

**Due to the COVID-19 concerns and social distancing recommendations, a virtual meeting is being offered. Participants wishing to speak on a topic should message the meeting moderator. All participants are asked to mute their individual computers at times when they are not speaking to minimize background noise. <https://us02web.zoom.us/j/89541123777>*

**NOTICE OF A REGULAR MEETING
BONDURANT PLANNING AND ZONING COMMISSION
FEBRUARY 10, 2022**

NOTICE IS HEREBY GIVEN that a Regular Meeting of the City Council will be held at 6:00 PM on February 10, 2022, in the Bondurant City Center, 200 Second Street, Northeast, Bondurant, Polk County, Iowa. Said meeting is open and the public is encouraged to attend.

AGENDA

1. Call to Order
2. Roll Call
3. Perfecting and Approval of the Agenda
4. Approval of Minutes
 - a. January 27, 2022
5. Guests requesting to address the Planning and Zoning Commission
6. Action Items
 - a. -RESOLUTION NO. PZ-220210-06: Considering recommended approval of the Temple Holdings site plan on Outlot Y of the Shiloh Rose Business Park Plat 1.
 - b. PUBLIC HEARING: Request for rezoning rezoning from the Agricultural (A-1) District to the Limited Industrial (M-1) District and the Conservancy (U-1) District, pending annexation, on land owned by GHOLDS LLC; and request for Future Land Use Map amendment from Reserve Office to Industrial in those areas identified on the attached Future Land Use Map.
 - c. RESOLUTION NO. PZ-220210-07: Considering recommended approval of the rezoning request from the Agircultural (A-1) District to the Limited Industrial (M-1) District and the Conservancy (U-1) District, pending annexation, on land owned by GHOLDS LLC; and recommended approval of the Future Land Use Map amendment from Reserve Office to Industrial in those areas identified in the attached Future Land Use Map.
7. Discussion Items -
 - a. Minor PUD Amendment - Quail Run Phase 2 PUD Conceptual Plan
 - b. January 31, 2022 Joint Comprehensive Plan Session Follow-up - Review Draft Downtown-Area Future Land Use Map
 - c. January 31, 2022 Joint Comprehensive Plan Session Follow-up - Identifying Potential Future Locations for Multi-Family Residential Development
8. Reports / Comments and appropriate action thereon:
 - a. Commissiom Members
 - b. Commission Chair
 - c. Planning & Community Development Director

- d. City Administrator
 - e. City Council Liaison
9. Adjournment

CITY OF BONDURANT

Planning and Zoning Commission
200 2nd St NE, PO Box 37
Bondurant, IA 50035



Meeting Minutes

DATE: January 27, 2022

1. Call to Order 6:00pm

Place Bondurant City Hall (200 2nd St NE, PO Box 37)

Special Note: Due to concerns of the COVID-19 virus and social distancing recommendations, access to the meeting was also provided through a virtual meeting

2. Roll Call

Members Present: Brian Clayton, Torey Cuellar, Karen Keeran, Andy Mains, Wes Hoyer, Kristin Brostrom

Members Absent: Lisa Cameron

City Official Present: Planning and Community Development Director, Maggie Murray
Associate Planner, Emily Rizvic
Marketa Oliver, City Administrator
Matt Sillanpaa, City Council Liaison

3. Perfecting and Approval of the Agenda

Motion by Commission Member Mains, seconded by Commission Member Clayton to approve of January 27, 2022, meeting agenda. Vote on Motion 6-0-0. Motion carried.

4. Approval of Minutes

Motion by Commission Member Mains, seconded by Commission Member Clayton to approve of the January 13, 2021 meeting minutes. Vote on Motion 6-0-0. Motion carried.

5. Guests requesting to address the Planning and Zoning Commission

None

6. Action Items

- a. RESOLUTION NO. PZ-220127-04: Considering recommended approval of the Black Oak Farm Plat 1 Preliminary Plat (Polk County), Amended

Director Murray explained the nature of the request. The commission previously reviewed this in July 2021, but it had never gone to council. The applicants had made some changes to the plat since the last review. The applicant explained what the changes were: Lot 1 and 2 became more bigger in size and Lot 4 became smaller. They are still proposing 4 lots. The County had asked the applicants to go back to Bondurant's Planning and Zoning Commission to receive approval for these changes, which is why they are here.

Director Murray mentioned that the new plat takes into account that the street will be widened.

Motion by Commission Member Mains, seconded by Commission Member Clayton, for recommended approval of Resolution No. PZ-220127-04 *"Considering recommended approval of the site plan for Black Oak Farm Plat 1 Preliminary Plat (Polk County), Amended"*.

Roll Call – Ayes: Commission Member Cuellar, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom. Commission Member Clayton. Vote on Motion 6-0-0. Motion carried.

- b. PUBLIC HEARING - Request for rezoning from Medium Residential (R-2) to Planned Unit Development (R-5) at 8383 NE 72nd Street and Future Land Use Map Amendment from Single-Family to Commercial and Multi-Family in areas shown in the PUD Conceptual Plan

Motion by Commission Member Mains, seconded by Commission Member Clayton, to move the meeting session into a public hearing. Vote on Motion 6-0-0. Motion carried.

Director Murray explained the nature of the request. The developer and property owner, Seth Moulton, explained that they had adjusted the design based on comments received by staff and the board previously. Moulton explained that the plat shows single-family lots in the lots directly abutting the Bondurant High School. Additionally, the concept shows two-family and townhomes on the site along with a commercial node.

Moulton added that they will be adding basements to their townhomes and duplexes. He also stated that they have talked to the city to update the design to meet traffic requirements and reduce impacts.

Member Keeran asked about implementing turn lane improvements, as future traffic may increase on this road due to the increase in density and the new school being built to the South. Director Murray explained that street improvements would be determined when the traffic circulation and impact plan is submitted. Moulton's cohort explained that a turn lane wasn't needed. Member Keeran recalled from a previous meeting that they did. Member Clayton also recalled this. Member Clayton expressed concerns for future traffic in this area. He asks if area A is going to connect to 86th. He explained that turn lanes should be included to address traffic congestion, especially because of traffic that typically occurs around parents picking up and taking their kids to schools. Moulton responded that the street loops to 86th street. Member Keeran said that the site would need three lanes then for turning.

Director Murray explained that the commercial area is only showing the scale of the commercial and that review today does not need to be in-depth. The commercial could potentially change.

Member Clayton asked if we will be receiving right-of-way that would allow for a three-lane street improvement plan in the future. Director Murray stated yes.

Member Mains expressed that he had issues with the planned unit development (PUD) concept for this site and the siting of this project near the high school. Those concerns included traffic congestion and lack of space for sidewalks and streets. Moulton explained that they worked with staff on this project and that trash removal will be good. He explained that this is similar to a development they worked on near Ankeny Centennial and that there are no issues there. He added that there is a major gas line that runs in the middle of the property which provides challenges to the site. He explained that they are trying to keep the single-family feel in the area. They currently build these types of homes in multiple locations including West Des Moines.

Member Keeran asked about price points. Moulton explained that current pricing looks like \$289,000-400,000. Moulton also asked if City Manager Oliver has seen their other developments in West Des Moines. City Manager Oliver went on a tour of some of their developments previously. Member Clayton said that if the housing is \$300,000 or higher, that these lots would not be affordable for the community of Bondurant. Director Murray projected a listing of Covenant Cove in West Des Moines that Dr. Horton has worked on.

Member Cuellar stated that they searched on Zillow and some of their townhomes that are for sale are \$300,000 or higher. Member Cuellar wanted to discuss the future land use for this area. The current Future Land Use Plan designates this area for single-family dwelling. City Manager Oliver explained that the City Council indicated that they were favorable towards the idea of having commercial in this area.

Member Brostrom said that she was ok with a higher density in this area. She added that she was concerned of the lack of landscape buffering between the homes and the school and that there was no buffering between the commercial and the residential areas. Director Murray wanted to ask this question to the commission on what their expectations were on landscaping buffering requirements. Moulton and his cohort explained that they intend to comply with buffering requirements. Director Murray said it would be reasonable for the commission to ask for it to be updated in the plan. She also had a question for the commission about requiring specific landscaping screening alongside the two corridors: 16th and 86th. Member Clayton said that the city should be consistent with past landscaping requirements for other site plans.

Member Clayton said that he has a lot of concerns and that they would not like to vote tonight and if they were to vote, that he would vote no. He said he understands that this type of project may be acceptable in another city in the Des Moines area, but the density isn't favorable here in Bondurant. Member Murray said because it sounds like the commission is concerned regarding the proposed density at this subject property, the commission could require R-2 permitted uses and standards for this site, such as single or bi-attached housing. She asked if this was something that the commission was intending to do.

Member Keeran said that there needs to be more than three shades of siding. It can't be the same color. There needs to be visual differentiation between houses. Moulton said he is favorable to variety but that they have been restricted due to supply chain issues. He continued stating that it seems like they can only get "50 shades of gray". He said sometimes they will add more stone to their houses to create more neighborhood character and visual differentiation.

Director Murray wanted more clarification from the commission regarding the setback requirements that the site plan is showing. R-2 typically requires a 35-foot setback whereas this site plan is showing a shorter setback. Moulton said that they usually ask for shorter setbacks when they submit site plans. Member Keeran said that they are fine with a shorter setback for the commercial nodes but there must be a turning lane for traffic.

Member Clayton asked that if they are raising their grade and if they are going to have intakes for stormwater management. The engineer, Moulton's cohort, stated that there is a low point on the east side and that it takes stormwater to the pond. All of the stormwater from the rear yards will go into those intakes. Member Clayton disagreed with the sizing of the pond and that the fence line to the east is higher. An aerial map of the subject property was pulled up and projected on the screen. Member Clayton said that if there was more surface preparation, that the area would drain. Moulton said that they don't want to cause an issue for other property owners in the future. Member Clayton said as long as it doesn't, its good.

Member Cuellar said that they don't really have anymore comments. They would like to talk in a joint meeting with the City Council, since the city council and the planning and zoning commission will have a joint meeting on January 31, 2022 in the Bondurant City Library regarding the site plan. Member Hoyer said that the joint meeting would be very helpful and useful. He also added that he was pleased with the idea of a commercial use in the area.

Director Murray said that the meeting that is being referenced as being on Monday is the joint session regarding the Comprehensive Plan: *"Build Bondurant"*. Moulton asked if they would need to come back again to talk about the project. Director Murray said yes, as it would need to be placed on the February 10, 2022 meeting. Member Clayton said that he's just trying to do what's best for the community.

Member Mains said that they don't have an issue with the density. City Councilperson Sillanpaa said that from the perspective of city council, that these concerns were worth bringing up at the joint meeting session on Monday. He also added that it would be nice to see a clearer design of what the intention is and being able to talk with the rest of council regarding the development. Member Cuellar added that they try to have joint meetings to communicate with the council for developments of similar manner.

Motion by Commission Member Mains, seconded by Commission Member Clayton to end public hearing. Vote on Motion 6-0-0. Motion carried.

- c. RESOLUTION NO. PZ-220127-05: Considering recommended approval of Request of Rezoning from Medium Residential (R-2) to Planned Unit Development (R-5) at 8383 NE 72nd Street and recommended approval of the Future Land Use Map update from Single-Family to Commercial and Multi-Family in the areas shown in the PUD conceptual plan

Motion by Commission Member Mains, seconded by Commission Member Clayton, to table Resolution No. PZ-220113-01 *"Considering recommended approval of request of rezoning from Medium Residential (R-2) to Planned Unit Development (R-5) at 8383 NE 72nd Street and recommended approval of the Future Land Use Map update from Single-Family to Commercial and Multi-Family in the areas shown in the PUD conceptual plan"* until the January 31, 2022 joint city-council meeting.

Roll Call – Ayes: Commission Member Cuellar, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom, Commission Member Clayton. Nays – None. Absent: Commission Member Cameron. Vote on Motion 6-0-0. Motion carried.

Member Clayton pointed out that the developers had indicated that they weren't concerned about the project being pushed back prior to the meeting starting.

7. Discussion Items

None

8. Reports / Comments and appropriate action thereon

- a. Commission Members
 - Wes Hoyer – None
 - Kristin Brostrom – None

Andy Mains – None

Brian Clayton – None

Karen Keeran - None

- b. Commission Chair – None
- c. Planning & Community Development Director – The Planning and Zoning Commission has agenda items for the February 10th meeting, with the addition of the one tabled: *RESOLUTION NO. PZ-220127-05.*
- d. City Administrator – Noted that the office has been very busy and that she is looking forward to Monday's joint meeting regarding the comprehensive plan
- e. City Council Liaison – He said that some of the concerns that are being expressed in the earlier resolution were the same ones that others had for other developments. He also was glad that the commission was making decisions for the city of Bondurant and not as another city, because what works there does not mean that it will work here.

7. Adjournment

Motion by Commission Member Mains, seconded by Commission Member Clayton to adjourn the January 27, 2022, meeting. Vote on Motion.

Meeting adjourned at 6:55 PM



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.a.
For Meeting of 2/10/2022
Resolution

TITLE: -RESOLUTION NO. PZ-220210-06: Considering recommended approval of the Temple Holdings site plan on Outlot Y of the Shiloh Rose Business Park Plat 1.

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: The City is in receipt of a site plan for review by the Planning & Zoning Commission and City Council for the Outlot Y development area of the Shiloh Rose Business Park, Plat 1. The owner/developer is Temple Holdings LLC. The site plan was submitted by Snyder & Associates. The parcel boundary of Outlot Y is highlighted on the map below. Development of Outlot Y will occur in phases. This current site plan is for review of the first phase, which will consist of construction of the first two of the eventual six structures at this location. Building A of Phase 1 will be 32,280 SF and Building B of Phase 1 will be 20,800 SF. Building B is the building situated closer to the Shiloh Rose Parkway SW street frontage, while Building A will sit toward the rear of the parcel. The first phase will be toward the south end of this Outlot Y.

This property is zoned as being within the City's Limited Industrial (M-1) District. Sheet C200 of the site plan acknowledges the use(s) proposed must comply with the M-1 District, as regulated by Section 178.13 of the Zoning Code.



When the Planning & Zoning Commission and City Council review site plans, they review for consistency with the following documents: Comprehensive Plan; Zoning Code; and Comments from City Officials.

Consistency with the City's Comprehensive Plan:

Since the use proposed is a permitted use of the M-1 District, no rezoning is proposed. This industrial use is consistent with the City's Future Land Use Map, which guides for industrial use within the Shiloh Rose Business Park area.

Consistency with the City's Zoning Code:

Below are notes detailing how the Zoning Code is met for this request or what additional information is needed to ensure the Code will be met for this development.

General Commercial Use & Bulk

- Sheet C200 notes an M-1 District zoning and acknowledges that the eventual primary uses proposed must comply with M-1 uses as regulated by Section 178.13 of the Zoning Code.
- The site plan labels a gravel outdoor storage yard area south of the south driveway. An accessory outdoor storage yard area use requires a conditional use permit through the Board of Adjustment per Section 178.13.4.A. The site plan also appears to show what is assumed as potential future parking spaces within the proposed outdoor storage yard area; a clarification note has been noted as part of this P&Z recommendation resolution that all parking areas must be paved.

- The site plan shows the Phase 1 buildings will stay outside of the required 50' front yard setback along the Shiloh Rose Parkway SW and Midstates Drive right-of-way property lines. It appears fine, but the site plan should be updated to label the 50' east rear property line to ensure the east building will stay outside of this setback area. The north side property line will be reviewed as part of a future phase.
- Building A will be 28' tall and Building B will be 23' tall. Both heights stay under the allowable 80'.

