

**Due to the COVID-19 concerns and social distancing recommendations, a virtual meeting is being offered. Participants wishing to speak on a topic should message the meeting moderator. All participants are asked to mute their individual computers at times when they are not speaking to minimize background noise. Join: <https://us02web.zoom.us/j/82965038057>*

**NOTICE OF A REGULAR MEETING
BONDURANT PLANNING AND ZONING COMMISSION
MARCH 24, 2022**

NOTICE IS HEREBY GIVEN that a Regular Meeting of the City Council will be held at 6:00 PM on March 24, 2022, in the Bondurant City Center, 200 Second Street, Northeast, Bondurant, Polk County, Iowa. Said meeting is open and the public is encouraged to attend.

AGENDA

1. Call to Order
2. Roll Call
3. Perfecting and Approval of the Agenda
4. Approval of Minutes
 - a. February 10, 2022
5. Guests requesting to address the Planning and Zoning Commission
6. Action Items
 - a. -RESOLUTION NO. PZ-220324-08: Considering recommended approval of the Loren Mauch Plat of Survey, a split in unincorporated Polk County within 2 miles of Bondurant's city limits to create Parcel 2021-157
 - b. - RESOLUTION NO. PZ-220324-09: Considering recommended approval of the Edgeland Bondurant Preliminary Plat and Site Plan at Outlot R of the Quail Run Phase 2 Preliminary Plat development area.
 - c. - RESOLUTION NO. PZ-220324-10: Considering recommended approval of the 1001 23rd Street SW Site Plan
 - d. - RESOLUTION NO. PZ-220324-11: Considering recommended approval of the Shiloh Rose Plat of Survey (Parcel 2022-43)
7. Discussion Items -
 - a. Preliminary feedback on DRAFT Future Land Use Map of the 2022 Comprehensive Plan update process
8. Reports / Comments and appropriate action thereon:
 - a. Commission Members
 - b. Commission Chair
 - c. Planning and Community Development Director
 - d. City Administrator
 - e. City Council Liaison
9. Adjournment

CITY OF BONDURANT

Planning and Zoning Commission
200 2nd St NE, PO Box 37
Bondurant, IA 50035



Meeting Minutes

DATE: February 10, 2022 Torey Cuellar, Chair

1. Call to Order 6:02pm

Place Bondurant City Hall (200 2nd St NE, PO Box 37)

Special Note: Due to concerns of the COVID-19 virus and social distancing recommendations, access to the meeting was also provided through a virtual meeting

2. Roll Call

Members Present: Brian Clayton, Torey Cuellar, Karen Keeran, Andy Mains, Wes Hoyer, Kristin Brostrom

Members Absent: Lisa Cameron

City Official Present: Planning and Community Development Director, Maggie Murray
Associate Planner, Emily Rizvic
City Administrator, Marketa Oliver
City Council Liaison, Matt Sillanpaa

3. Perfecting and Approval of the Agenda

Motion by Commission Member Mains, seconded by Commission Member Clayton to approve of the February 10, 2022, meeting agenda. Vote on Motion 6-0-0. Motion carried.

4. Approval of Minutes

Motion by Commission Member Mains, seconded by Commission Member Clayton to approve of the January 27, 2021 meeting minutes. Vote on Motion 6-0-0. Motion carried.

5. Guests requesting to address the Planning and Zoning Commission

None

6. Action Items

- a. RESOLUTION NO. PZ-220210-06: Considering recommended approval of the Temple Holdings site plan on Outlot Y of the Shiloh Rose Business Park Plat 1.

Eric from Snyder and Associates explained the nature of the request. This is the initial phase of the proposed development. He states that they are looking to propose two buildings. One building is 32,000 square feet and the other is over 24,000 square feet. This is planned for distribution and warehouse. There are no specific users for this space, but the initial phase of the development will include parking, loading, docking. They will build a retention pond on the east side of the pond. They included landscaping and buffering on the southwest.

Member Keeran asked if the intent of the project was to be more industrial or commercial. The applicants explained that anticipated tenants would be businesses and companies such as a roofing company, countertop company, cabinet company, etc. Building A is more of a warehouse type of area. They are building something similar in Ankeny which accommodates many different businesses such as an online store. The proposal allows for a retail front with a shop in the back.

Member Keeran asked about the color of the building. The applicant explained it's a light gray with architectural blocks. It has a galvanized steel color with charcoal shades.

Member Cuellar asked if the applicant reviewed the cities recommendations. The applicant said yes, and that the recommendations seem reasonable.

