEEPER TOPSOIL DEPTHS (8-12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
- TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL SOILS INFORMATION INCLUDING BUT NOT LIMITED TO SUBGRADE INFORMATION, FOOTING DESIGN, AND ANY POSSIBLE OVER EXCAVATION DUE TO POOR SOILS. PAVEMENT SECTIONS ON THE PLANS GOVERN OVER PAVEMENT THICKNESS IN THE SOILS REPORT.

GRADING NOTES

- AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 12 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RE-COMPACTED WITH ON-SITE FILL MATERIALS.
- ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
- FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FT, AND PAVED AREAS SHALL BE WITHIN 0.10 FT OF THE PROPOSED GRADES SHOWN ON THE PLAN
- MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
- THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
- MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.

LANDSCAPING NOTES

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SEED OR SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES. SEED ALL DISTURBED AREAS OFF-SITE
- STAKE SOD ON ALL SLOPES 4:1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH OR BRICK CHIPS OR WASHED STONE AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- PROVIDE 6MIL MINIMUM PLASTIC BELOW ROCK/BRICK.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- CONTRACTOR SHALL DESIGN AND PROVIDE IRRIGATION SYSTEM. COORDINATION WITH ARCHITECT REQUIRED.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.



PELDS Design Services

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TITLE:
**BIP - LOTS 6 & 7
2408 & 2412 ROBINSON AVENUE NE
BONDURANT, IOWA**

BENCHMARK:

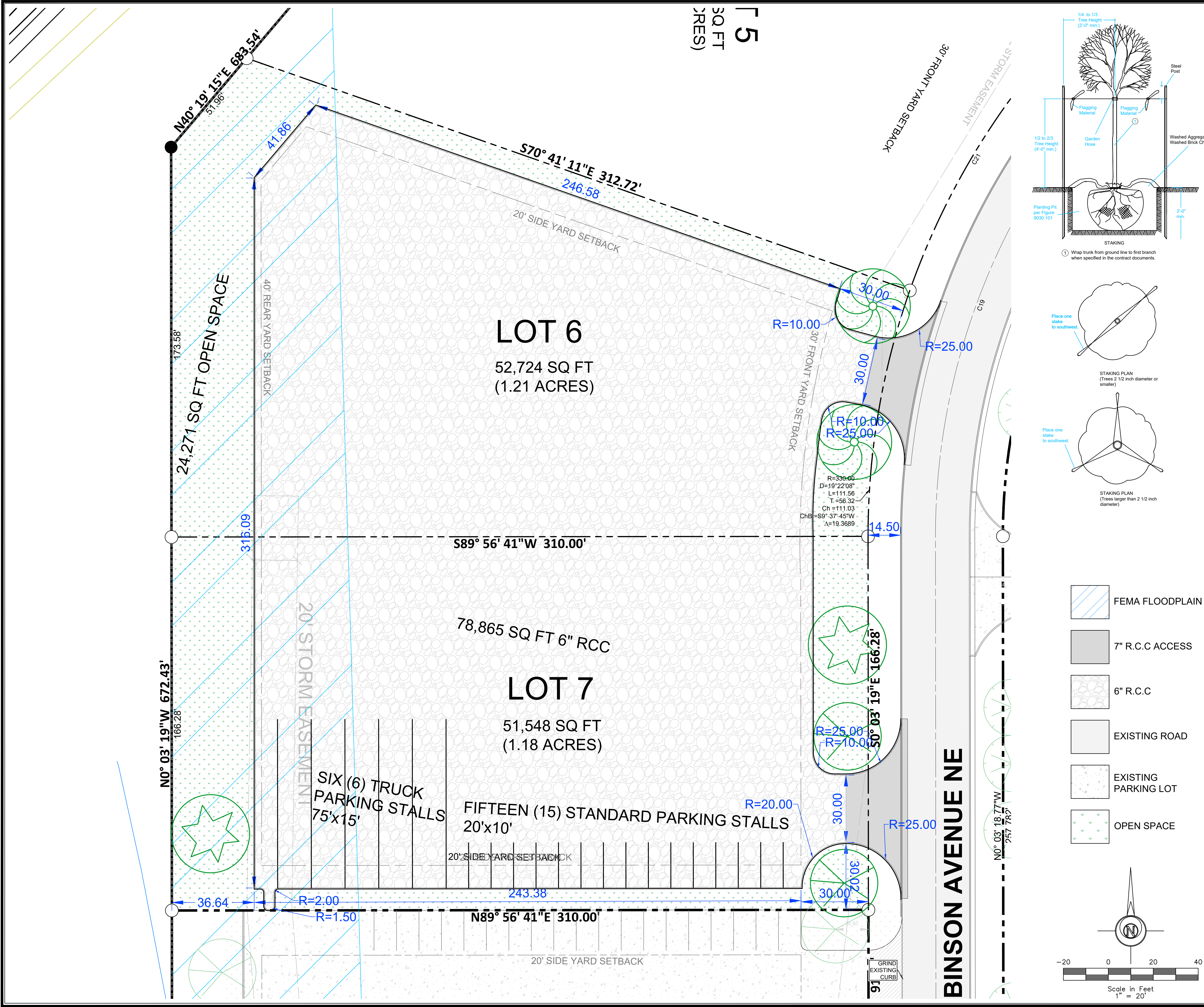
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SCALE:
FILE PATH: 2021 Projects\21-165 BIP Lots 6 & 7\Engineering\Site Plan\Sheet Set