Parking/Drive Areas

- Two driveways along Shiloh Rose Parkway SW are proposed as part of this first phase. The City Engineer has reviewed these driveways and has determined both locations are satisfactory.
- The site plan shows that no part of any parking/drive area (excluding driveways) will be located closer than 3' away from the front property lines, as is required by Section 177.10.1.
- The site plan shows that all parking/drive areas will be paved as required by Section 177.10.2 of the Zoning Code. A clarification item has been included as part of the attached P&Z recommendation resolution that all parking/drive areas shall be paved, to ensure that no parking is allowed within the gravel outdoor storage yard area.
- Section 177.09.21 of the Zoning Code notes that at least 1 parking space on the lot must be provided per each employee. While final uses have yet to be determined for these buildings, Sheet C200 of the site plan notes that 55 parking spaces will be provided in this Phase 1 area. A condition has been included as part of the attached P&Z recommendation resolution relative to this item is met as uses are identified.
- Section 177.08 of the Zoning Code regulates minimum off-street loading spaces. 2 off-street loading spaces are required for Building A and 1 off-street loading space is required for Building B. The site plan will need to be updated to clearly label these required off-street loading space areas.
- The site plan shows parking spaces will be provided with raised curbing or equivalent, as is required by Section 177.10.8.

Stormwater, Utilities & Natural Features

- A stormwater management report was submitted for review by the City Engineer. The site plan shows two storm sewer systems leading to the stormwater detention basin located along the easterly side of Building A.
- Sheet C600 contains the required utility plan. The water main serving the site is an 8" main that connects to the 12" main along Shiloh Rose Parkway SW. The hydrant coverage is satisfactory. Sanitary sewer is shown as an 8" sewer

connecting to the existing sanitary sewer on the east side of Shiloh Rose Parkway SW.

- This property is located within the Highway 65 Utility Extension Sanitary Sewer Connection Fee District and the Highway 65 Utility Extension Water Connection Fee District.
- This site is not situated within FEMA's 100-year floodplain.
- This site is not situated within the City's Stream Buffer Ordinance area.

Landscaping Plan

- Sheet C700 contains the required landscaping plan. Notes on this:
 - Clarification has been requested on the Phase 1 street frontage. Sheet C700 notes 415' of street frontage, however, it appears the street frontage, when taking into account Shiloh Rose Parkway and Midstates Drive, exceeds 415'. If the street frontage exceeds 415', the calculations for minimum required general trees will need to be updated.
 - 5 interior trees are proposed, which exceeds the minimum 4 interior tree count requirement per the 55 parking spaces proposed. The interior trees are deciduous shade, which meets tree type requirements of Section 182.05.D.1.
 - Site plan shows the trees will be planted within the required front setback areas and at least 4' away from the street right-of-way lines, as is required by Section 182.05.E of the Zoning Code.
 - The landscaping plan shows landscaping and berming proposed within the existing sanitary sewer easement area; clarification has been requested from the City Engineer as to whether or not this is allowable.
 - The landscaping plan notes that the deciduous trees will conform to the minimum of 1 3/4 inch caliper in size at time of planting requirement of Section 182.04 of the Zoning Code.
 - The site plan notes that 35.9% of the Phase 1 area will be open space. This exceeds the minimum 15% requirement of the M-1 District as regulated by Section 178.13.5.f.
 - The site plan will need to be updated to confirm the 5% interior greenspace requirement for parking areas visible from the right-of-way requirement of Section 177.10.7 is met.

Architectural Elevations

- Colored elevations have been received and are attached as part of this agenda statement. Notes on building design/material requirements:
 - General requirements as regulated by Section 179.01.2.I.1
 - Section 179.01.2.I.2.1 - buildings shall be designed such that there is adequate treatment or screening of negative

aspects (loading areas, loading docks, HVAC mechanical units, non-residential doors, etc) from the public right-of-way and adjoining properties. *See next response.*

- Section 179.01.2.1.1.a - buildings shall be designed to not expose loading docks or loading areas to the public unless screening is proposed. *This code requirement appears to be met. Building B, the building closest to Shiloh Rose Parkway SW, will locate all overhead doors on the east rear elevation. Building A, the building situated back behind Building B, will have overhead doors on the west front and south front elevations; these overhead doors will be constructed in a color matching the building. Further, the Landscaping Plan shown on Sheet C700 shows that these doors will be screened from the street areas.*
- Section 179.01.2.1.1.b - requires that roof mounted mechanical units shall be screened from view of public right-of-way. *The submitted elevations acknowledges this code requirement.*
- This site is located more than 500' away from the Highway 65 right-of-way corridor, meaning the building design is not subject to the Overlay District requirements and is instead subject to the following general industrial district building design/material requirements:
 - The exterior building material of the front elevations shall be comprised of at least 50% glass, brick, concrete panels, textured concrete block, stone panels, or other similar material when after reviewed by the Planning & Zoning Commission and the City Council, the material used will not detract from the physical appearance of the building. *The attached colored elevations do not label proposed materials; this has been included as a code clarification item on the attached. The look of the proposed elevations appear consistent with what has previously been approved by the Commission and Council for other similar industrial projects (JAS Concrete, SKOL Trucking, etc.). The Commission may request clarification that the fasteners are concealed on the front facing facades, as has been done in other recent approvals.*
 - Buildings proposed in industrial areas that are adjacent to less intense uses should be designed with an articulated roofline to help divide the mass of the large building into smaller, identifiable parts. *N/A as this site is not located adjacent to any residential uses.*

- Industrial buildings shall incorporate facade modulation in all building elevations visible to the public right-of-way or other less intense uses. Modulation can be accomplished through physical offsets or the use of color, pattern, or texture. *Varying color, patterns, textures are present on the west and south elevations of both buildings.*

Other Site Plan Features

- The site plan shows two detached monument signs proposed. One will be situated along the Shiloh Rose Parkway SW street frontage and the other will be situated along the Midstates Drive frontage. All signage is reviewed/approved separately from site plan approval for code compliancy with Chapter 181 of the City Code. A sign contractor must obtain sign permits prior to installation signage.
- This site is not adjacent to any residential districts, meaning it is not subject to Section 177.10.3, which reads that all lighting used to illuminate parking areas shall be arranged so as to reflect light away from R Districts.
- Sheet C400 notes that an exterior trash enclosure is proposed in front of Building A (east rear building). *The site plan notes coordinate screening material with architectural drawings. Further information has been requested on the proposed screening.*
- The site plan proposes no public sidewalks. The City may require sidewalks be installed in the future per Chapter 136 of the City Code; this has been factored in as part of the attached P&Z recommendation resolution.

Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. Public Works - reviewed and noted no comments/concerns.
2. Engineering - still under review. This has been factored in as part of the attached P&Z recommendation resolution.
3. Fire Department - reviewed and noted no comments/concerns.

FUNDING SOURCE: N/A

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. Recommended approval of RESOLUTION NO. PZ-220210-06.
2. Recommended approval of RESOLUTION NO. PZ-220210-06, subject to certain Zoning Code clarification items being addressed.
3. Recommended denial of RESOLUTION NO. PZ-220210-06.
4. Table pending additional information.

Staff recommends approval of RESOLUTION NO. PZ-220210-06, regarding recommended approval for the Temple Holdings site plan on Outlot Y of the Shiloh Rose Business Park Plat 1, subject to the following Zoning Code clarification items being addressed:

1. That should any changes be requested by the City Engineer, the site plan and stormwater management must be updated and resubmitted to reflect these requested changes; this includes a review by City Engineering regarding the improvements proposed within the public sanitary sewer easement area.
2. That the elevations must be updated to note materials proposed, including a note that the fasteners on facades facing the public right-of-way shall be concealed.
3. That the site plan be updated to show the required 50' rear yard setback to ensure the buildings will stay outside of this required setback area.
4. That the site plan be updated to label proposed setbacks from all property lines.
5. That approval of this Phase 1 site plan is for up to 55 employees (at any one time) and should this number increase beyond this, an updated site plan showing compliancy with minimum parking stall count requirements must be resubmitted.
6. That the site plan be updated to clearly label the off-street loading areas.
7. That the site plan be updated to provide the interior greenspace calculation to ensure the minimum 5% requirement is being met.
8. That the reference to 84 parking shall on the landscaping plan be updated to 55.
9. That the lot street frontage calculation listed on the landscaping plan be updated to reflect lot frontage along both Shiloh Rose Parkway SW and Midstates Drive if it does not currently.
10. That sidewalks may be required if/when the City determines a logical connection exists as is allowed per Chapter 136 of the City Code.
11. That the utility connection fee district fees shall be paid prior to building permit issuance.
12. That further clarification be provided on how the exterior trash enclosure will be screened.
13. That the site plan be updated to note that total impervious surface area proposed.
14. That the proposed gravel outdoor storage yard area will require a conditional use permit to be reviewed by the Board of Adjustment and that if approved, this area cannot be used as a parking/drive area.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RESOLUTION NO. PZ-220210-06 - Temple Industrial Site Plan
2. SP_2022-02-04_Updated
3. 2116-TEMPLE SPEC BLDGS DD A-FINAL
4. 2116-TEMPLE SPEC BLDGS DD B-FINAL

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-220210-06

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE PHASE 1 SITE
PLAN FOR THE TEMPLE HOLDINGS SITE

WHEREAS, Snyder & Associates submitted the site plan for Outlot Y of the Shiloh Rose Business Park Plat 1 described as follows; AND

OUTLOT Y SHILOH ROSE BUSINESS PARK PLAT 1

WHEREAS, the zoning for the property is Limited Industrial and the site plan notes uses proposed must meet the M-1 District; AND

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted site plan for Phase 1 of the Temple Holdings site plan at Outlot Y of the Shiloh Rose Business Park, subject to the following City Code/Policy clarification items:

1. That should any changes be requested by the City Engineer or Fire Department, the site plan and stormwater management must be updated and resubmitted to reflect these requested changes; this includes a review by City Engineering regarding the improvements proposed within the public sanitary sewer easement area.
2. That the elevations must be updated to note materials proposed, including a note that the fasteners on facades facing the public right-of-way shall be concealed.
3. That the site plan be updated to show the required 50' rear yard setback to ensure the buildings will stay outside of this required setback area.
4. That the site plan be updated to label proposed setbacks from all property lines.
5. That approval of this Phase 1 site plan is for up to 55 employees (at any one time) and should this number increase beyond this, an updated site plan showing compliancy with minimum parking stall count requirements must be resubmitted.
6. That the site plan be updated to clearly label the off-street loading areas.
7. That the site plan be updated to provide the interior greenspace calculation to ensure the minimum 5% requirement is being met.
8. That the reference to 84 parking stalls on the landscaping plan be updated to 55.
9. That the lot street frontage calculation listed on the landscaping plan be updated to reflect frontage of both Shiloh Rose Parkway SW and Midstates Drive if it does not currently.
10. That sidewalks may be required if/when the City determines a logical connection exists as is allowed per Chapter 136 of the City Code.
11. That the utility connection fee district fees shall be paid prior to building permit issuance.
12. That further clarification be provided on how the exterior trash enclosure will be screened.

13. That the site plan be updated to note that total impervious surface area proposed.
14. That the proposed gravel outdoor storage yard area will require a conditional use permit to be reviewed by the Board of Adjustment and that if approved, this area cannot be used as a parking/drive area.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on February 10, 2022; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

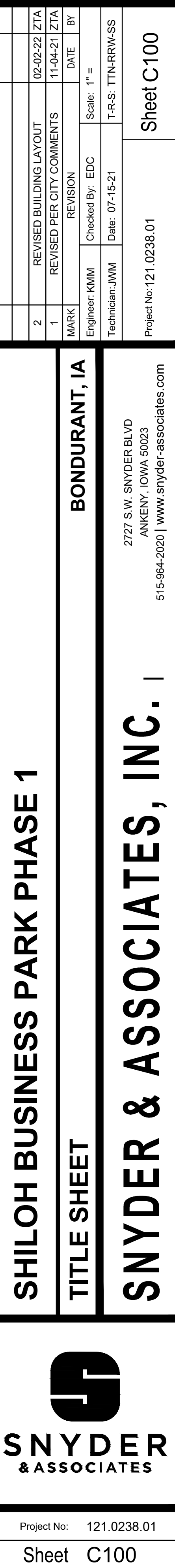
Action	Yay	Nay	Abstain	Absent
Cameron				
Clayton				
Mains				
Keeran				
Cuellar				
Hoyer				
Brostrom				

Torey Cuellar, Commission Chair

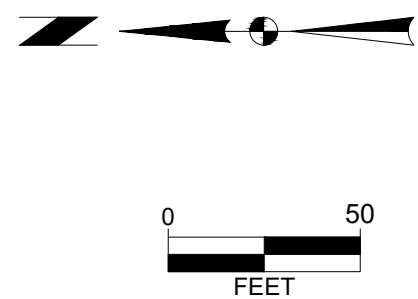
Map showing the project location at the intersection of Shiloh Rose Parkway SW and Hwy 631 NE Hubbell Ave. The project location is marked with a black dot and a callout box labeled "PROJECT LOCATION". Other streets shown include NE 63rd St, 15th St SW, and Prairie Dr.

TEMPLE HOLDINGS, LLC
2400 86TH ST, SUITE 24
URBANDALE, IA 50322
CONTACT: DEREK TEMPLE
PHONE: 515-276-3456

C100	TITLE SHEET
C200	PROJECT INFORMATION
C300	OVERALL SITE LAYOUT
C400	DIMENSION PLAN
C500	OVERALL GRADING AND EROSION CONTROL PLAN
C501	DETAILED GRADING PLAN
C502	DETAILED GRADING PLAN
C600	UTILITY PLAN
C700	PLANTING PLAN
C701	PLANTING DETAILS