Member Keeran asked about landscaping for the site. The applicant explained that there is a gravel area that is proposed for future parking if it is found that it is needed, and that the area isn't landscaped so that it would open the opportunity for establishing future parking.

Member Mains asked if this site is close to the houses in the North. Director Murray explained that the use to the north is currently agricultural and is in row crop production. An aerial image of the area to the north was projected onto the screen.

Member Clayton asked about the paving of the road as it shows gravel. Director Murray explained that this future potential paved parking can only be used as outdoor storage and that it cannot be used as parking, otherwise it would need to be paved.

Motion by Commission Member Mains, seconded by Commission Member Clayton, for recommended approval of Resolution No. PZ-220210-06 "*Considering recommended approval of the Temple Holdings site plan on Outlot Y of the Shiloh Rose Business Park Plat 1*" with staff's recommendations.

Roll Call – Ayes: Commission Member Cuellar, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom. Commission Member Clayton. Vote on Motion 6-0-0. Motion carried.

- b. PUBLIC HEARING - Request for rezoning from the Agricultural (A-1) District to the Limited Industrial (M-1) District and Conservancy (U-1) District, pending annexation, on land owned by GHOLDS LLC; and request for Future Land Use Map amendment from Reserve Office to Industrial in those areas identified on the attached Future Land Use Map.

Motion by Commission Member Mains, seconded by Commission Member Clayton, to move the meeting session into a public hearing. Vote on Motion 6-0-0. Motion carried.

Enter public hearing at 6:11pm.

Director Murray explained the nature of the request. She explained that this is a voluntary annexation request. She also explained that the applicant requested that the city consider a future land use map amendment from reserve office to industrial and to also initiate a rezoning from A-1 Agricultural to Limited Industrial M-1 and Conservancy (U-1). The area in green shows the open space conservancy area and the area in pink shows the area that would be rezoned to limited industrial. Director Murray explained that future land use amendments are guides and not law. No rezoning is proposed for the parcel to the east. An additional map shows the proposed amendments and rezoning.

Member Keeran asked if a member in the audience had a question about this item. There were no questions from audience members at the time this question was posed. Member Keeran asked if the applicant has any idea of what they are planning for the proposed area that is pending annexation. Director Murray stated that the land is currently for sale but there are no plans as of now.

Member Mains asked about the location of the site and compatibility of the rezoning and land use change. Director Murray explained that the eastern corridor alongside Highway 65 could be supportive of industrial land use due to its proximity to the highway.

Member Clayton asked about the right of way size for future improvements to northeast 62nd Avenue. Director Murray explained that this is only a rezoning and future land use map amendment, and right-of-way dedication would take place when future proposals for the site are brought. Member Clayton noted that there is an important fiber optic utility that runs in this area. He also stated that he has no issues regarding this rezoning.

Motion by Commission Member Mains, seconded by Commission Member Clayton to end public hearing. Vote on Motion 6-0-0. Motion carried.

Public hearing closed at 6:17pm

- c. RESOLUTION NO. PZ-220210-07: Considering recommended approval of the rezoning request from the Agricultural (A-1) District to the Limited Industrial (M-1) District and the Conservancy District (U-1) District, pending annexation, on land owned by GHOLDS LLC; and recommended approval of the Future Land Use Map amendment from Reserve Office to Industrial in those area identified in the attached Future Land Use Map.

Motion by Commission Member Mains, seconded by Commission Member Clayton, to approve of Resolution No. PZ-220210-07 *"Considering recommended approval of the rezoning request from the Agricultural (A-1) District to the Limited Industrial (M-1) District and the Conservancy District (U-1) District, pending annexation, on land owned by GHOLDS LLC; and recommended approval of the Future Land Use Map amendment from Reserve Office to Industrial in those area identified in the attached Future Land Use Map"*.

Roll Call – Ayes: Commission Member Cuellar, Commission Member Keeran, Commission Member Mains, Commission Member Hoyer, Commission Member Brostrom, Commission Member Clayton. Vote on Motion 6-0-0. Motion carried.

7. Discussion Items

- a. Minor PUD Amendment – Quail Run Phase 2 PUD Conceptual Plan

Director Murray explained that there is no official action that the commission needs to take on this item. Murray explained the nature of the request.

Member Keeran said she was surprised that there would not be commercial in the location. An applicant said that the drawings presented tonight are conceptual and not final, but there would be a more detailed drawing for the site plan.