REVISIONS:

11.09.2021
21-165

PRELIMINARY
C-002 - Note Sheet

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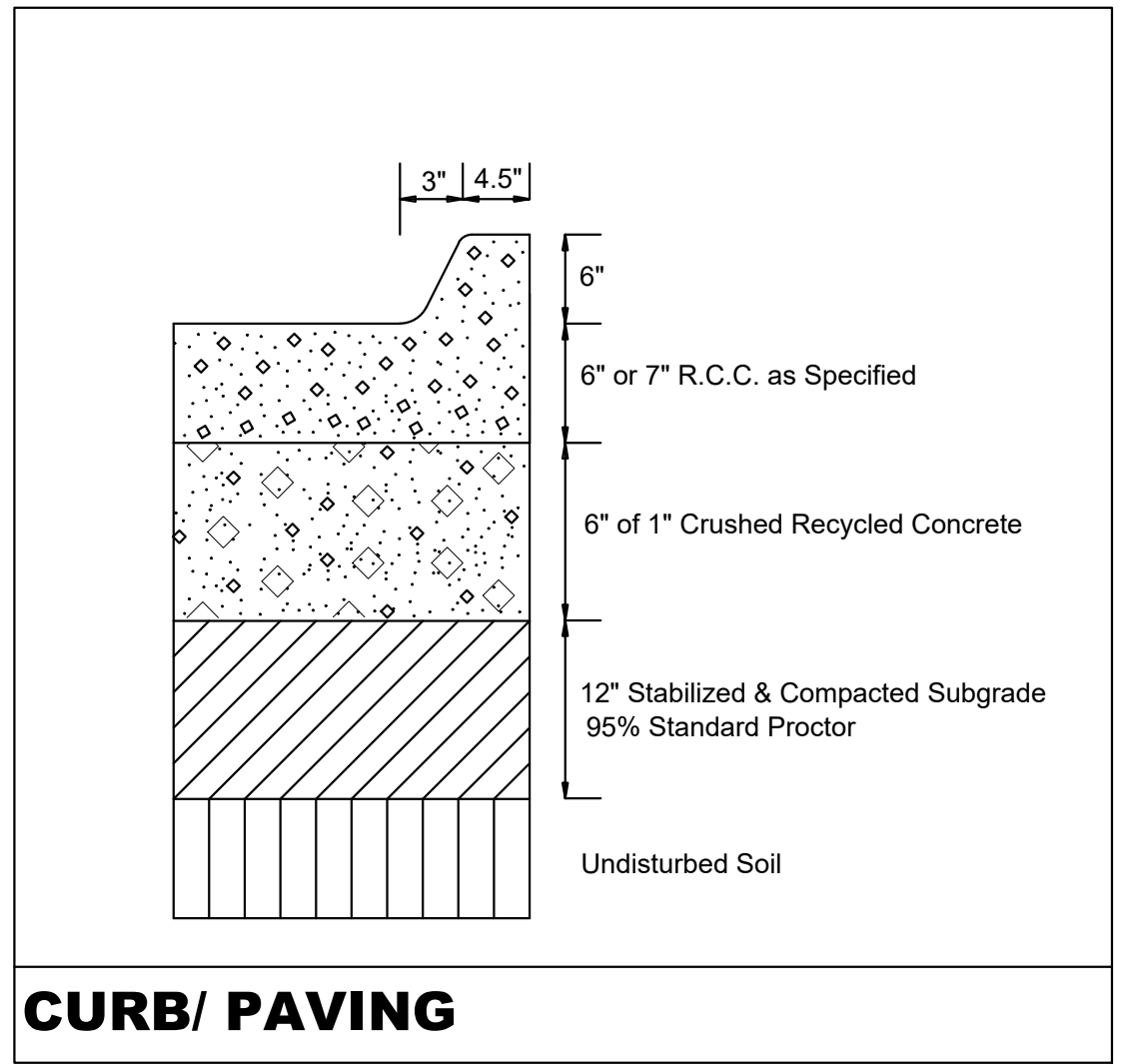
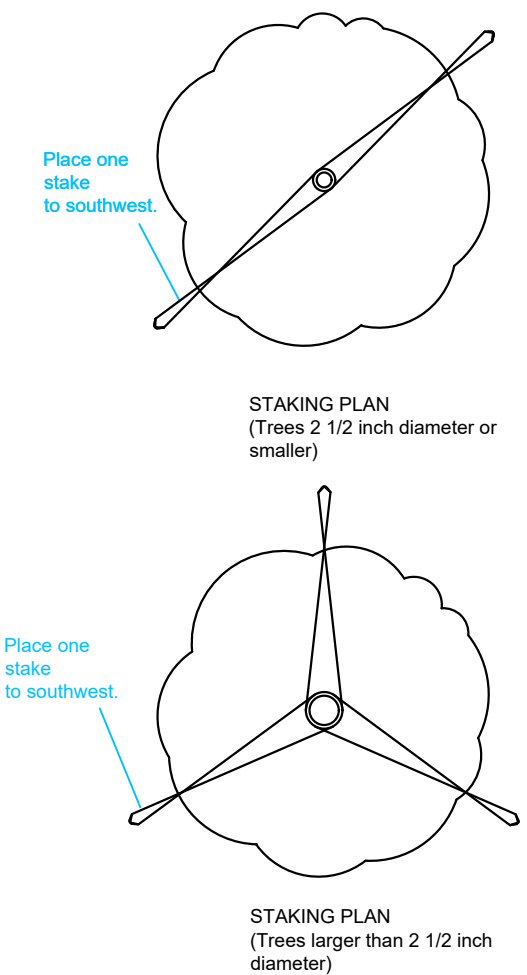
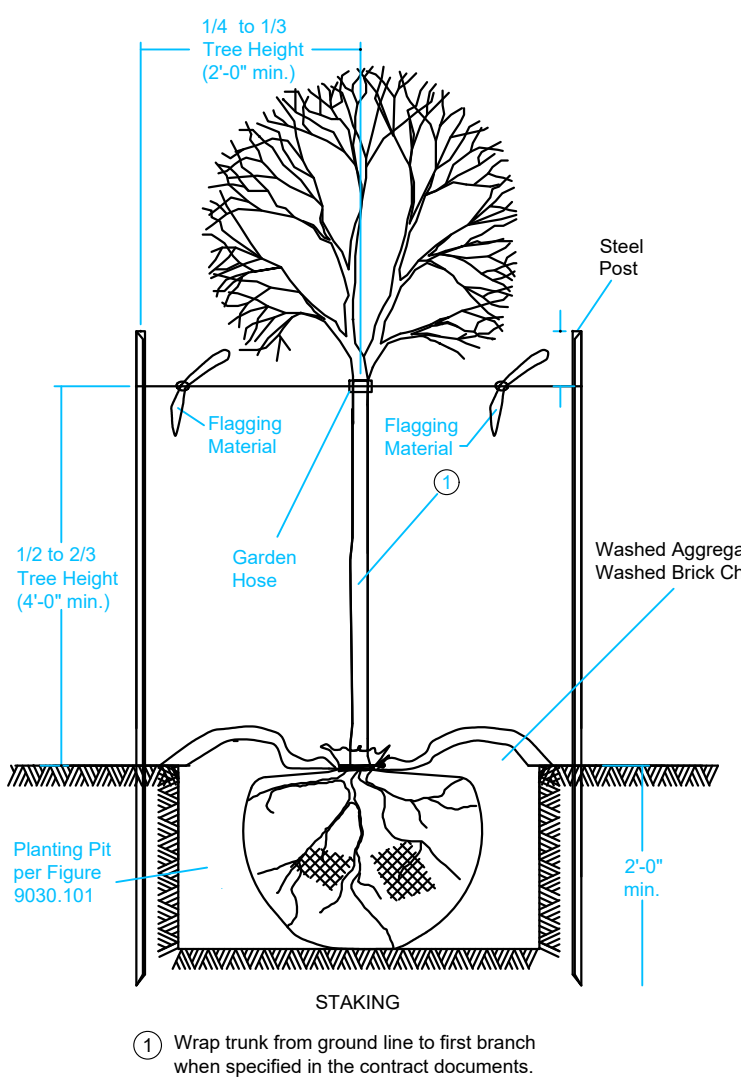