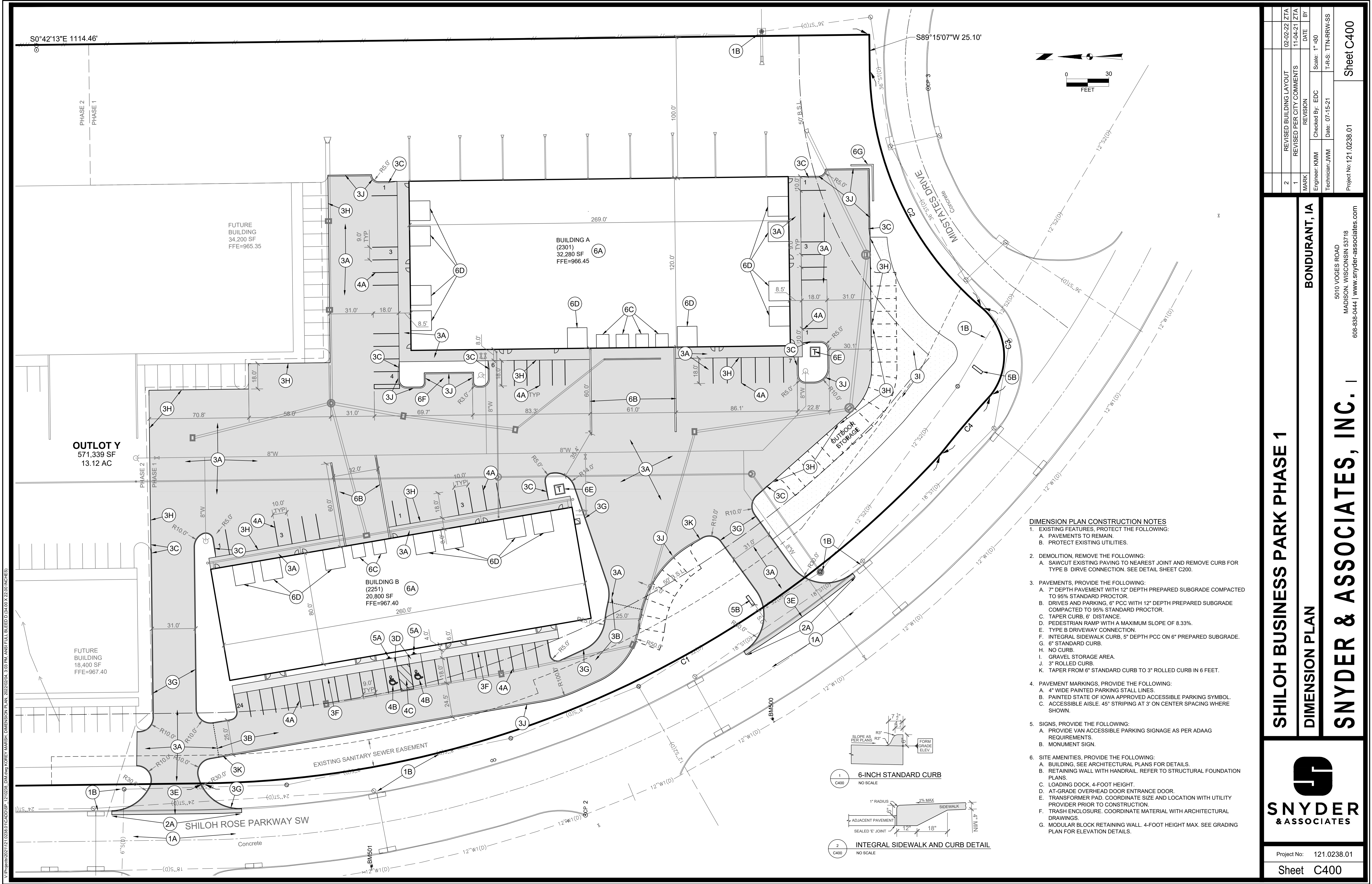
Page 18 of 46



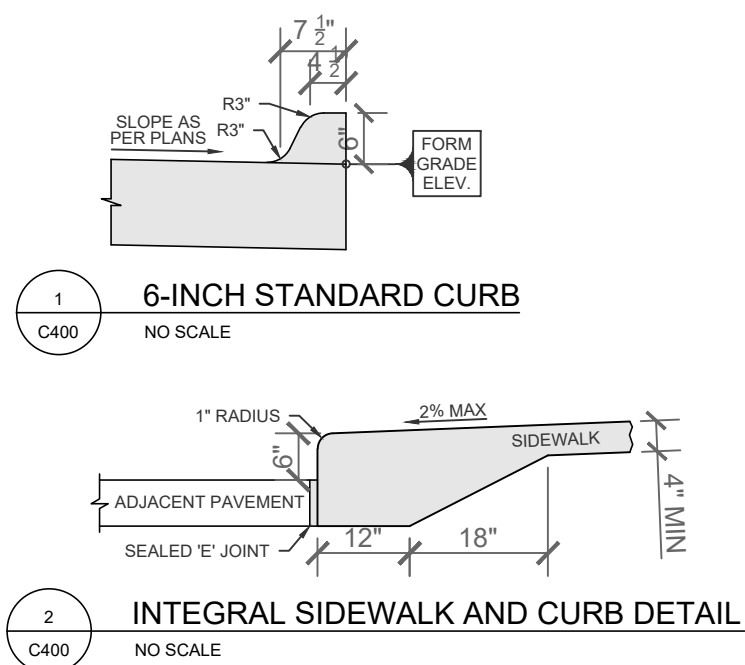
SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

Project No.: 121.0238.01		Sheet C300	
Engineer: KMM	Checked By: EDC	Scale: 1" = 50'	T-R-S: TTN-RRW-SS
Technician: JWM	Date: 07-15-21		
MARK	REVISION	DATE	BY
2	REVISED BUILDING LAYOUT	02-02-22	ZTA
1	REVISED PER CITY COMMENTS	11-04-21	ZTA



- DIMENSION PLAN CONSTRUCTION NOTES**
- EXISTING FEATURES, PROTECT THE FOLLOWING:
 - A. PAVEMENTS TO REMAIN.
 - B. PROTECT EXISTING UTILITIES.
 - DEMOLITION, REMOVE THE FOLLOWING:
 - A. SAWCUT EXISTING PAVING TO NEAREST JOINT AND REMOVE CURB FOR TYPE B DRIVE CONNECTION. SEE DETAIL SHEET C200.
 - PAVEMENTS, PROVIDE THE FOLLOWING:
 - A. 7" DEPTH PAVEMENT WITH 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR.
 - B. DRIVES AND PARKING, 6" PCC WITH 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR.
 - C. TAPER CURB, 6" DISTANCE.
 - D. PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33%.
 - E. TYPE B DRIVEWAY CONNECTION.
 - F. INTEGRAL SIDEWALK CURB, 5" DEPTH PCC ON 6" PREPARED SUBGRADE.
 - G. 6" STANDARD CURB.
 - H. NO CURB.
 - I. GRAVEL STORAGE AREA.
 - J. 3" ROLLED CURB.
 - K. TAPER FROM 6" STANDARD CURB TO 3" ROLLED CURB IN 6 FEET.
 - PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - A. 4" WIDE PAINTED PARKING STALL LINES.
 - B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
 - C. ACCESSIBLE AISLE. 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
 - SIGNS, PROVIDE THE FOLLOWING:
 - A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS.
 - B. MONUMENT SIGN.
 - SITE AMENITIES, PROVIDE THE FOLLOWING:
 - A. BUILDING, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - B. RETAINING WALL WITH HANDRAIL. REFER TO STRUCTURAL FOUNDATION PLANS.
 - C. LOADING DOCK, 4-FOOT HEIGHT.
 - D. AT-GRADE OVERHEAD DOOR ENTRANCE DOOR.
 - E. TRANSFORMER PAD. COORDINATE SIZE AND LOCATION WITH UTILITY PROVIDER PRIOR TO CONSTRUCTION.
 - F. TRASH ENCLOSURE. COORDINATE MATERIAL WITH ARCHITECTURAL DRAWINGS.
 - G. MODULAR BLOCK RETAINING WALL. 4-FOOT HEIGHT MAX. SEE GRADING PLAN FOR ELEVATION DETAILS.



2		REVISED BUILDING LAYOUT	02-02-22	ZTA
1		REVISED PER CITY COMMENTS	11-04-21	ZTA
MARK	REVISION	DATE	BY	
Engineer: KMM	Checked By: EDC	Scale: 1"=30'		
Technician: JMM	Date: 07-15-21	T-R-S: TTN-RRW-SS		
Project No: 121.0238.01				Sheet C400

SHILOH BUSINESS PARK PHASE 1

DIMENSION PLAN

BONDURANT, IA

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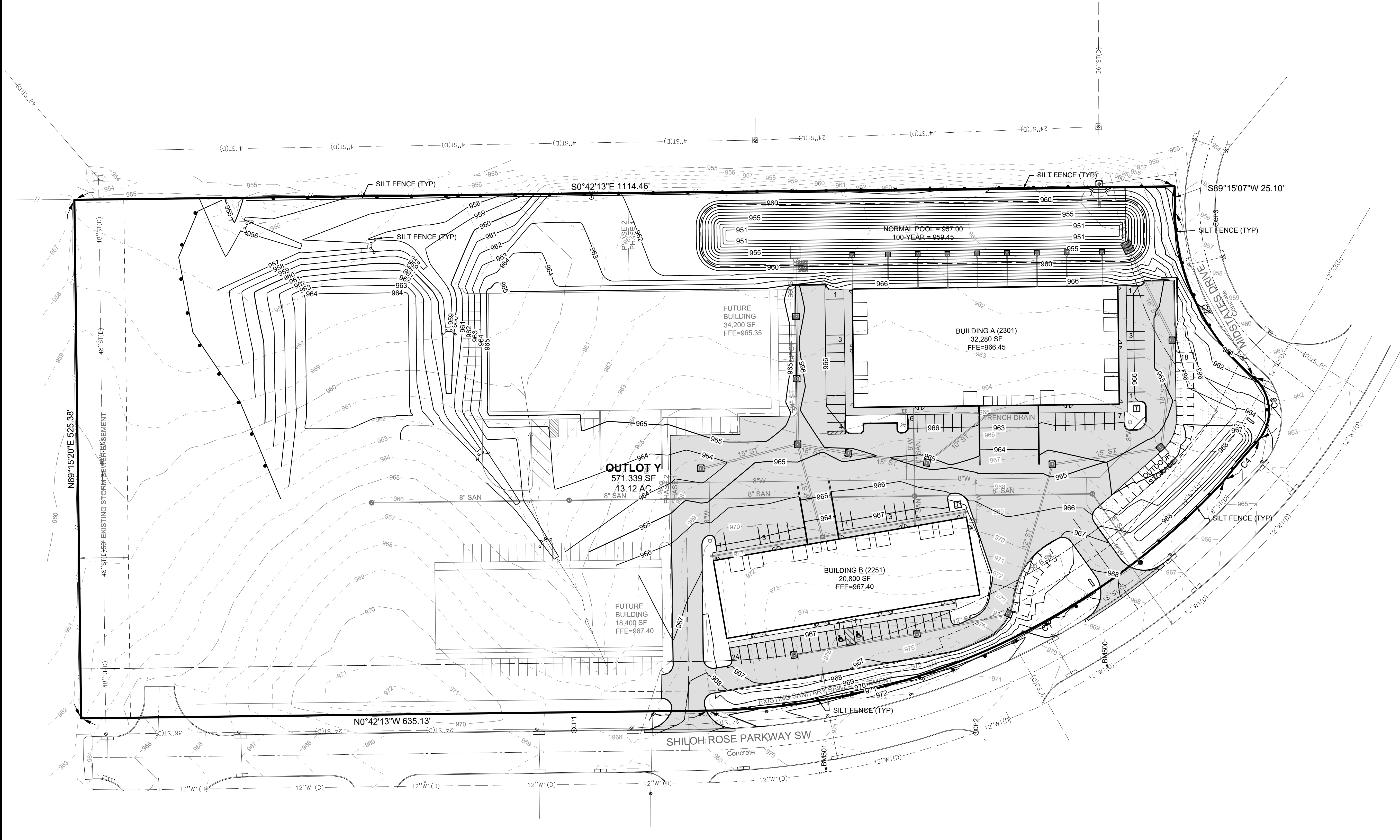
SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

Project No: 121.0238.01

Sheet C400

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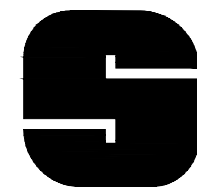


SHILOH BUSINESS PARK PHASE 1

OVERALL GRADING AND EROSION CONTROL PLAN

BONDURANT, IA

SNYDER & ASSOCIATES, INC. |



**SNYDER
& ASSOCIATES**

Project No: 121.0238.01

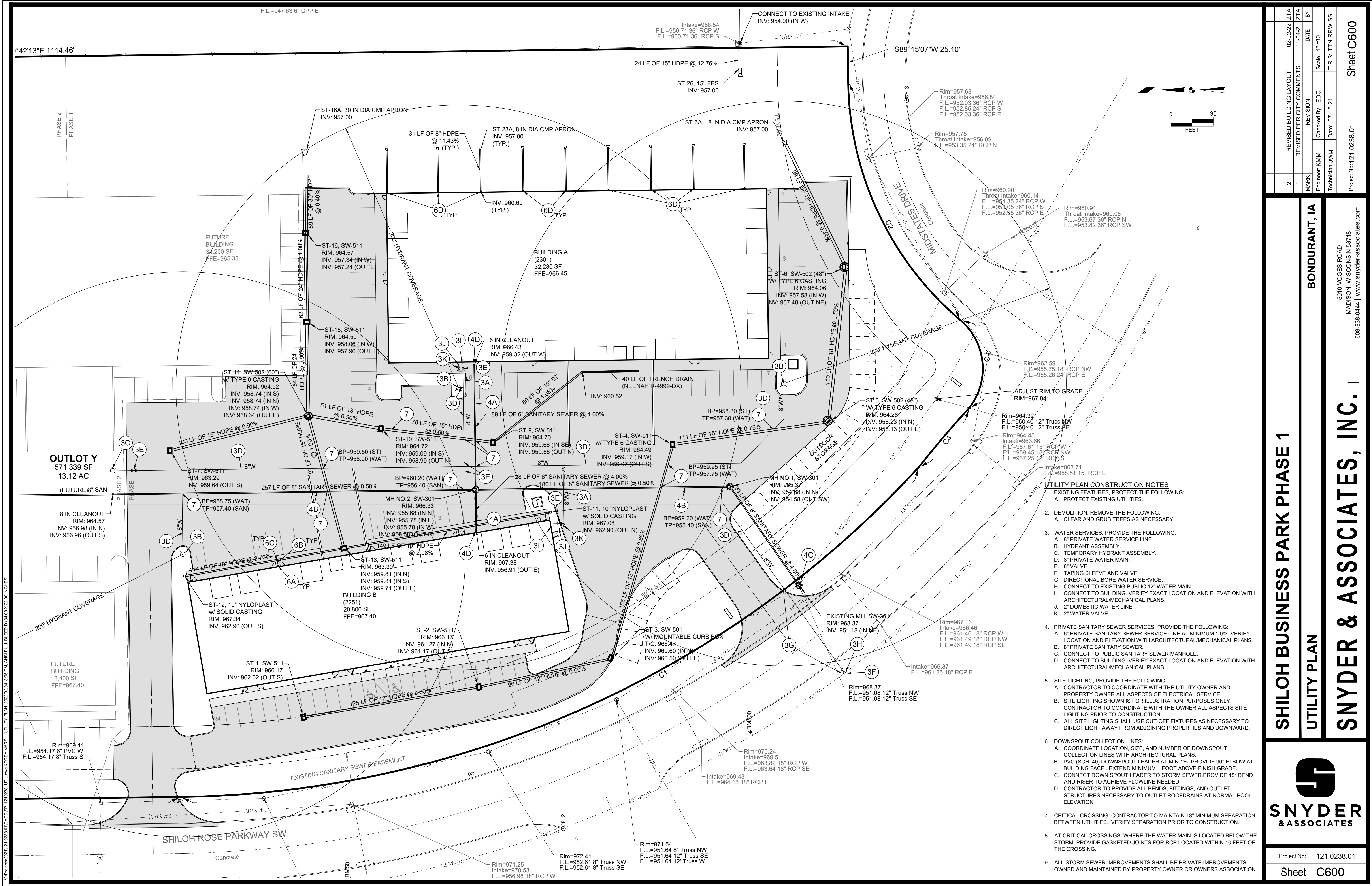
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1	REVISED PER CITY COMMENTS	11-04-21	ZTA
MARK	REVISION	DATE	BY
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Technician: JMM	Date: 07-15-21	T-R-S: TTN-RRW-SS	

Project No: 121.0238.01

Sheet C500

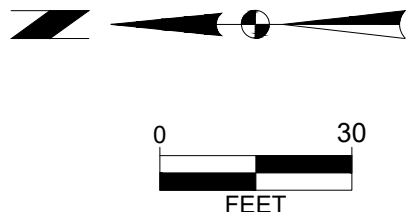
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MADISON, WISCONSIN 53718
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2	REVISED BUILDING LAYOUT	02-02-22	ZTA
	REVISED PER CITY COMMENTS	11-04-21	ZTA
1	MARK	REVISION	BY
	Engineer: KMM	Checked By: EDC	Scale: 1"=30'
	Technician: JMM	Date: 07-15-21	T-R-S: TTN-RRW-SS
Project No: 121.0238.01			
Sheet C600			

BONDURANT, IA	
5010 VOICES ROAD MADISON, WISCONSIN 53718 608-838-0444 www.snyder-associates.com	