- b. January 31, 2022 Joint Comprehensive Plan Session Follow-up – Review Draft Downtown-Area Future Land Use Map

Director Murray wanted to circle back on the last few items regarding the comprehensive plan joint meeting that occurred on January 31, 2022, so that she could take that feedback back to

the consultants working on the comprehensive plan. She noted that at the meeting, Member Cuellar indicated that it may be worthwhile to have the proposed downtown future land use map reviewed in a Planning and Zoning Commission meeting.

Member Clayton asked about the area on the map that is labelled as a brewery in the downtown area near the Landus site and if there is something prompting that. Director Murray explained that that is speculative only. City Administrator Oliver explained that the area could potentially be a good location for such use due to the location, size, and proximity to surrounding features.

Member Clayton said that the proposed street on the east of the area labeled as the retail flex is on top of a drainage tile and that it may be a problematic location for a street. He asked about whether the drainage tiles have been improved in this location. City Administrator Oliver said there were some improvements but there is more to be done. Director Murray explained that this road is conceptual and is subject to change due to the unknown future of the grain silos. Director Murray said that she would like the city engineers to review the potential street connections for more feedback.

Director Murray noted that with the City Park Master Plan, they are trying to tie the city park with the downtown together. Right now, some of the lots around this location are single-family but if they were to sell or redevelop, that there may be a potential to expand the downtown area. She also noted some areas near Grant Street to the north for potential future commercial.

Director Murray indicated that they may be seeing more commercial redevelopment for the Landus site. Additionally, that there may be opportunity to establish public parking in this area and establish a thorough trail connection with an arboretum as shown on the proposed downtown land use plan.

Member Keeran asked if there may be an opportunity to transition to one-way streets here. Director Murray indicated that Confluence is aware and that there is business support for turning this street into a one-way.

Director Murray asked if this area does lend the area around downtown for denser locations. Member Keeran said some brownstones would be cute in this area, such as the ones in Des Moines. Member Hoyer said that this location may be good because there is walkability to the nearby school area.

Member Hoyer asked about the grain elevators and if they are going to be removed. Director Murray explained that the city is researching on what opportunities there may be, but it would be up to the developer and property owner. There is a lot of uncertainty about this site and the cost of demolishing the grain silos would be around \$3 million dollars. Member Keeran said that the grain silos would be a great attraction but that it may cost a lot in order to put everything in it and making it ADA compliant.

City Administrator Oliver pointed out that there was a grain silo in South Africa that had an adaptive reuse and is now a contemporary art museum. An image of the museum was projected to the screen.

Director Murray said if members of the commission had additional comments about the downtown area proposed land uses, that they could reach out to her so that she can relay those comments to Confluence.

- c. January 31, 2022 Joint Comprehensive Plan Session Follow-up – Identifying Potential Future Locations for Multi-Family Residential Development

Director Murray stated that the consultants wanted more feedback on areas that may be best suited for future multi-family residential development and where those residential developments should be sited. She noted that the Highway 65 corridor seemed like it was a generally acceptable location from the commission.

Member Keeran said near the Amazon facility may be a potential area for multi-family units and may attract Amazon laborers to live in town.

Member Brostrom asked about what high densities mean and what a buffer between low-density and high-density residential uses would mean. Director Murray said that that was a good question and will inquire with the consultants about what this means. Director Murray believes that this may mean townhomes and similar uses as opposed to apartments.

Member Mains said that if we expand out to these areas, would the city need to look at school district needs. City Administrator Oliver said that we have started to have conversations regarding future siting for school locations.

Member Hoyer stated that if we put too many high-density residential uses on the outskirts of town, that it may add to more traffic issues because those dense uses are further away from amenities that are found in the core area of the city. This also decreases walkability by creating more distance. Member Keeran added that the downtown area near central park may be good for higher densities.

City Administrator Oliver noted that the city is applying to grants to connect current and future proposed residential developments to parks and to the rest of the railway system. Member Keeran asked a follow up question regarding if a trail connection would be implemented in a location.

Member Cuellar agreed with Member Hoyer that there is a tendency to build higher densities near the Highway Corridor and stated that we could be more thoughtful by building these higher densities near parks and railways. Member Mains added that the north area near Lake Petocka and the softball courts would be an ideal location for higher densities.