REQUIRED LANDSCAPING

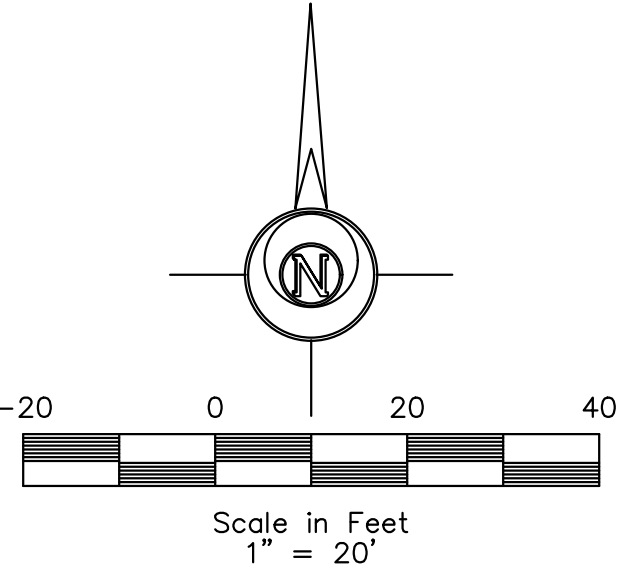
GENERAL:
REQUIRED - 1/50' OF STREET FRONTAGE - $2777/50 = 5.54$
PROVIDED - 6 SITE TREES SPACED AT MOST 50' APART ALONG FRONTAGE

INTERIOR:
REQUIRED - 1/18 PARKING SPACES - $15/18 = 0.8$ TREES
PROVIDED - 1 INTERIOR TREES

PROPOSED TREES:			
SYMBOL	#	COMMON NAME (BOTANICAL NAME)	PLANTING SIZE
	2	KENTUCKY COFFEE TREE (GYMNOCLADUS DIOICUS)	MINIMUM 1.75" CALIPER B&B
	2	RED OAK (QUERCUS RUBRA)	MINIMUM 1.75" CALIPER B&B
	3	TULIP TREE (LIRIODENDRON TULIPEFERA)	MINIMUM 1.75" CALIPER B&B