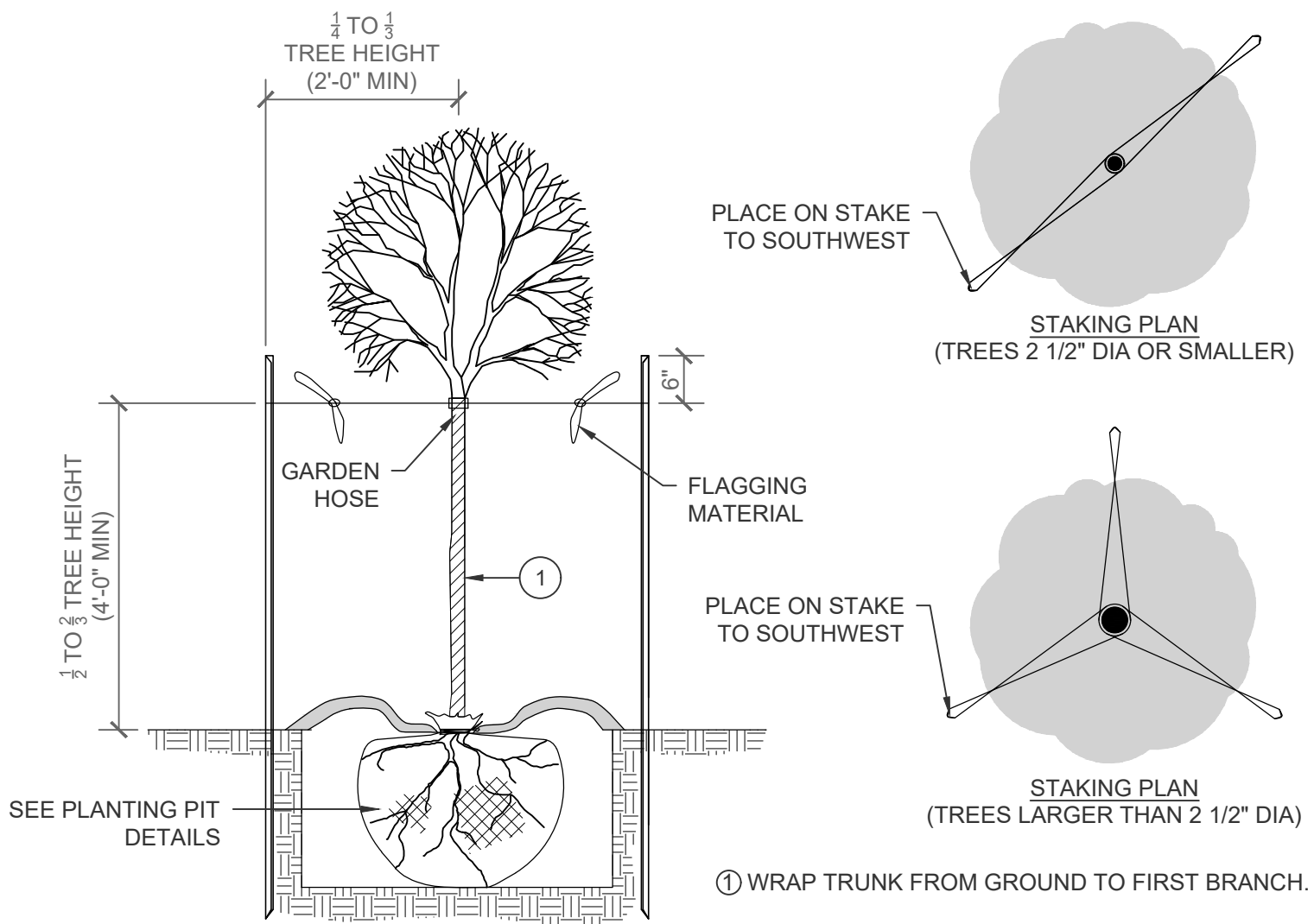
SHILOH BUSINESS PARK PHASE 1	
UTILITY PLAN	
SNYDER & ASSOCIATES	
Project No:	121.0238.01
Sheet C600	



NOTE: QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY PLANT MATERIAL PRIOR TO BIDDING. IN THE CASE OF A DISCREPANCY, THE PLAN QUANTITY SHALL GOVERN.

Project No:	121.0238.01
Sheet	C700

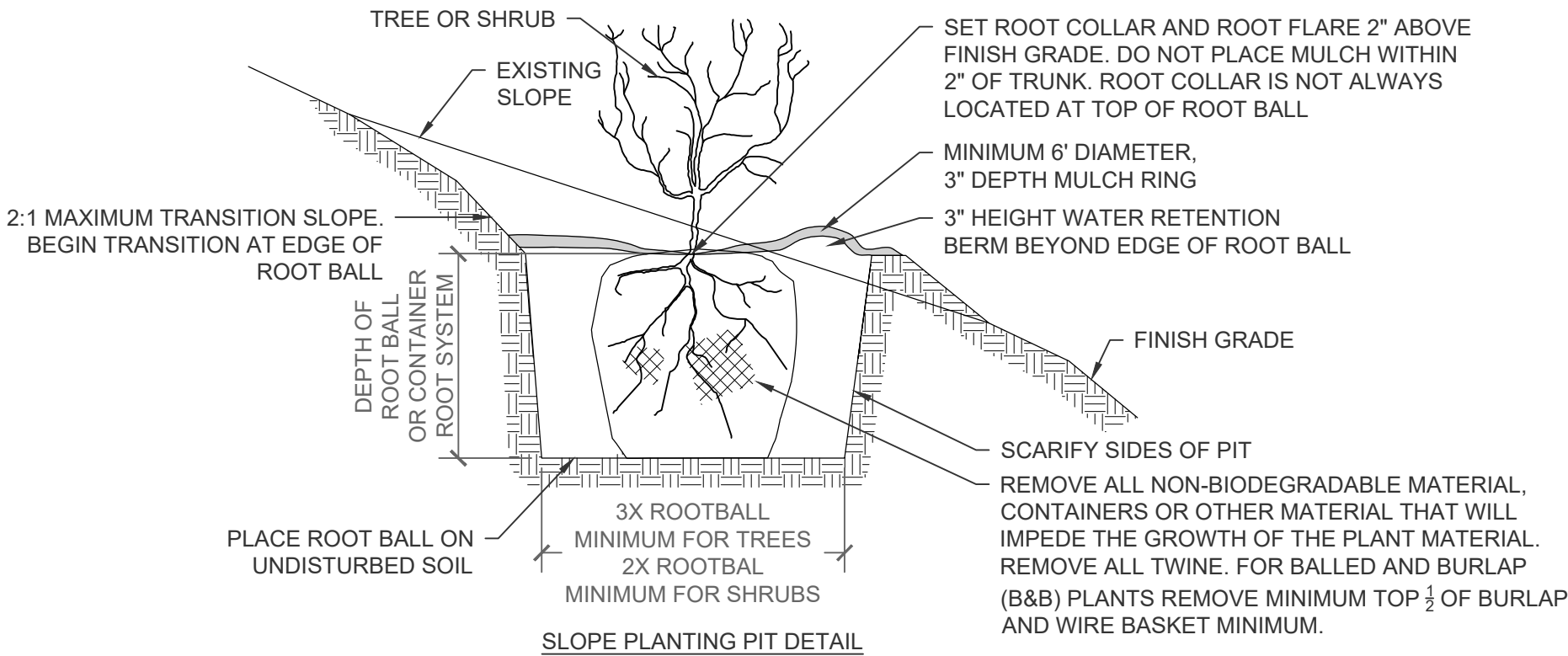
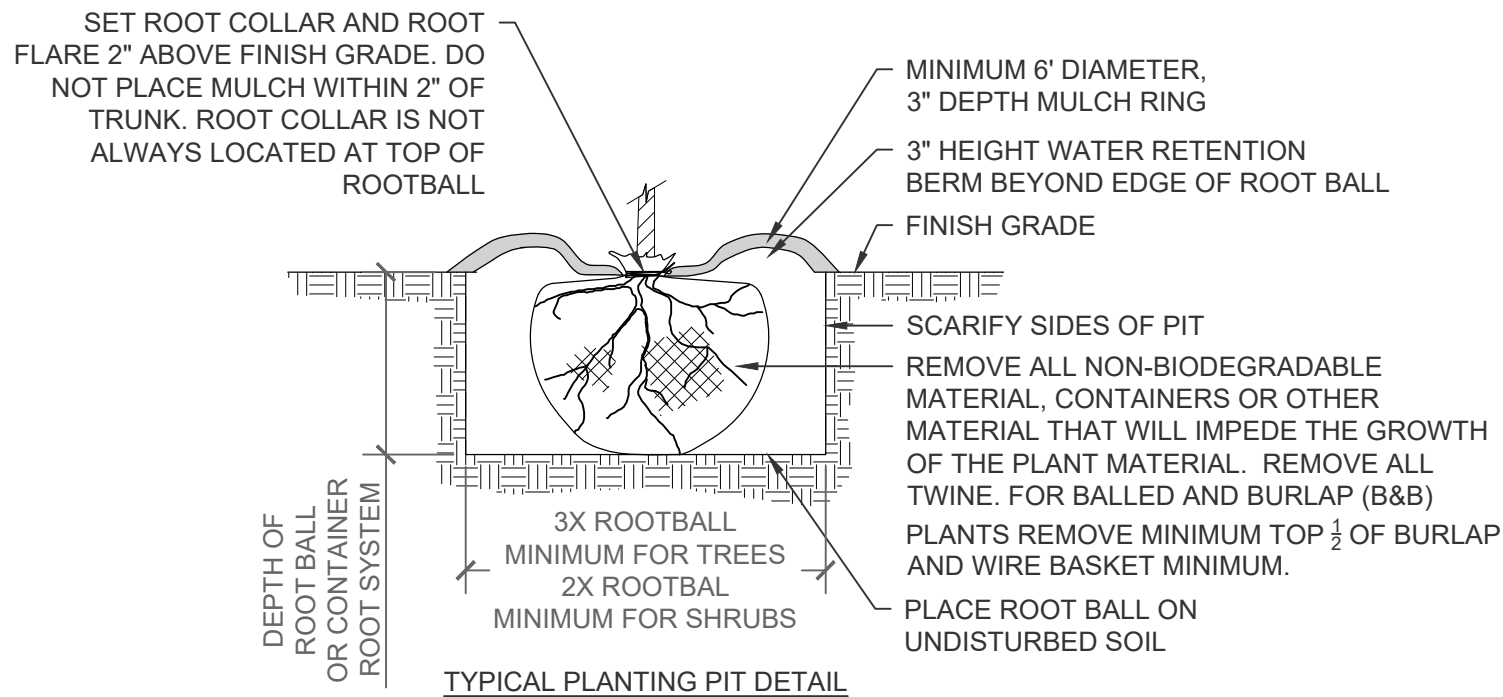
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1
C701

DECIDUOUS TREES STAKING DETAIL

NO SCALE



2
C701

PLANTING PIT DETAILS

NO SCALE

SHILOH BUSINESS PARK PHASE 1

PLANTING DETAILS

BONDURANT, IA

SNYDER & ASSOCIATES, INC. |

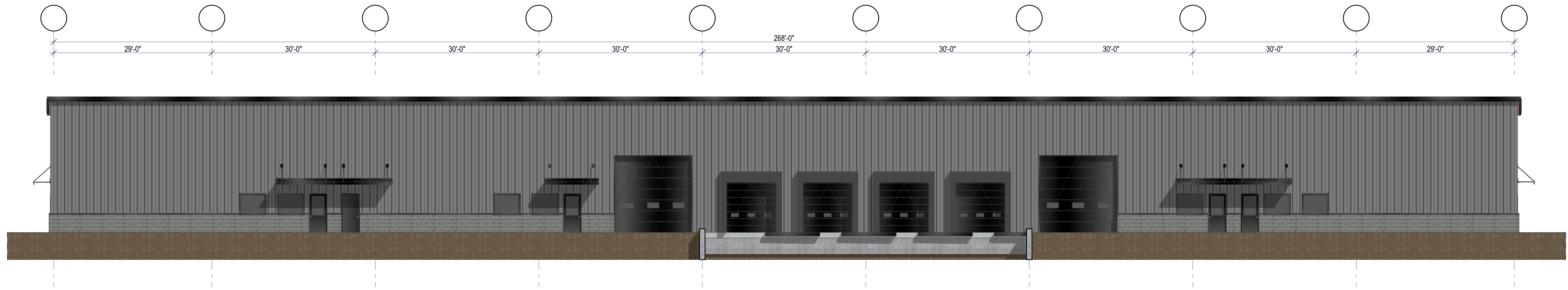


Project No: 121.0238.01

Sheet C701

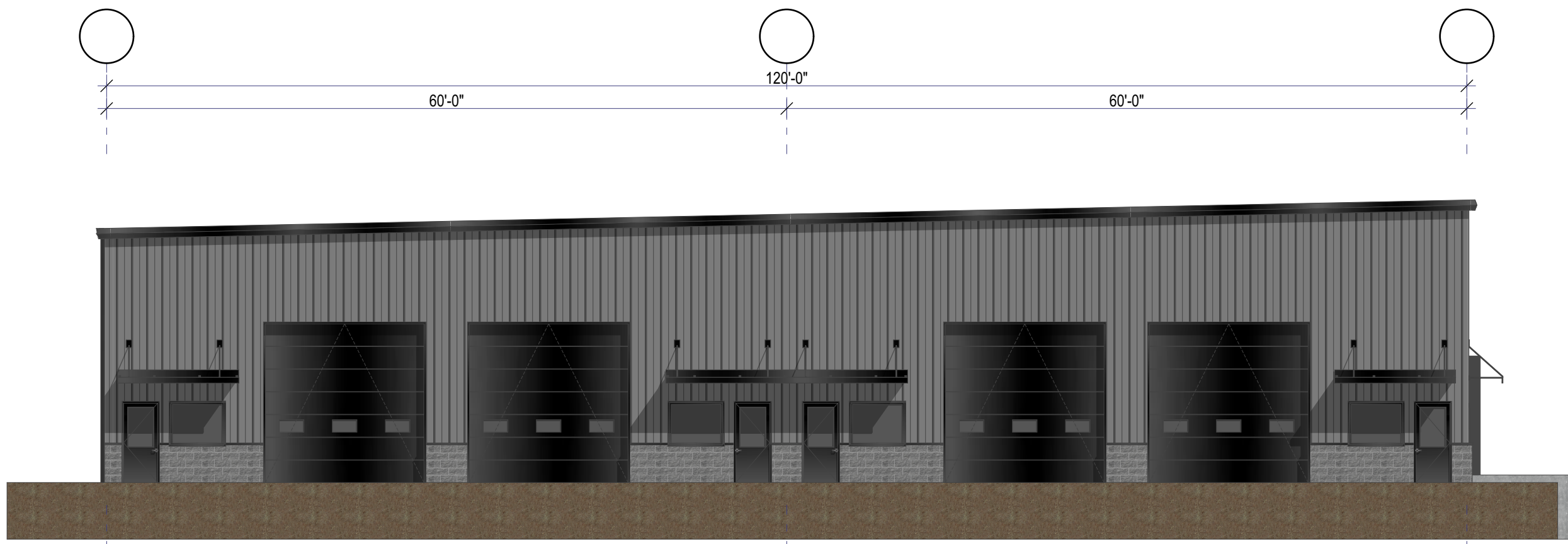
	2	REVISED BUILDING LAYOUT	02-02-22	ZTA	
	1	REVISED PER CITY COMMENTS	11-04-21	ZTA	
	MARK	REVISION	DATE	BY	
	Engineer: KMM	Checked By: EDC	Scale: 1" =		
	Technician: JMM	Date: 07-15-21	T-R-S: TTN-RRW-SS		
	Project No: 121.0238.01				Sheet C701