8. Reports / Comments and appropriate action thereon

a. Commission Members

Wes Hoyer – None

Kristin Brostrom – None

Andy Mains – None

Brian Clayton – Member Clayton mentioned that there is a new development in West Des Moines. It is one and two-bedroom homes and that it may be cost effective for the Bondurant region. He said he would like to see the development in this city. The development in West Des Moines is being developed by the Picket Fence Communities and is a single-family rental housing development. He said that it might be attractive for younger people that are looking to stay here. The size of the homes ranges from 700 to 1,000 square feet.

Member Hoyer asked about the rents. The rental rates would be around the \$1,000-1,700 range.

Karen Keeran - None

- b. Commission Chair – Commission Chair Cuellar asked Director Murray to follow-up with Commission Member Cameron regarding the Commission's attendance policy.
- c. Planning & Community Development Director – None
- d. City Administrator – None
- e. City Council Liaison – Matt stated that there is an area close to Altoona, west of the two big motels by the Kwik Star. There are smaller studio places that seem to what member Clayton explained regarding rental housing. He said it looks like a retirement home, but it is not.

7. Adjournment

Motion by Commission Member Brostrom, seconded by Commission Member Mains to adjourn the February 10, 2022, meeting. Vote on Motion.

Meeting adjourned at 6:49 PM



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

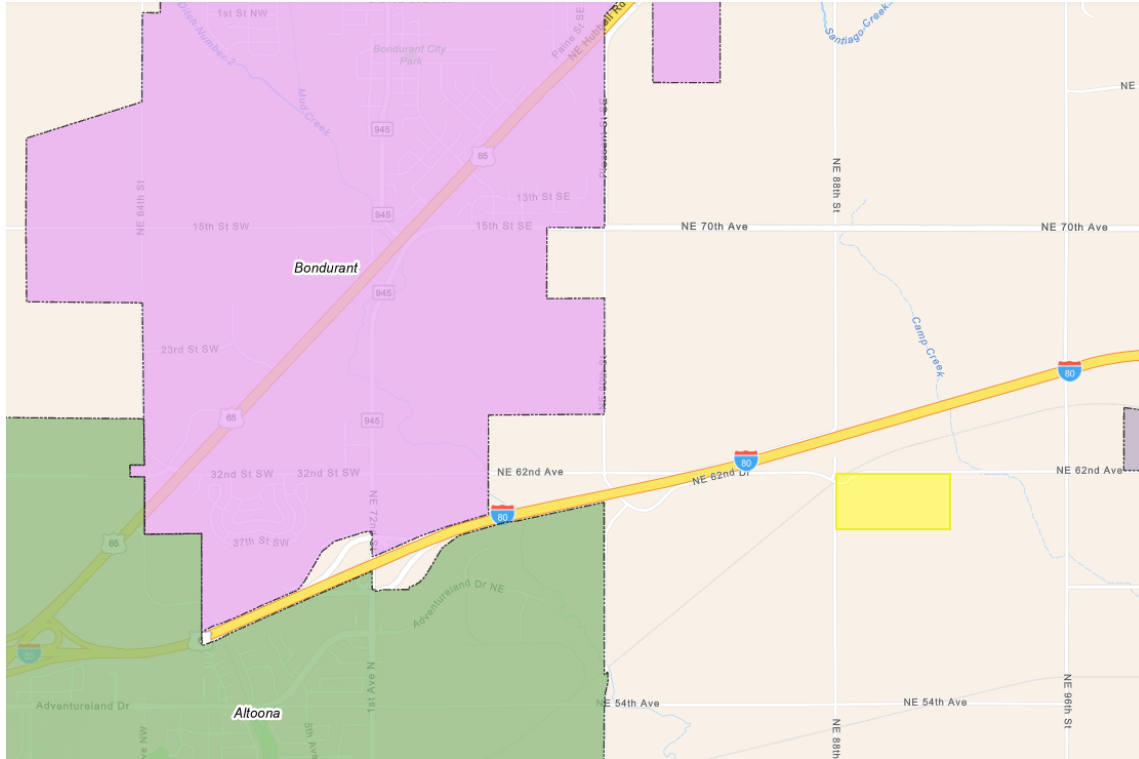
Item No. 6.a.
For Meeting of 3/24/2022
Resolution

TITLE: -RESOLUTION NO. PZ-220324-08: Considering recommended approval of the Loren Mauch Plat of Survey, a split in unincorporated Polk County within 2 miles of Bondurant's city limits to create Parcel 2021-157

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: The City is in receipt of a plat of survey request located in unincorporated Polk County within 2 miles of Bondurant's city limits. Polk County has zoning jurisdiction on this land - meaning that a permitted use review is conducted by Polk County and not the City of Bondurant. The City's Future Land Use Map as part of the 2012 Comprehensive Plan does not extend out to this area proposed for splitting. The subject property is located southeast of the Bondurant's corporate limits, just south of Interstate 80. The 75-acre subject property is currently in row crop production and contains an agricultural dwelling. The highlighted area in yellow shows the location of the proposed split.



Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. Engineering - *"Given its location, I would expect a two-lane street should suffice. 80 feet total (40 per 1/2) would be acceptable. "*

As the attached plat of survey shows, the roadway in this area is irregular and appears to dip below the Engineer's 40' 1/2 note above in some areas; the attached P&Z recommendation resolution takes this into account.

FUNDING SOURCE: N/A

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. Recommended approval of RESOLUTION NO. PZ-220324-08.
2. **Recommended approval of RESOLUTION NO. PZ-220324-08, subject to certain Subdivision Code clarification items being addressed.**
3. Recommended denial of RESOLUTION NO. PZ-220324-08.
4. Table pending additional information.

Staff recommends approval of the attached plat of survey, subject to the following Subdivision Code clarification item:

1. That the plat of survey be updated to note the following: if annexed into Bondurant's city limits, additional right-of-way area shall be deeded to the City of Bondurant so that the southern 1/2 of the right-of-way north of Parcel 2021-157 is at least 40' wide.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RES No. PZ-220324-08
2. Plat of Survey

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-220324-08

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE LOREN MAUCH
PLAT OF SURVEY IN UNINCORPORATED POLK COUNTY (PARCEL 2021-157)

WHEREAS, ABACI Consulting, Inc. the Loren Mauch Plat of Survey, described as follows; AND

All that part of the North One-half (1/2) of the Northwest one-quarter (1/4) in Section 9, Township 79 North, Range 22 West of the 5th P.M., Polk County, Iowa, more particularly described as follows:

Commencing at the Northwest corner of said Section 9, thence North 89°26'04" East, along the North line of the Northwest Quarter, a distance of 633.16 feet, to the Point of Beginning; thence continuing North 89°26'04" East, along the North line of the Northwest Quarter, a distance of 375.81 feet; thence South 01°33'16" West, a distance of 388.61 feet; thence South 89°26'04" West, a distance of 363.00 feet; thence North 00°20'06" West, a distance of 388.34 feet to the Point of Beginning, and containing 3.29 acres of land, more or less, including 0.32 acres of road easement.

WHEREAS, the owner is Everett Mauch, Jancie Koder, Loren Mauch and Carol Mauch; AND

WHEREAS, the Loren Mauch plat of survey area is situated outside of Bondurant's city limits in unincorporated Polk County but falls within 2 miles of Bondurant's city limits and thus requires City of Bondurant review prior to recording.

NOW, THEREFORE, BE IT RESOLVED, that the Planning and Zoning Commission recommends City Council approval of the Loren Mauch Plat of Survey, subject to the following conditions:

1. That the plat of survey be updated to note the following: if annexed into Bondurant's city limits, additional right-of-way area shall be deeded to the City of Bondurant so that the southern 1/2 of the right-of-way north of Parcel 2021-157 is at least 40' wide.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, hereby certify that at a meeting of the Planning and Zoning Commission held on March 24, 2022; among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

Action	Yay	Nay	Abstain	Absent
Clayton				
Mains				
Keeran				
Cuellar				
Hoyer				
Brostrom				
Cameron				

Torey Cuellar, Commission Chair

INDEX COUNTY: Polk SITE ADDRESS: 8925 NE 62nd Avenue CITY: Altoona PARCEL DESIGNATION: Parcel 2021-157 SECTION: 9 TOWNSHIP: 79 RANGE: 22 ALIQUOT PART: N1/2 NW1/4 PROPRIETOR: SEE BELOW REQUESTED BY: Loren Mauch SURVEYOR NAME: Vincent E. Piagentini	LEGEND PLAT OF SURVEY 'RURAL SURVEY' PARCEL 2021-157 OF THE N1/2 OF THE NW1/4 OF SEC 9-T79N-R22W	
PREPARED BY & RETURN TO: ABACI CONSULTING INC, 3000 SE GRIMES BLVD, STE 800, GRIMES, IA 50111, PH(515)986-5048		*THIS SPACE RESERVED FOR RECORDER'S OFFICE USE ONLY*