- FEMA FLOODPLAIN
- 7" R.C.C. ACCESS
- 6" R.C.C.
- EXISTING ROAD
- EXISTING PARKING LOT
- OPEN SPACE



- LEGEND:**
- +/- F.F. MORE OR LESS FINISHED FLOOR
 - 123.45G GUTTER ELEVATION
 - 123.45TC TOP OF CURB ELEVATION
 - 123.45/ 123.45 EXISTING/ PROPOSED ELEVATION
 - FL FLOWLINE ELEVATION
 - CONTROL POINT
 - CALCULATED CORNER
 - FOUND CORNER
 - CALCULATED SECTION CORNER
 - FOUND SECTION CORNER
 - PARKING SPACE
 - SIGN
 - STREET LIGHT
 - POWER POLE
 - LIGHT POLE
 - AREA LIGHT
 - GUY ANCHOR
 - TEL. JUNCTION BOX
 - ELEC. TRANSFORMER
 - ELEC. METER
 - ELEC. BOX
 - ELEC. VAULT
 - FIBER OPTIC VAULT
 - GAS METER
 - CABLE TV JUNCTION BOX
 - WATER METER
 - ELEC. MANHOLE
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - TRAFFIC MANHOLE
 - CLEANOUT
 - DOWNSPOUT
 - AREA INTAKE
 - SINGLE INTAKE
 - THROAT INTAKE
 - FLARED END SECTION
 - GAS VALVE
 - FIRE HYDRANT
 - WATER VALVE
 - P XX PROPOSED UTILITY LINE
 - E XX EXISTING UTILITY LINE
 - CATV CABLE TELEVISION
 - FO FIBER OPTIC
 - GAS GAS LINE
 - OHE OVERHEAD ELEC.
 - OHT OVERHEAD TEL.
 - SS SANITARY SEWER
 - ST STORM SEWER
 - UGE UNDERGROUND ELEC.
 - UGT UNDERGROUND TEL.
 - W WATER
 - FENCE LINE