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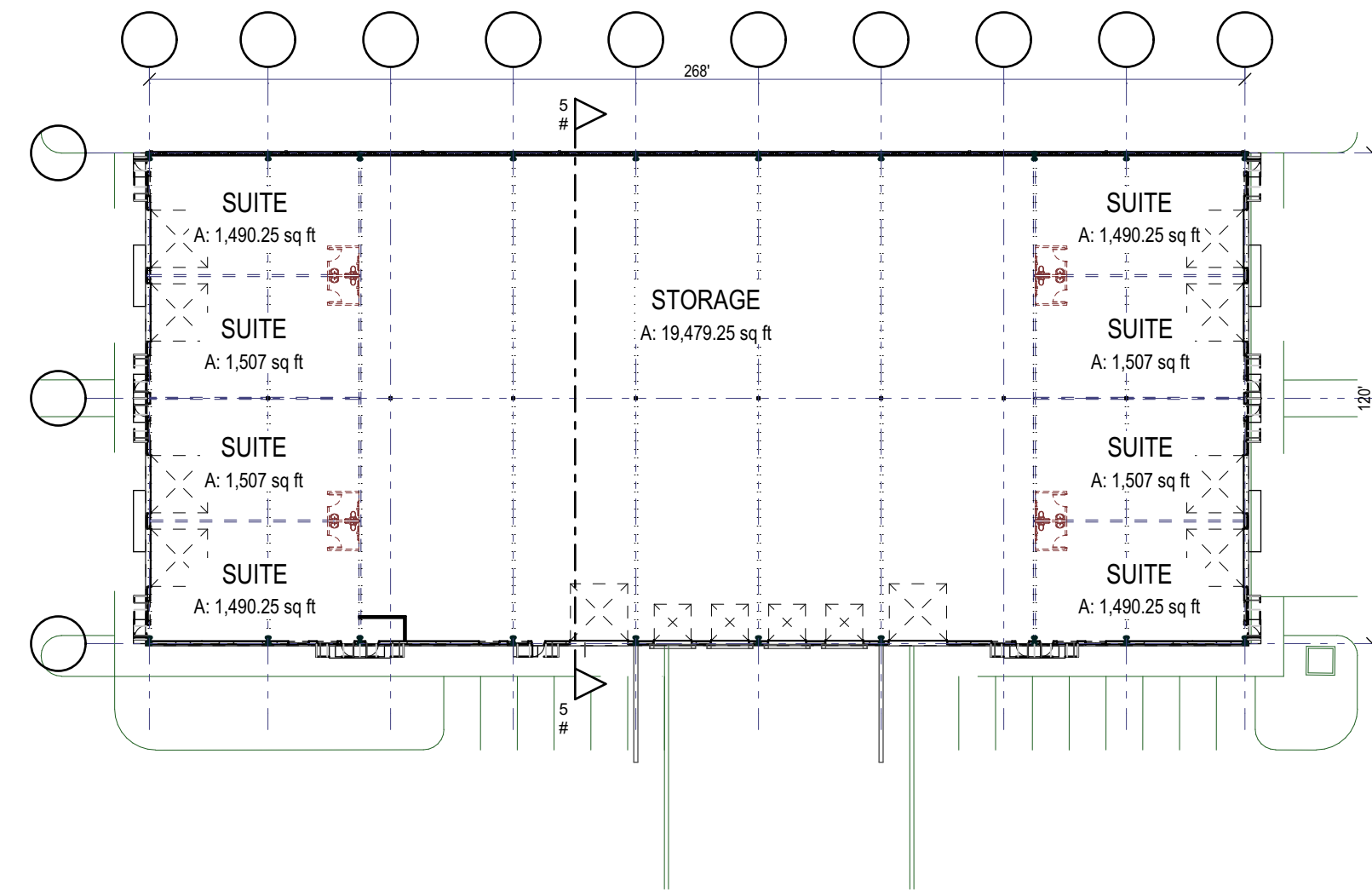
West (Front)

SCALE: 3/32" = 1'-0"



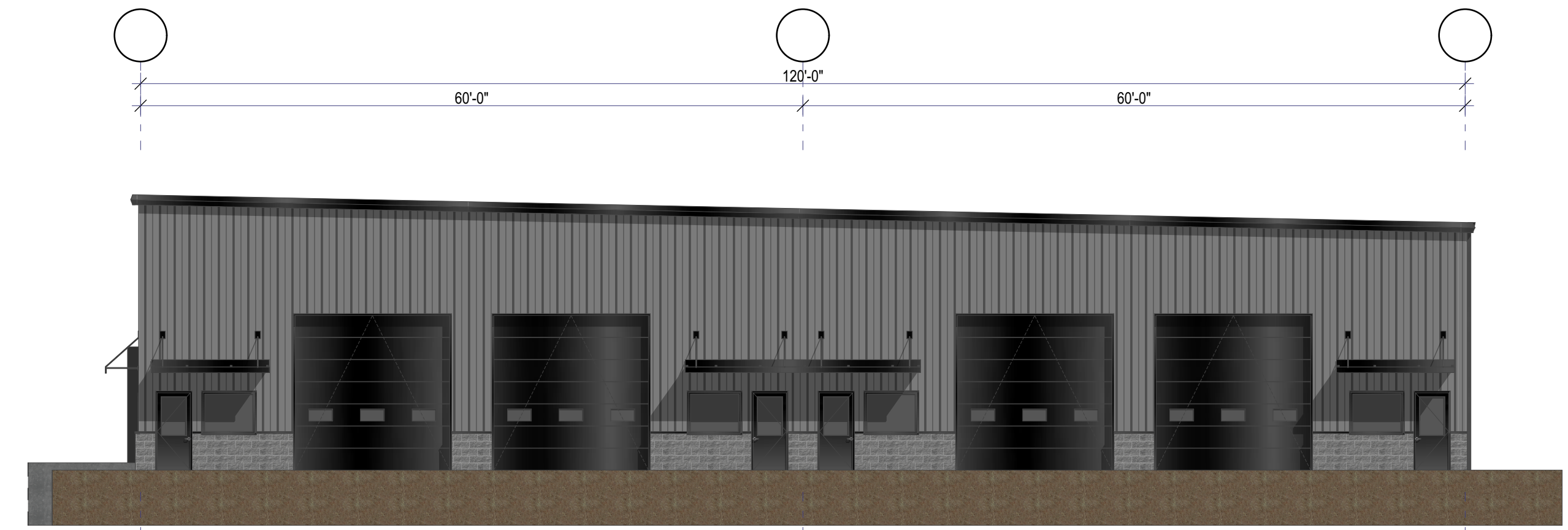
North

SCALE: 3/32" = 1'-0"



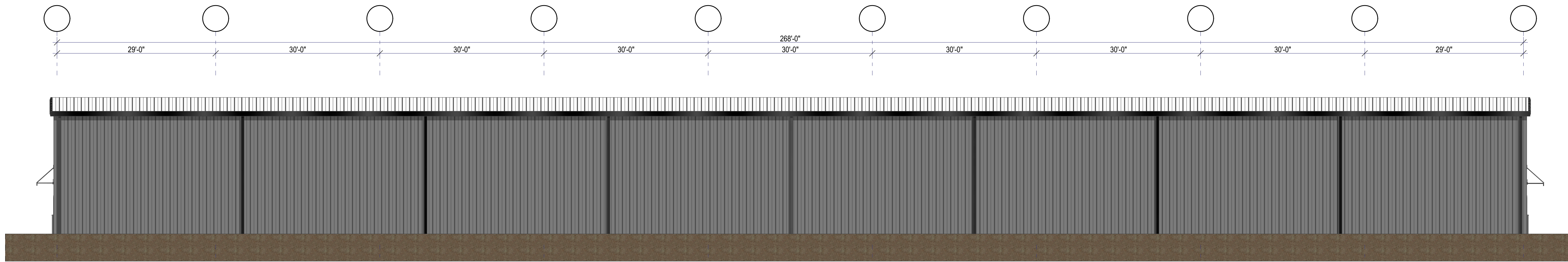
First Floor

SCALE: 1" = 40'



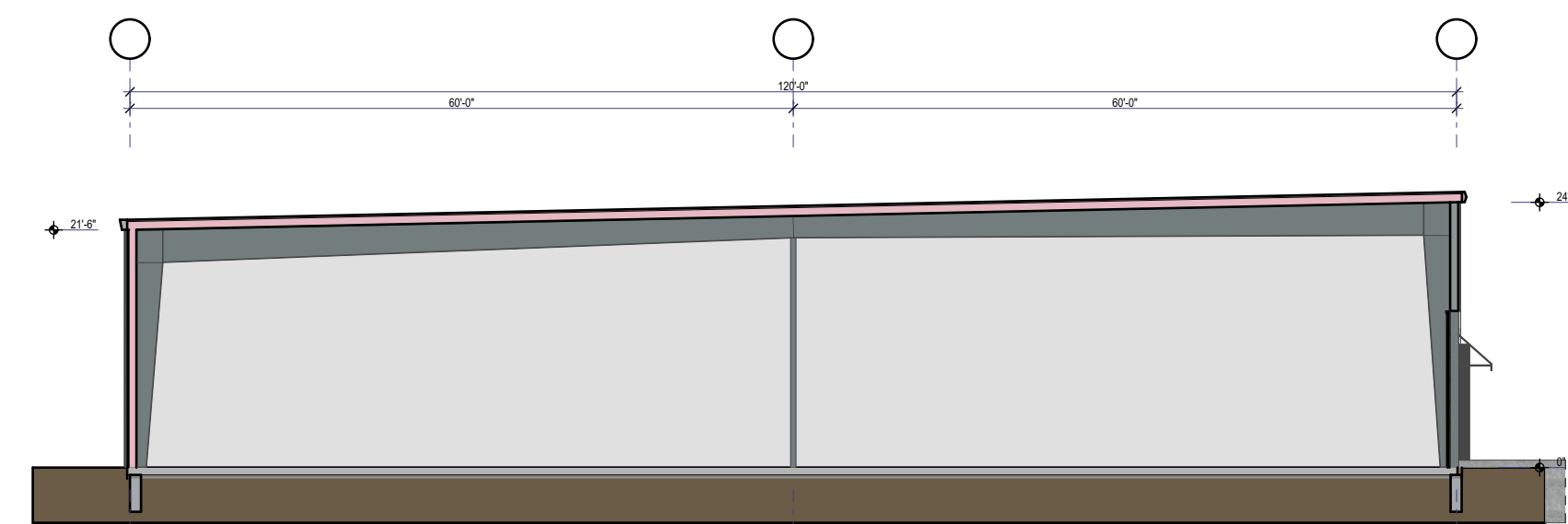
South

SCALE: 3/32" = 1'-0"



East (Rear)

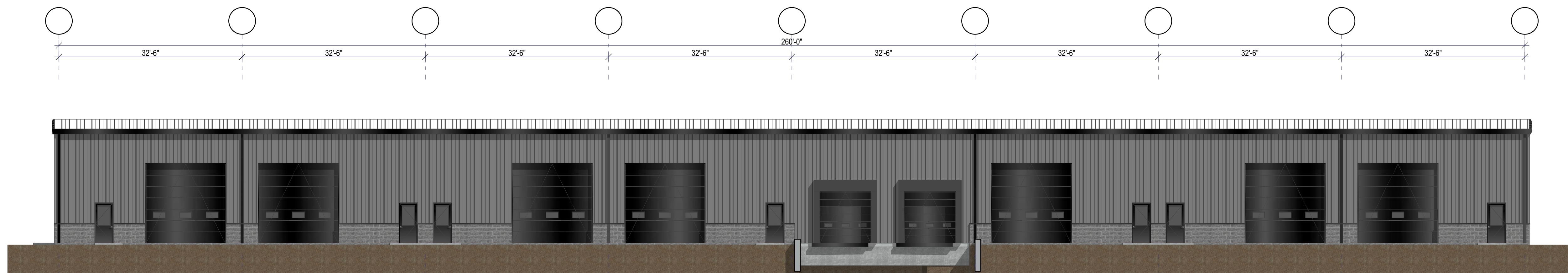
SCALE: 3/32" = 1'-0"



A Building Section

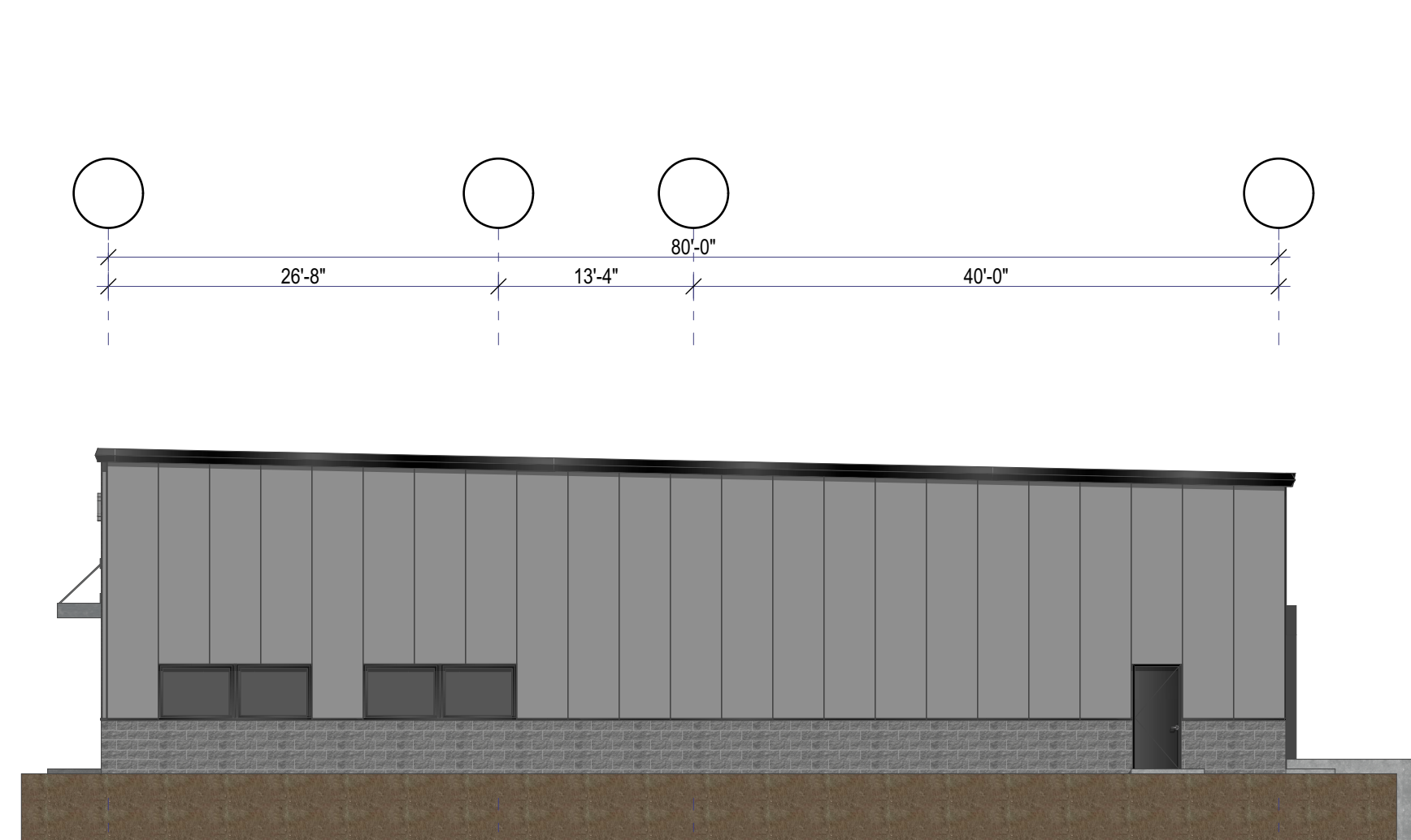
SCALE: 1/16" = 1'-0"

All roof mounted mechanical units and other similar equipment shall be screened from view of the public right-of-way by parapet walls or other screening materials of similar design to building.