Legal Description - Parcel 2021-157

All that part of the North One-half (1/2) of the Northwest one-quarter (1/4) in Section 9, Township 79 North, Range 22 West of the 5th P.M., Polk County, Iowa, more particularly described as follows:
Commencing at the Northwest corner of said Section 9, thence North 89°26'04" East, along the North line of the Northwest Quarter, a distance of 633.16 feet, to the Point of Beginning; thence continuing North 89°26'04" East, along the North line of the Northwest Quarter, a distance of 375.81 feet; thence South 01°33'16" West, a distance of 388.61 feet; thence South 89°26'04" West, a distance of 363.00 feet; thence North 00°20'06" West, a distance of 388.34 feet to the Point of Beginning, and containing 3.29 acres of land, more or less, including 0.32 acres of road easement.

Proprietors:
Everett Mauch (Trustee)
Jancie Koder (Trustee)
Loren Mauch (Trustee)
Carol Mauch (Trust)

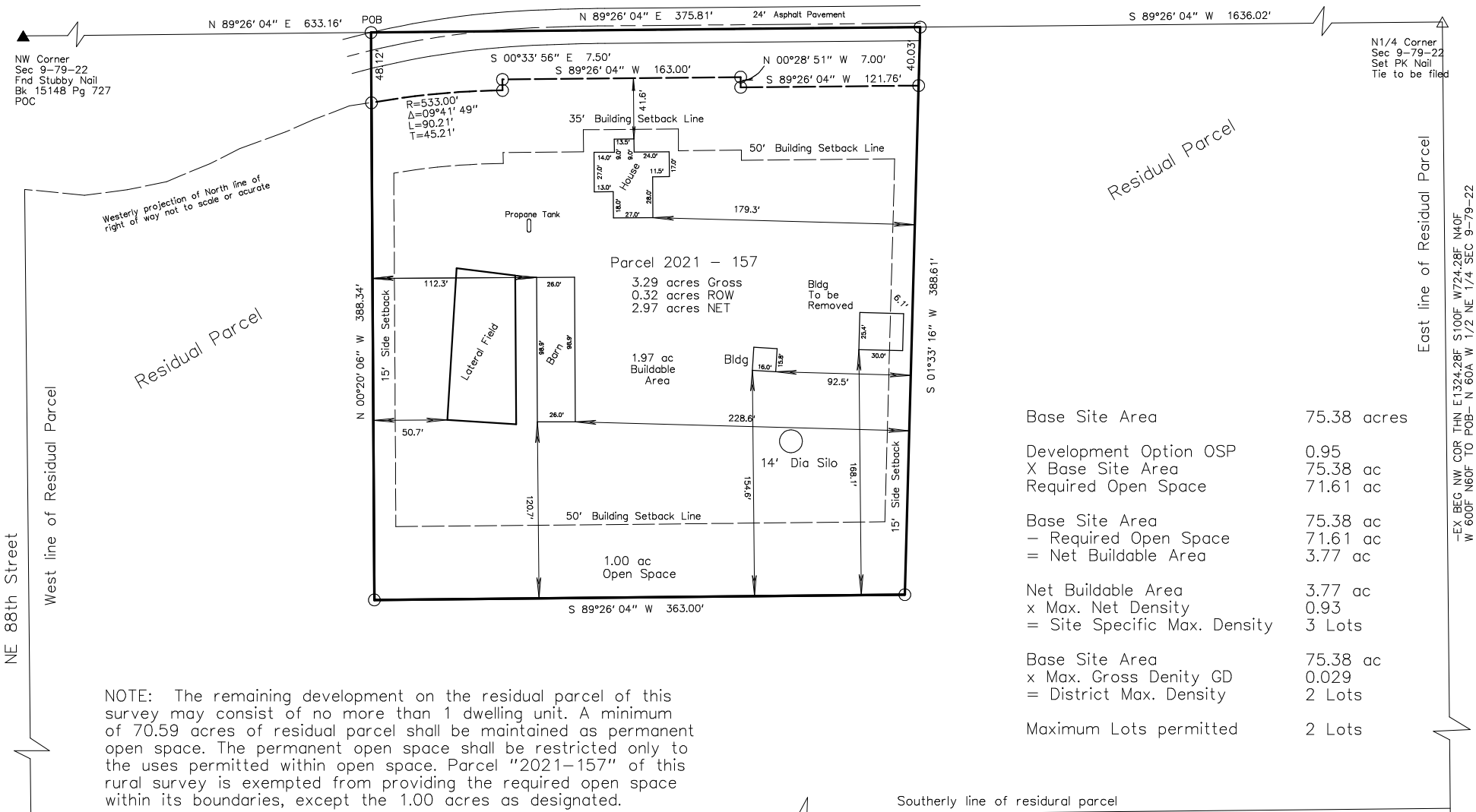
Mailing Address and
Contact Information
Loren Mauch
16710 Winston Circle
Clive, Iowa 50325
Lorendoreenmauch@msn.com
515-577-0477