ELDS DESIGN SERVICES

Architecture | Engineering | Surveying

2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

BIP - LOTS 6 & 7

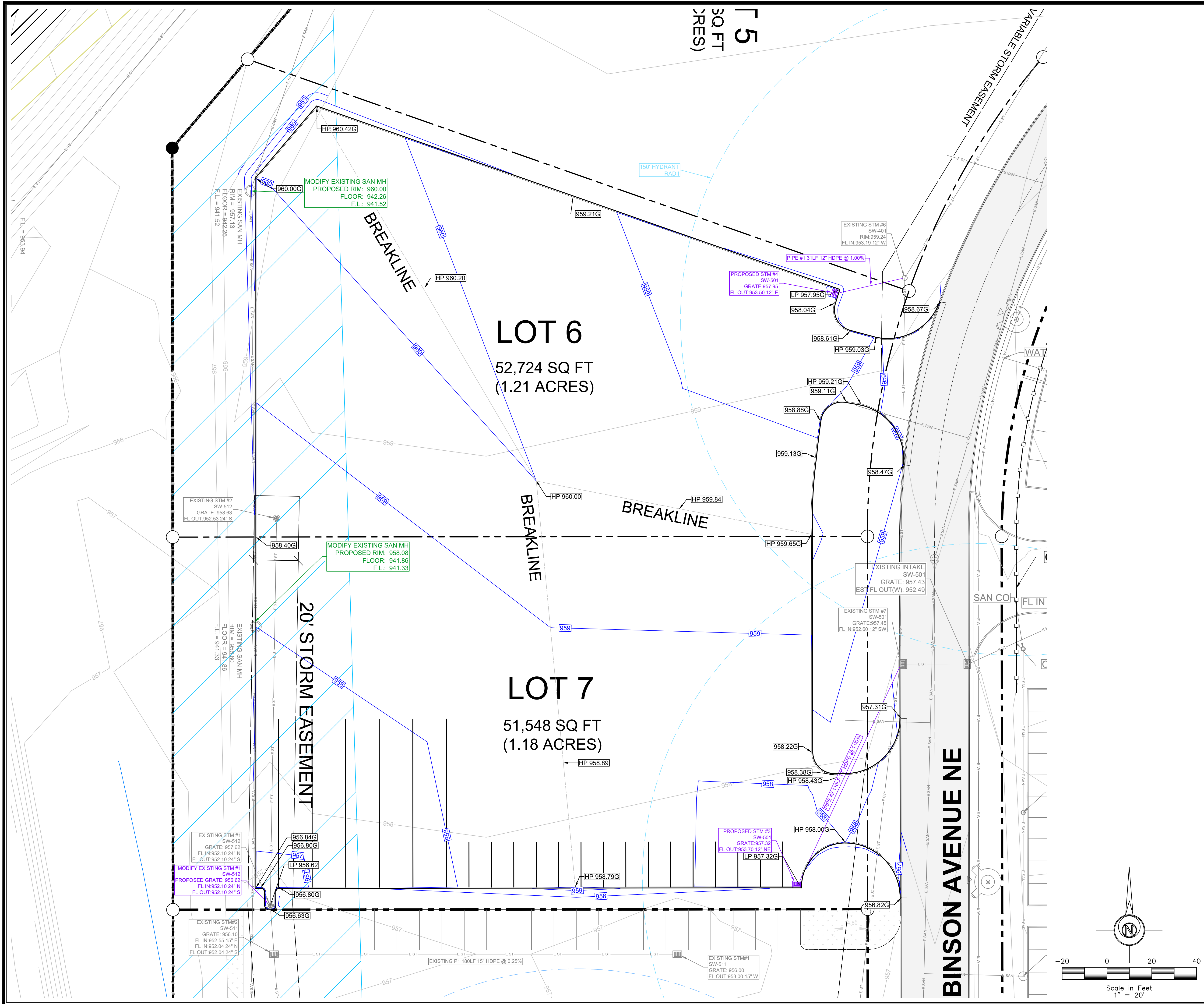
2408 & 2412 ROBINSON AVENUE NE

BONDURANT, IOWA

PRELIMINARY

DATE: 10.1.21 DRAWN BY: N. DAY SCALE: 1" = 20' LATEST REVISION: 11.09.2021 DRAWING NO: 21-165

C-100 - Site and Landscaping Sheet



LEGEND:

+/-	MORE OR LESS	⊙	ELEC. MANHOLE
F.F.	FINISHED FLOOR	⊙	SANITARY SEWER MANHOLE
123.45G	GUTTER ELEVATION	⊙	STORM SEWER MANHOLE
123.45TC	TOP OF CURB ELEVATION	⊙	TRAFFIC MANHOLE
123.45/ 123.45	EXISTING/ PROPOSED ELEVATION	⊙	CLEANOUT
FL	FLOWLINE ELEVATION	⊙	DOWNSPOUT
⊙	CONTROL POINT	⊙	AREA INTAKE
⊙	CALCULATED CORNER	⊙	SINGLE INTAKE
⊙	FOUND CORNER	⊙	THROAT INTAKE
⊙	CALCULATED SECTION CORNER	⊙	FLARED END SECTION
⊙	FOUND SECTION CORNER	⊙	GAS VALVE
⊙	PARKING SPACE	⊙	FIRE HYDRANT
⊙	SIGN	⊙	WATER VALVE
⊙	STREET LIGHT	⊙	P XX— PROPOSED UTILITY LINE
⊙	POWER POLE	⊙	E XX— EXISTING UTILITY LINE
⊙	LIGHT POLE	⊙	CATV— CABLE TELEVISION
⊙	AREA LIGHT	⊙	FO— FIBER OPTIC
⊙	GUY ANCHOR	⊙	GAS— GAS LINE
⊙	TEL. JUNCTION BOX	⊙	OHE— OVERHEAD ELEC.
⊙	ELEC. TRANSFORMER	⊙	OHT— OVERHEAD TEL.
⊙	ELEC. METER	⊙	SS— SANITARY SEWER
⊙	ELEC. BOX	⊙	ST— STORM SEWER
⊙	ELEC. VAULT	⊙	UGE— UNDERGROUND ELEC.
⊙	FIBER OPTIC VAULT	⊙	UGT— UNDERGROUND TEL.
⊙	GAS METER	⊙	W— WATER
⊙	CABLE TV JUNCTION BOX	⊙	⊙— FENCE LINE
⊙	WATER METER		



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TITLE

BIP - LOTS 6 & 7
2408 & 2412 ROBINSON AVENUE NE
BONDURANT, IOWA

BENCHMARK

10.1.21

DRAWN BY

N. DAY

SCALE

1" = 20'

LATEST REVISION

11.09.2021

DRAWING NO

21-165

FILE PATH

\\A2021\Projects\21-165 BIP Lots 6 & 7\Engineering\Site Plan\Sheet Set

PRELIMINARY

C-101 - Grading and Utility Sheet



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 7.a.
For Meeting of 11/18/2021
Discussion Item

TITLE: Central Park Master Plan

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS:

FUNDING SOURCE:

STAFF RECOMMENDATION:

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 8.e.
For Meeting of 11/18/2021
Reports and Comments

TITLE: City Council Liaison

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS:

FUNDING SOURCE:

STAFF RECOMMENDATION:

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None