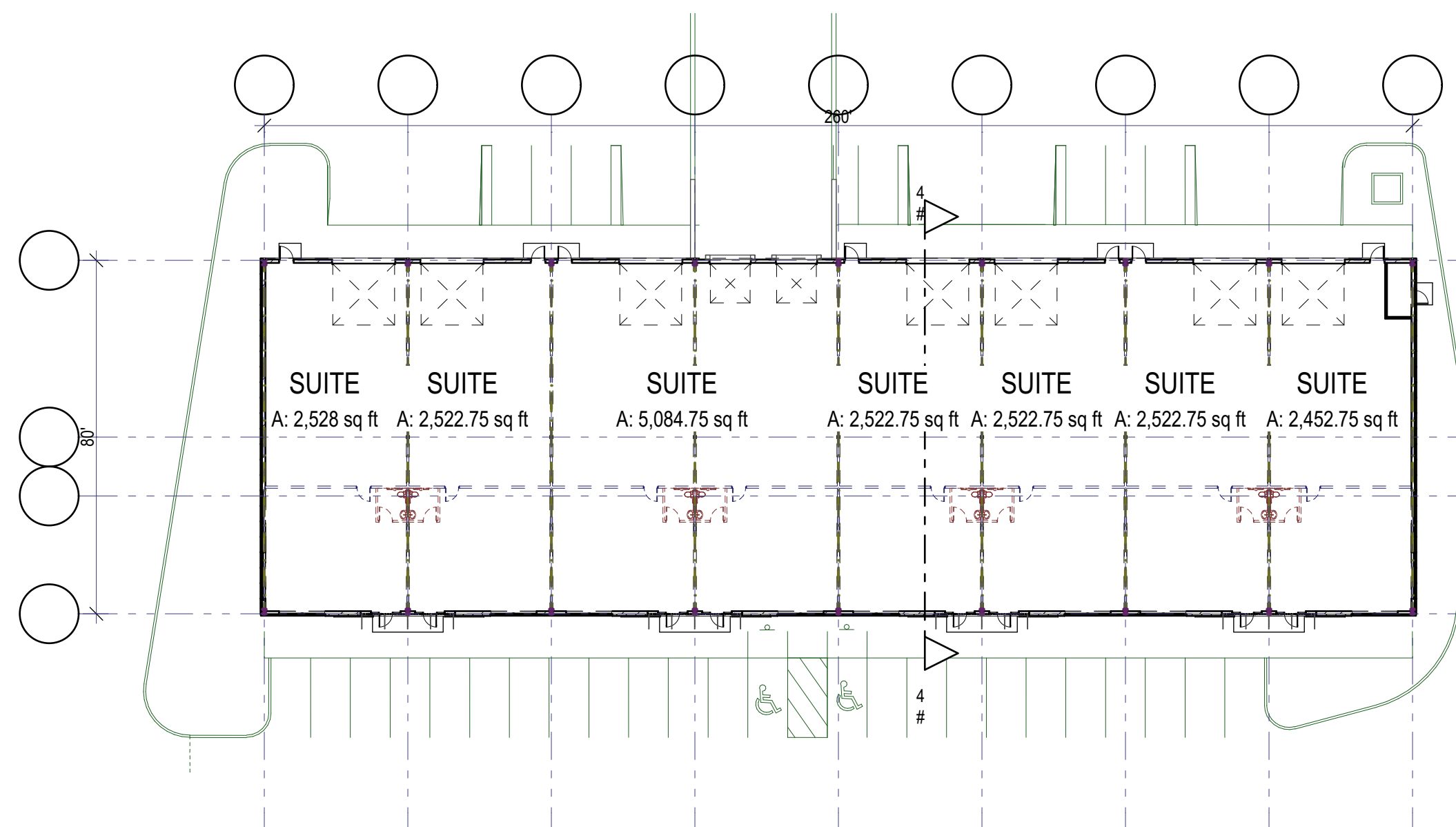
East (Rear)

SCALE: 3/32" = 1'-0"



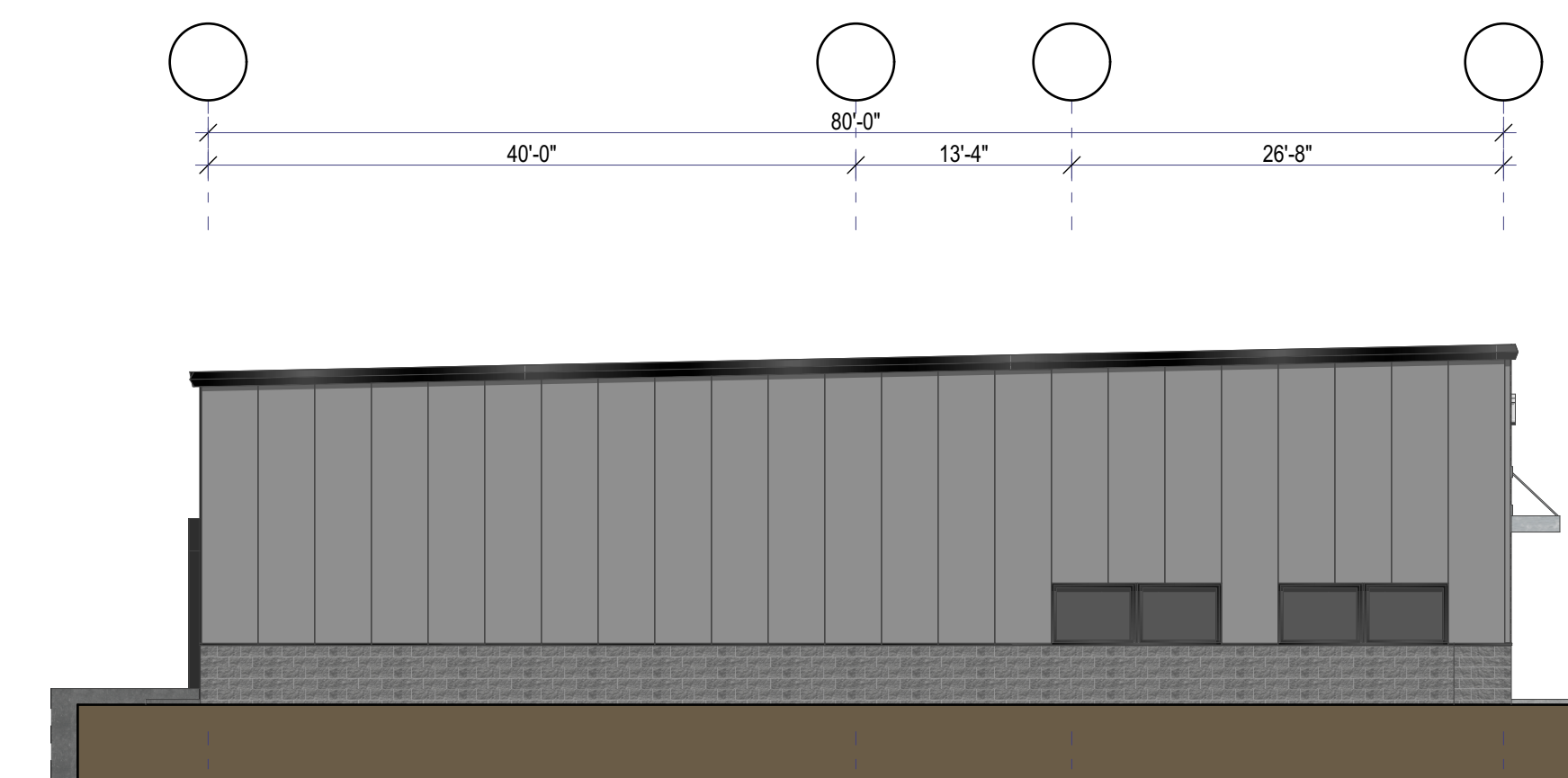
South

SCALE: 3/32" = 1'-0"



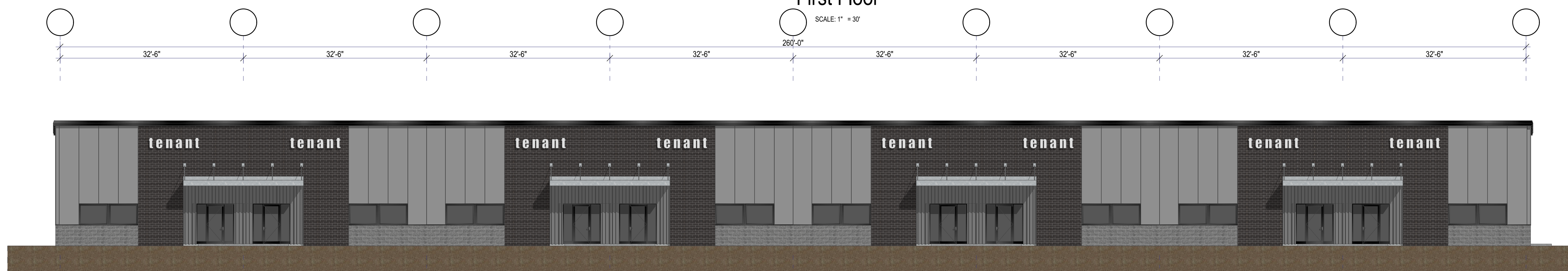
First Floor

SCALE: 1" = 30'



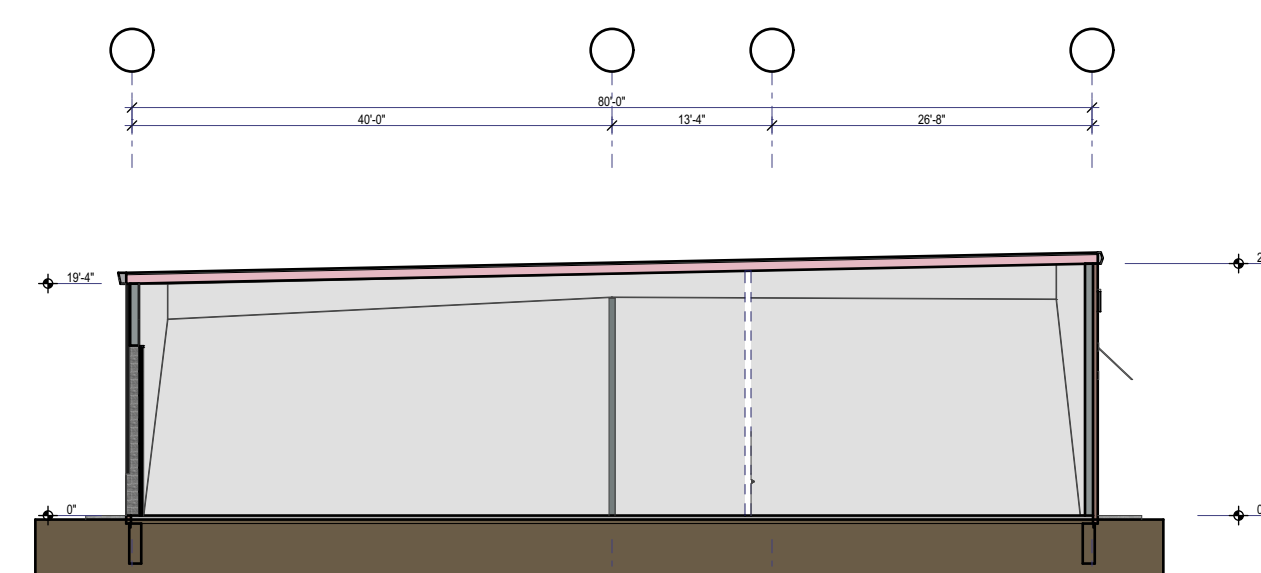
North

SCALE: 3/32" = 1'-0"



West (Front)

SCALE: 3/32" = 1'-0"



B Building Section

SCALE: 1/16" = 1'-0"

All roof mounted mechanical units and other similar equipment shall be screened from view of the public right-of-way by parapet walls or other screening materials of similar design to building.



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.b.
For Meeting of 2/10/2022
Public Hearing

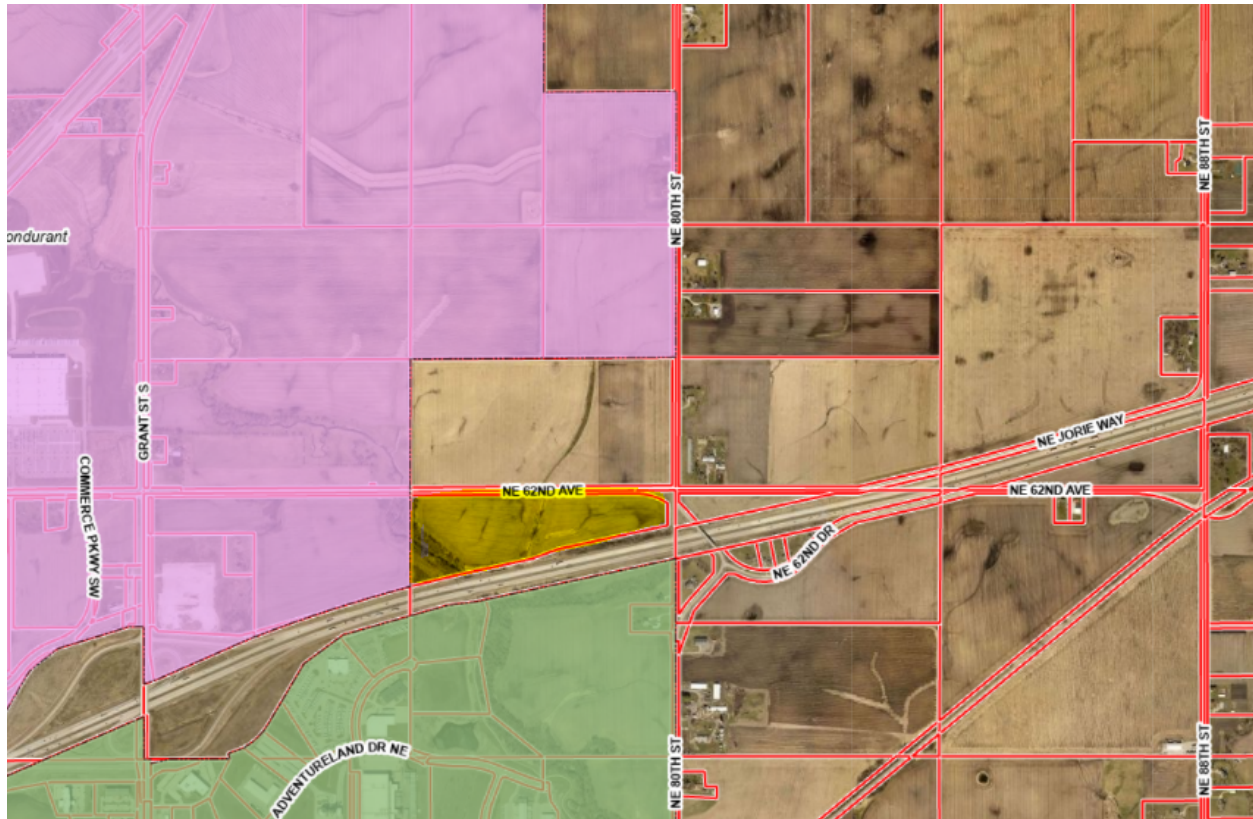
TITLE: PUBLIC HEARING: Request for rezoning from the Agricultural (A-1) District to the Limited Industrial (M-1) District and the Conservancy (U-1) District, pending annexation, on land owned by GHOLDS LLC; and request for Future Land Use Map amendment from Reserve Office to Industrial in those areas identified on the attached Future Land Use Map.

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: Brief History:

The City has received a voluntary annexation request for the parcel of land owned by GHOLDS LLC shown in yellow below.