Current Zoning Classification: AG Agricultural, Cluster Development

Note:
Parcel 2021-157 is located within Zone X Area of Minimal Flood Hazard.
FEMA Panel Number: 19153C0245F, Effective Date: February 1, 2019.

Road Book 3 Page 188 set Right of way at 66' easement
Road Book 4 Page 470 reduc right of way to 40' easement
Book 2584 Page 227 expanded road easement on south to current

NE 62nd Avenue



NOTE: The remaining development on the residual parcel of this survey may consist of no more than 1 dwelling unit. A minimum of 70.59 acres of residual parcel shall be maintained as permanent open space. The permanent open space shall be restricted only to the uses permitted within open space. Parcel "2021-157" of this rural survey is exempted from providing the required open space within its boundaries, except the 1.00 acres as designated.

Owner's Certification

As owner of all land in this survey, I hereby agree to a restriction of development potential on the residual parcel, in favor of Polk County, as indicated in the note shown on the residual parcel.

signature	print name	date
signature	print name	date
signature	print name	date
signature	print name	date

I HEREBY CERTIFY THAT THIS SURVEYING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

VINCENT E. PIAGENTINI, IOWA LIC. NO 15982 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022. ADDITIONAL PAGES CERTIFIED (NONE UNLESS INDICATED HERE)

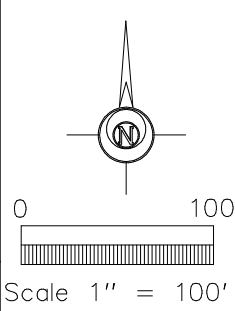


Basis of Bearing is Iowa State Place
Coordinate System South Zone

DATE OF SURVEY FIELDWORK: 7/22/21 DRAWING DATE: 8/25/21 DRAFTER: VP PROJECT NO: 21264

ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
3000 SE Grimes Blvd., Ste 800, GRIMES, IOWA 50111, PH. (515)986-5048

SYMBOLS LEGEND:	
R	RECORDED DISTANCE
M	MEASURED DISTANCE
C	CALCULATED DISTANCE
●	CORNER MONUMENT FOUND
○	SET 1/2" IR YC 15982
△	UNLESS NOTED
▲	SECTION CORNER FOUND
▲	SECTION CORNER SET
▲	1/2" IR YC 15982
▲	UNLESS NOTED
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
YC	YELLOW CAP
OC	ORANGE CAP
RC	RED CAP
IR	IRON ROD
IP	IRON PIPE