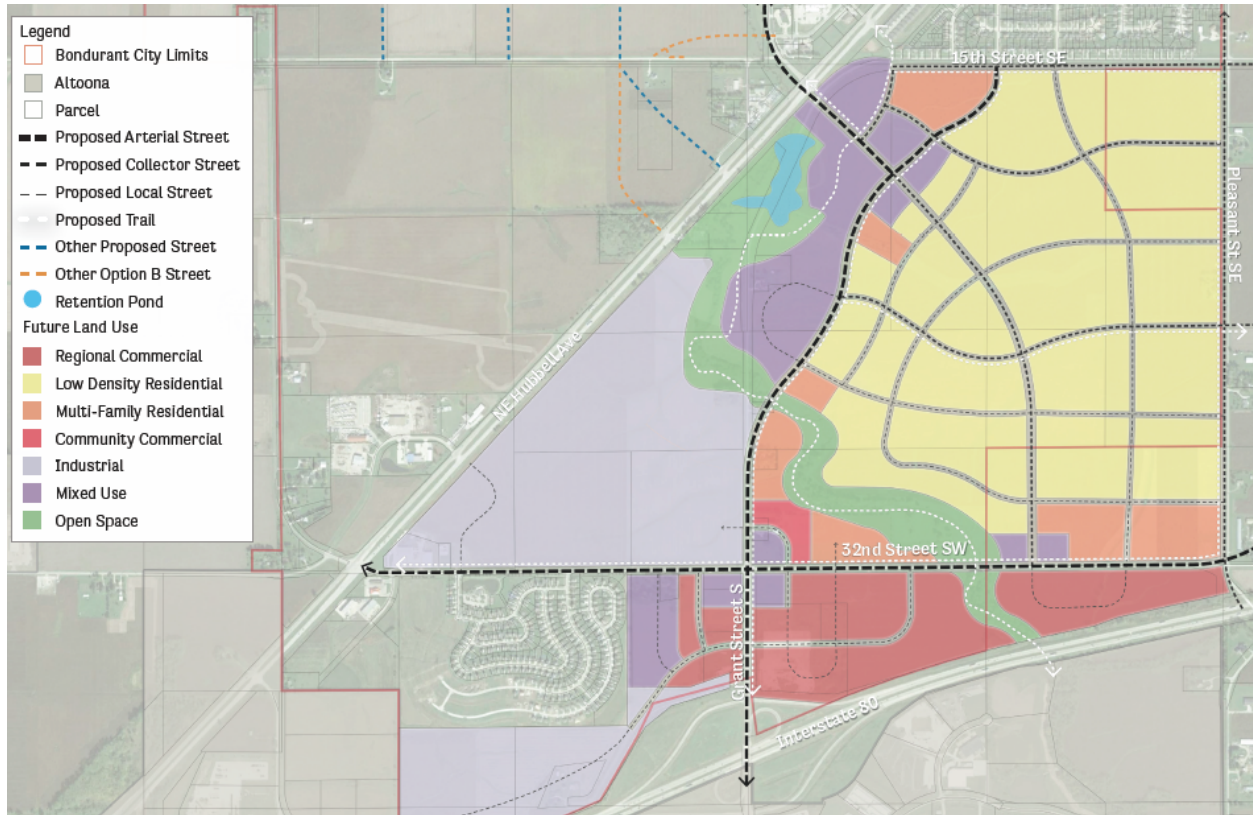
As conditions of the owner in signing the annexation petition, the following are noted on the annexation petition:

- The City agrees to amend the Future Land Use Map from Reserve Office to Industrial.
- The City agrees to initiate a rezoning of this property from Agricultural (A-1) to Limited Industrial (M-1).

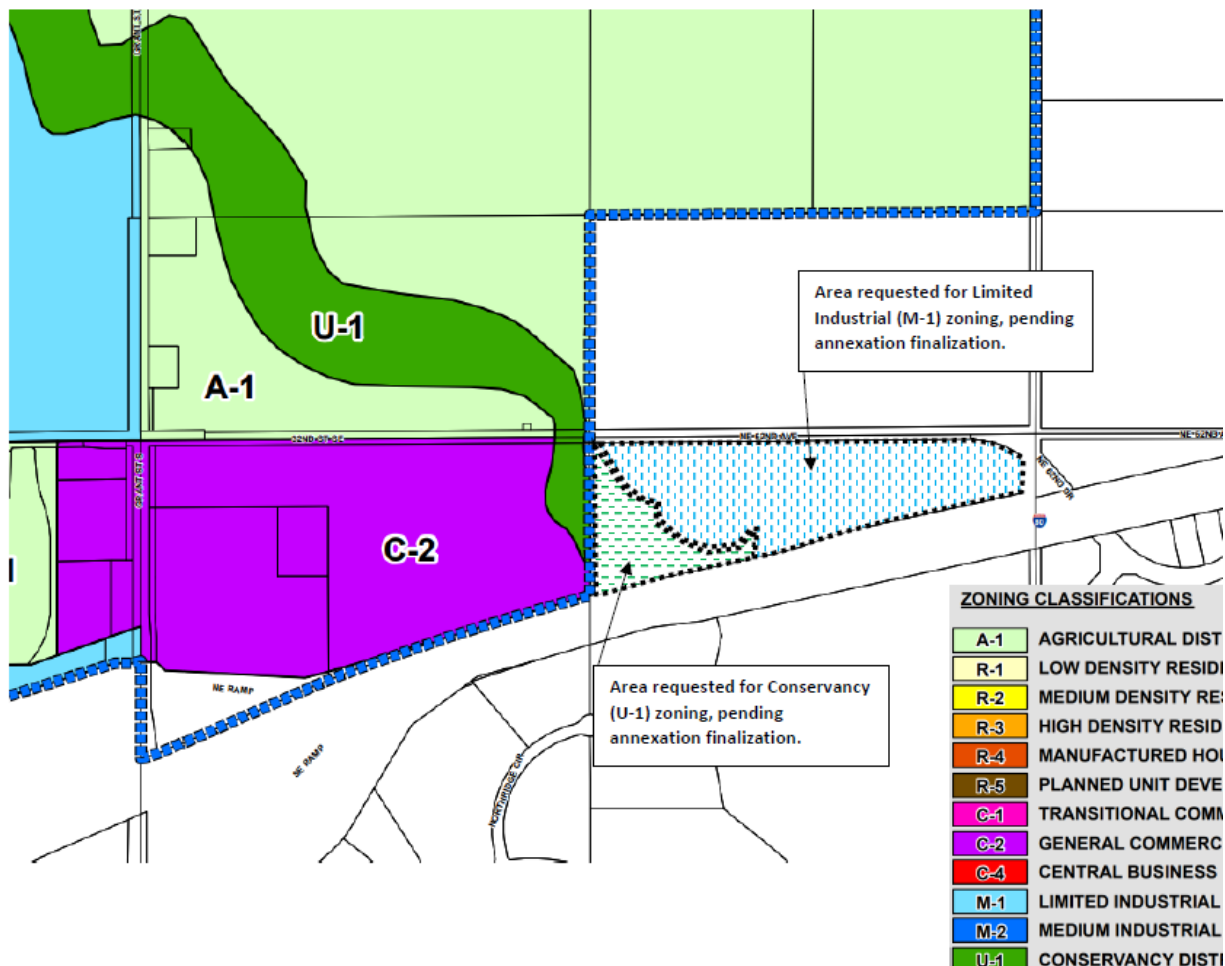
The City's Future Land Use Map, which guides potential rezoning requests but is not the regulatory tool like the Zoning Ordinance/Map, currently guides this GHOLDS parcel as Open Space for the western portion following the Mud Creek corridor and it guides for Reserve Office for the remaining development land. No Future Land Use Map amendment is proposed for the identified Open Space area. A Future Land Use Map amendment from Reserve Office to Industrial is proposed for the areas guided for Reserve Office. The parcel east of Pleasant Street SE is being included to make sure area future land uses are consistent south of the 32nd Street SE street corridor.



The City's Bondurant Regional Commercial Master Plan currently guides the GHOLDS property for Regional Commercial use. The Comprehensive Plan's Future Land Use Map supersedes the Regional Commercial Master Plan's Future Land Use Map, so no formal amendment process would be required for the Regional Commercial Master Plan change but it should be acknowledged. The Bondurant Regional Commercial Master Plan did not extend east of Pleasant Street SE. Below is the map from the Bondurant Regional Commercial Master Plan:



Per Section 177.07.7 of the Zoning Code, when land is considered for annexation, it is automatically zoned as being within the City's Agricultural (A-1) District unless a rezoning request is also being considered at the same time. The rezoning being considered is that the land currently guided for Open Space on the City's Future Land Use Map be zoned Conservancy (U-1) and that all other areas on the GHOLDS LLC parcel be zoned Limited Industrial (M-1). The zoning designations of U-1 and M-1 will not become effective until after the annexation has been finalized. No rezoning is being considered for the other parcel that was affected by the future land use change; such rezoning would be considered at a later date if an annexation petition is submitted by the property owner.



Analysis:

When considering rezoning requests, the Planning & Zoning Commission should take into account the following: Comprehensive Plan, Consistency with the Zoning Code, Spot Zoning, and Public Input.

Comprehensive Plan

When a City considers a rezoning ordinance, it must find the rezoning is consistent with its Future Land Use Map. Since the City's Future Land Use Map presently guides for Reserve Office in those areas requested for Limited Industrial (M-1) zoning, an amendment to the Future Land Use Map from Reserve Office to Industrial must also be approved as part of the rezoning ordinance to ensure consistency between the City's Future Land Use Map and Zoning Map.

Proximity to the Interstate 80 corridor may provide justification for the proposed Future Land Use Map amendment. The Comprehensive Plan notes that, "Industrial land uses are most likely to succeed in areas with easy access to transportation, such as highways (and interstates). Access to regional highways is a vital need for many industrial land uses and Bondurant has two, Highway 65 and Interstate 80. Industrial

land uses should be located to take advantage of this infrastructure".

The proposed Future Land Use Map amendment is considered consistent with the following objectives of the Comprehensive Plan:

- 4.10 Locate industrial and office land uses so as to minimize traffic conflicts with the rest of the community.
- 4.11 Guide industrial and office land uses to areas that are easily serviced by utilities and transportation infrastructure.

Consistency with the Zoning Code

This item will be reviewed in detail if/when a site plan application is received for the portion requested for M-1 zoning.

Spot Zoning

To determine whether illegal spot zoning has occurred, the courts consider the rezoning takes into account the following:

1. The characteristics of surrounding property;
2. the community's comprehensive plan;
3. the protection and preservation of public health, justice, morals, order, safety and security, and welfare (police power).

So long as the Future Land Use Map amendment is approved as part of the rezoning ordinance, staff feels that spot zoning does not exist for this rezoning request. Objectives of the Comprehensive Plan support industrial development along the Interstate 80 corridor, and the Future Land Use Map currently guides for industrial development along the interstate corridor east of the current area proposed for rezoning and Future Land Use Map updating.

Public Input

As is required by the City's Zoning Code, letters were sent to property owners within 200' of the requested rezoning. No comment has been received by staff at the time of writing this agenda statement.

FUNDING SOURCE: N/A for rezonings

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. Recommended approval of RESOLUTION NO. PZ-220210-07.
2. Recommended approval of RESOLUTION NO. PZ-220210-07, subject to certain Zoning Code clarification items being included in the rezoning ordinance.
3. Recommended denial of RESOLUTION NO. PZ-220210-07.
4. Table pending additional information.

Staff recommends approval of RESOLUTION NO. PZ-220210-07, regarding recommended approval for the rezoning from Agricultural (A-1) to Limited Industrial (M-1) and Conservancy (U-1), pending annexation finalization; and recommended approval of the Future Land Use Map amendment request from Reserve Office to Industrial.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.c.
For Meeting of 2/10/2022
Resolution

TITLE: RESOLUTION NO. PZ-220210-07: Considering recommended approval of the rezoning request from the Agricultural (A-1) District to the Limited Industrial (M-1) District and the Conservancy (U-1) District, pending annexation, on land owned by GHOLDS LLC; and recommended approval of the Future Land Use Map amendment from Reserve Office to Industrial in those areas identified in the attached Future Land Use Map.

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: For brief history/analysis, please see public hearing agenda statement.

FUNDING SOURCE: N/A for rezonings.

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. Recommended approval of RESOLUTION NO. PZ-220210-07.
2. Recommended approval of RESOLUTION NO. PZ-220210-07, subject to certain Zoning Code clarification items being included in the rezoning ordinance.
3. Recommended denial of RESOLUTION NO. PZ-220210-07.
4. Table pending additional information.

Staff recommends approval of RESOLUTION NO. PZ-220210-07, regarding recommended approval for the rezoning from Agricultural (A-1) to Limited Industrial (M-1) and Conservancy (U-1), pending annexation finalization; and recommended approval of the Future Land Use Map amendment request from Reserve Office to Industrial.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RES. NO. PZ-220210-07

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-220210-07

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE REQUEST FOR
REZONING FROM THE AGRICULTURAL (A-1) DISTRICT TO THE LIMITED
INDUSTRIAL (M-1) DISTRICT AND CONSERVANCY (U-1) DISTRICT, PENDING
ANNEXATION, ON LAND OWNED BY GHOLDS LLC; AND RECOMMENDED
APPROVAL OF THE FUTURE LAND USE MAP AMENDMENT FROM RESERVE
OFFICE TO INDUSTRIAL

WHEREAS, on February 10, 2022 the Planning and Zoning Commission held a Public Hearing to consider a request to update the City's Future Land Use Map from Reserve Office to Industrial described as follows; AND

THE NORTHEAST $\frac{1}{4}$ NORTH AND WEST OF THE INTERSTATE 80 RIGHT-OF-WAY, POLK COUNTY, IOWA, EXCLUDING THOSE PORTIONS IDENTIFIED FOR OPEN SPACE USE AS SHOWN ON THE CITY'S FUTURE LAND USE MAP AND ALSO PARCEL 170/00045-004-000 HAVING AN ABBREVIATED LEGAL DESCRIPTION AS FOLLOWS: PRT NLY & ELY OF INTST HWY N $\frac{1}{2}$ NW $\frac{1}{4}$ LESS RD SEC 8-79-22.

WHEREAS, this Public Hearing also included the topic of the request to rezone property from the Agricultural (A-1) District to the Limited Industrial (M-1) and the Conservancy (U-1) District, pending annexation finalization, described as follows; AND

Limited Industrial (M-1)

THE NORTHEAST $\frac{1}{4}$ NORTH AND WEST OF THE INTERSTATE 80 RIGHT-OF-WAY, POLK COUNTY, IOWA, EXCLUDING THOSE PORTIONS IDENTIFIED FOR OPEN SPACE USE AS SHOWN ON THE CITY'S FUTURE LAND USE MAP.

Conservancy (U-1)

THE NORTHEAST $\frac{1}{4}$ NORTH AND WEST OF THE INTERSTATE 80 RIGHT-OF-WAY, POLK COUNTY, IOWA, EXCLUDING THOSE PORTIONS IDENTIFIED FOR RESERVE OFFICE AS SHOWN ON THE CITY'S FUTURE LAND USE MAP.

WHEREAS, the Planning and Zoning Commission has made the following findings:

1. That the rezoning request will create consistency between the City's Future Land Use Map and Official Zoning Map.
2. That the change in zoning will maintain a consistency with adjacent land uses and provide a transition for adjacent zoning.
3. That the zoning change will not negatively impact the character of the neighborhood.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the Future Land Use

Map amendment request from Reserve Office to Industrial in the area identified in the amended Future Land Use Map.

NOW, THEREFORE, BE IT FURTHER BE RESOLVED, that the Planning and Zoning Commission of the City of Bondurant, Iowa, recommends City Council approval of the rezoning request from Agricultural (A-1) to Limited Industrial (M-1) and Conservancy (U-1), pending annexation.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, hereby certify that at a meeting of the Planning and Zoning Commission held on February 7, 2022, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

Action	Yay	Nay	Abstain	Absent
Hoyer				
Clayton				
Mains				
Keeran				
Cuellar				
Cameron				
Bostrom				

Torey Cuellar, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

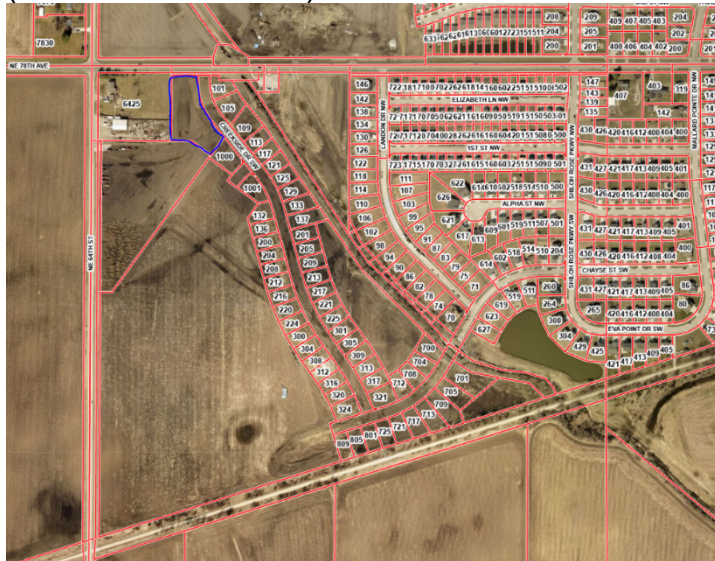
Item No. 7.a.
For Meeting of 2/10/2022
Discussion Item

TITLE: Minor PUD Amendment - Quail Run Phase 2 PUD Conceptual Plan

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: The developer of the Quail Run Phase 2 Preliminary Plat area has submitted a minor PUD amendment for the area identified as Outlot Z (circled in blue below).



Since this is a minor PUD amendment and not a substantial modification, no formal zoning re-review/re-approval is necessary by the Planning & Zoning Commission and City Council. Substantial modification, per the ordinance, is described below:

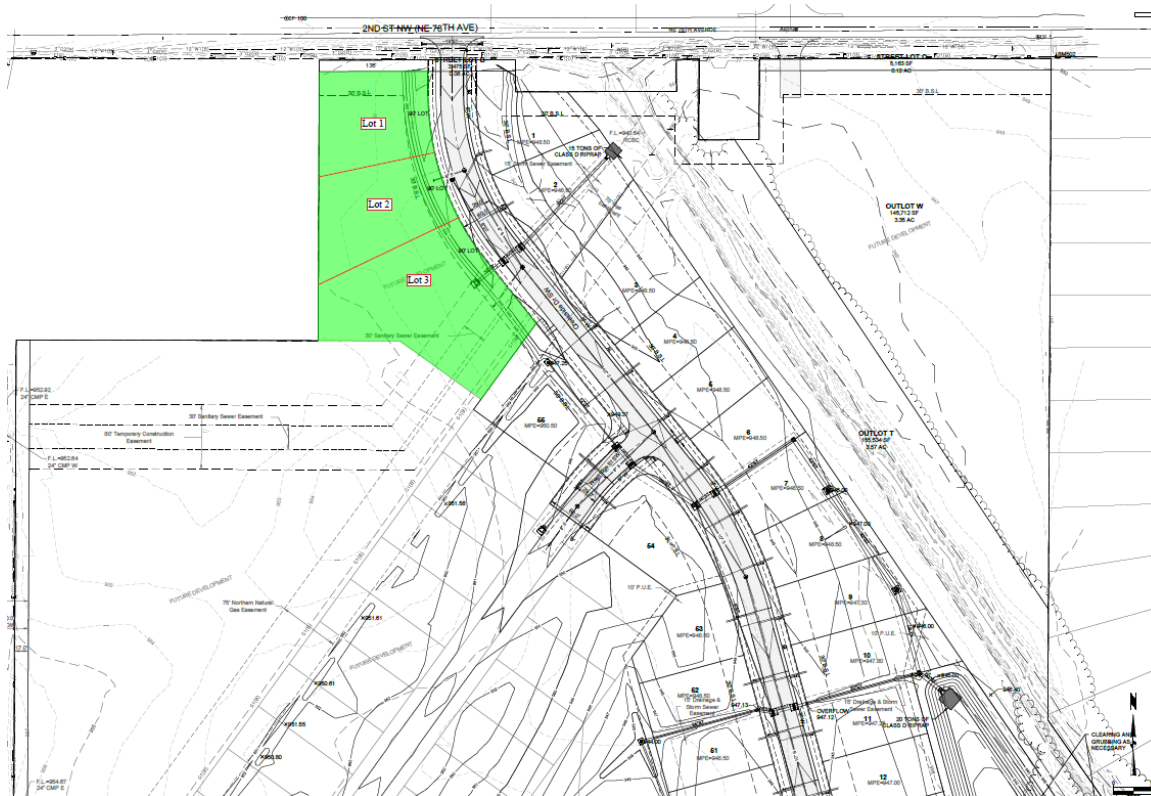
Substantial modifications are hereby defined to include, but are not limited to, the following: increased density; intensification of use by changing to a higher classification, with conventional single family being the lowest classification and progressing to attached single family, multiple family, public facilities/uses, approved [conditional uses](#), commercial (where permitted); addition of uses, or elimination of conditions or restrictions on a use or uses; increased Floor Area Ratios, or other modifications

considered probable to generate increased traffic, sewage, waste consumption, or other detrimental conditions; significant modifications to peripheral buffering or screening, setbacks, height, location of buildings, drives, or other improvements, which were intended for protection of proximate properties, provided that substitution of equivalent screening materials shall not be considered a substantial modification; modifications to the street pattern, such as that of major streets or continuations of existing streets which will have a demonstrable impact on traffic flow such as to effectively change the functional classification of the street; modifications to access which may lead to increased congestion, or to additional commercial or industrial traffic on a local residential street; or other changes deemed substantial by the City Administrator.

The original Quail Run Phase 2 PUD Conceptual Plan called this Outlot Z to be used for commercial use, with the thought that this Outlot Z could be combined with the land immediately west at 6425 NE 78th Avenue to create a potentially larger commercial development site. The land to the west at 6425 NE 78th Avenue is not under control by the Quail Run Phase 2 developer. This land to the west is not within the Quail Run Phase 2 development area. The timeline is unknown for if/when the site at 6425 NE 78th Avenue were to ever develop for commercial use.

The Quail Run Phase 2 developer is now instead proposing to decrease the Outlot Z intensity from commercial to single-family detached. Three single-family detached lots fronting Creekside Drive SW are proposed within this Outlot Z area. Similar to all other single-family detached lots within this Quail Run Phase 2 development area, these three additional lots must meet R-2 bulk regulations.

Layout of the three proposed residential lots on Outlot Z:



If 6425 NE 78th Avenue were to ever develop for commercial use, it would just develop as its own, independent development without Outlot Z.

FUNDING SOURCE: N/A

STAFF RECOMMENDATION: Since this has been classified as a minor amendment and not a substantial amendment, no formal action is necessary by the Commission.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 7.b.
For Meeting of 2/10/2022
Discussion Item

TITLE: January 31, 2022 Joint Comprehensive Plan Session Follow-up - Review Draft Downtown-Area Future Land Use Map

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: The City is in the middle stages of updating its Comprehensive Plan. Attached is the draft downtown area Future Land Use Map that was briefly presented at the January 31, 2022 Joint Session meeting attended by the City Council, Planning & Zoning Commission, Board of Adjustment, and Comprehensive Plan Advisory Committee. A Comprehensive Plan's Future Land Use Map guides potential future rezonings. Staff would like feedback from the Commission on the attached draft Future Land Use Map.

To assist in the Commission's review of the attached draft map, below please find the following:

Here is a link to the City's 2012 Future Land Use Map: [120228MapsPLUX \(cityofbondurant.com\)](https://www.cityofbondurant.com/120228MapsPLUX)

Here is a link to the City's Zoning Map: [20220118_updated_zoning_map.pdf \(cityofbondurant.com\)](https://www.cityofbondurant.com/20220118_updated_zoning_map.pdf)

FUNDING SOURCE: N/A

STAFF RECOMMENDATION: Discussion only. Feedback will be provided to the Comprehensive Plan consultant.

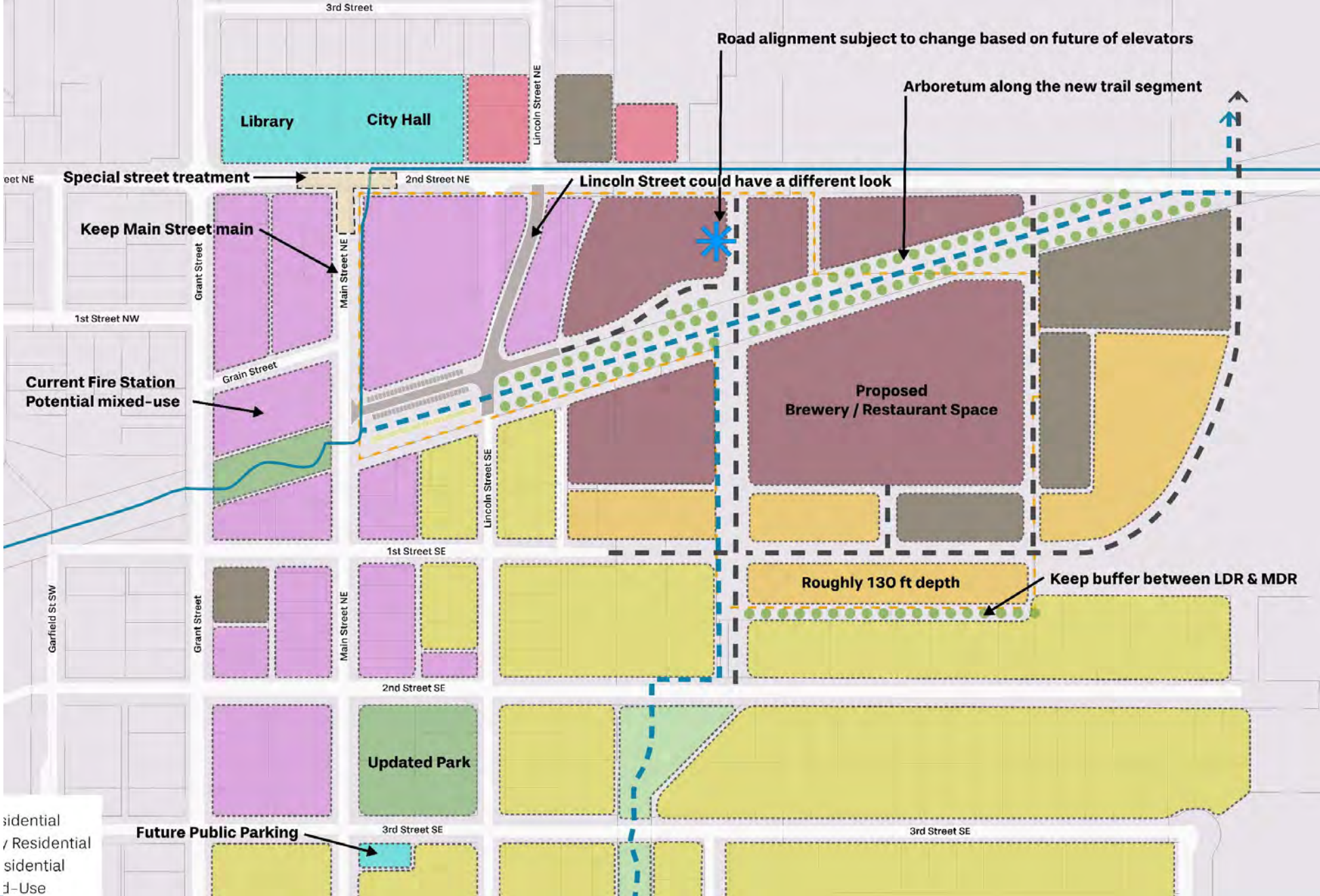
APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. DRAFT Downtown Area Future Land Use Map

Landus / Downtown Strategic Opportunities

- Low-Density Residential
- Medium-Density Residential
- High-Density Residential
- Downtown Mixed-Use
- Commercial
- Retail Flex
- Public / Semi-Public
- Park
- Open Space
- Existing Trail
- Proposed Trail
- Planned Street
- Proposed Street
- Trees





**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 7.c.
For Meeting of 2/10/2022
Discussion Item

TITLE: January 31, 2022 Joint Comprehensive Plan Session Follow-up - Identifying Potential Future Locations for Multi-Family Residential Development

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

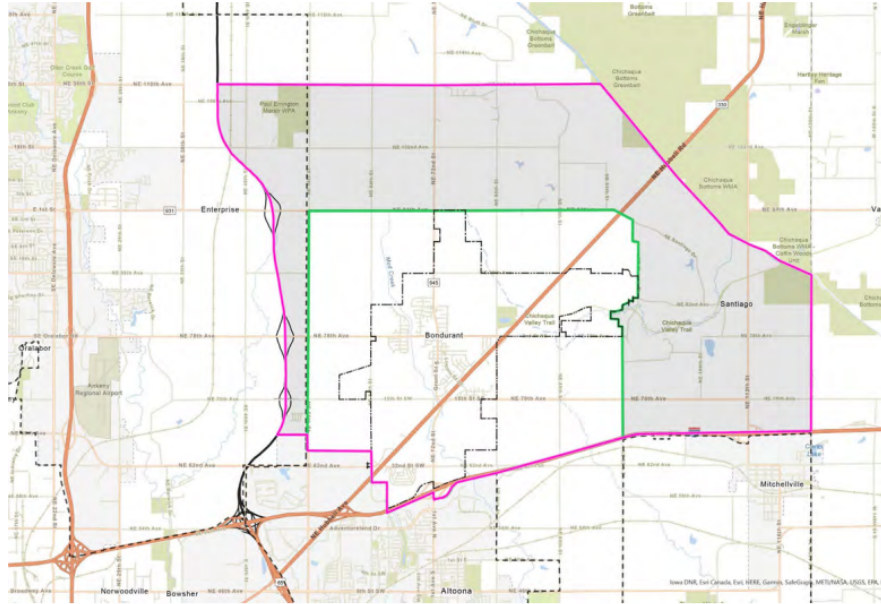
BRIEF HISTORY & ANALYSIS: The image shown below was briefly presented during the January 31st Joint Session workshop held between the City Council, Planning & Zoning Commission, Board of Adjustment, and the Comprehensive Plan Advisory Committee. Staff would like some further discussion by the Commission on this topic on where these uses should locate in the future.

Within the coming months, the Comprehensive Plan consultant will begin drafting an updated Future Land Use Map. The Comprehensive Plan's Future Land Use Map provides guidance on potential future rezonings. Feedback received will be relayed to the Comprehensive Plan consultant. This will be a preliminary discussion only - this preliminary discussion should potentially identify generalized areas. It is anticipated a more detailed discussion can occur later after the plan's full demographic analysis has been completed - this detailed analysis will include some guidance on potential anticipated new acres needed for multi-family development.

Where should multi-family go?

Typical Location Attributes

- Along collectors and arterial roadways
- Near commercial areas
- Easily accessible sites
- Near amenities
- Buffer between low-density and high-density



FUNDING SOURCE: N/A

STAFF RECOMMENDATION: Discussion only. Feedback received will be relayed to the Comprehensive Plan consultant.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 8.e.
For Meeting of 2/10/2022
Reports and Comments

TITLE: City Council Liaison

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS:

FUNDING SOURCE:

STAFF RECOMMENDATION:

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None