**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

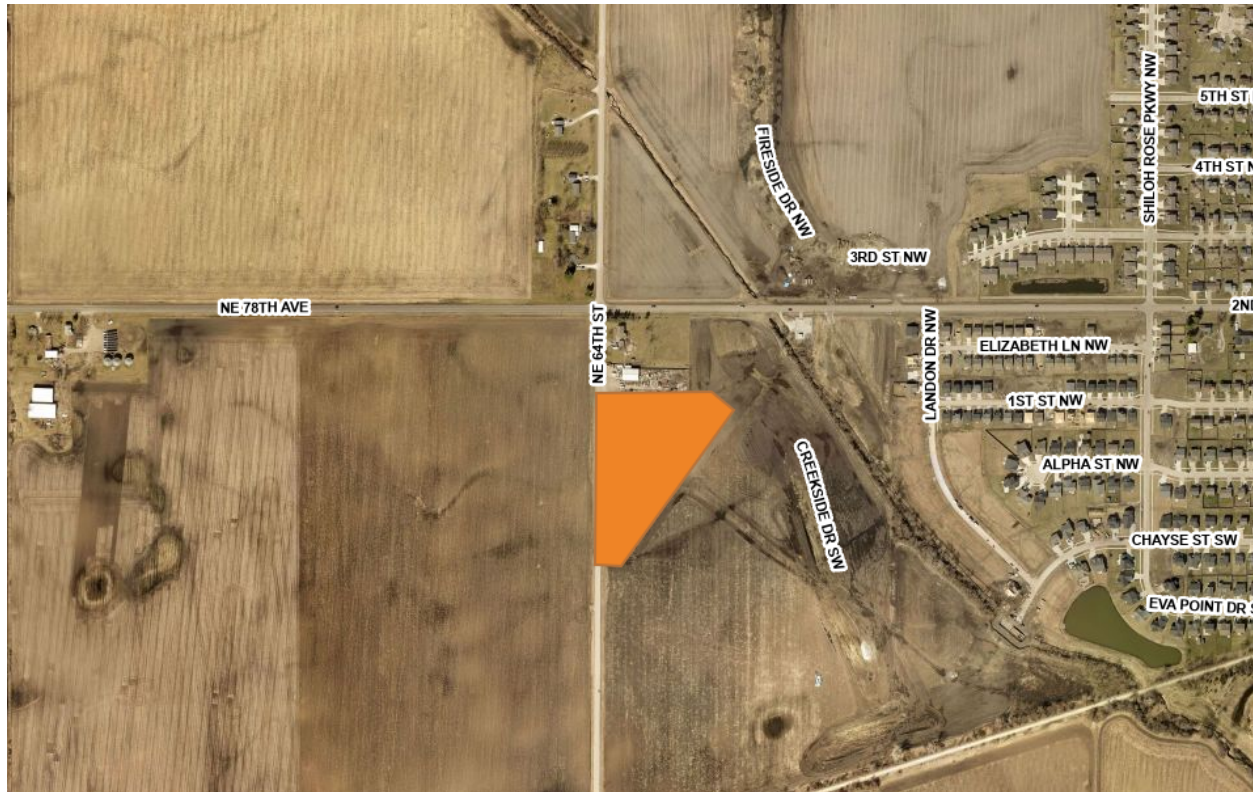
Item No. 6.b.
For Meeting of 3/24/2022
Resolution

TITLE: - RESOLUTION NO. PZ-220324-09: Considering recommended approval of the Edgeland Bondurant Preliminary Plat and Site Plan at Outlot R of the Quail Run Phase 2 Preliminary Plat development area.

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: The City is in receipt of the attached site plan/preliminary plat for review by the Planning & Zoning Commission and City Council for Outlot R of the Quail Run Phase 2 Preliminary Plat area. The owner/developer is Erickson Balmer Construction. The site plan/preliminary plat was submitted by Snyder & Associates. The proposed 5.81-acre development includes 47 rowhouse residential units in total. The subject area is shown on the map below in orange.



When the Planning & Zoning Commission and City Council review site plans, they review for consistency with the following: Comprehensive Plan, Zoning Code, and Comments from City Officials.

Comprehensive Plan

The rowhouse use proposed is consistent with the Future Land Use Map included as part of the City's 2012 Comprehensive Plan. This 2012 Comprehensive Plan guides for medium-density use along this stretch of the Franklin Street SW/NE 64th Street corridor.

Zoning Code

The current zoning for the property is Planned Unit Development (R-5). As part of the 2019 rezoning and platting process for Quail Run Phase 2, the following use and bulk regulations were established for this Outlot R:

- Use: rowhouse/multi-family
- Bulk: up to 12 units per acre; a maximum of 8 units in a row (16 when back to back); minimum lot area of 400 SF; minimum lot width of 20'; minimum front yard setback along Franklin Street SW/NE 64th Street of 30'; minimum side yard setbacks of 5'/10' between buildings; and a minimum rear yard setback of 35' along the east rear property line.

The submitted site plan/preliminary plat meets the above use and setback requirements

of the Quail Run Phase 2 PUD. Developer to provide clarification on if each unit will be on its own, individual lot or if all units will be constructed on one lot. If each unit will be on its own individual lot, developer to confirm that each lot will be at least 400 SF with a minimum lot width of 20'. This has been factored in as part of the attached P&Z recommendation resolution.

Basements were not a requirement for this Outlot R development area per the 2019 City Council resolution approving the Quail Run Phase 2 preliminary plat.

This development area was included as part of the 2020-prepared Quail Run Phase 2 Traffic Impact Study. A finding of this Traffic Impact Study is as follows: "The development has no significant impact to the existing road network and it is recommended to approve the residential development with no required improvements to the existing road network".

As part of the 2020 preliminary plat approval process, a 50' 1/2 right-of-way along Franklin Street SW/NE 64th Street was required. The submitted preliminary plat/site plan shows this will be met.

This Edgeland development area will be accessed via two access points off of Franklin Street SW/NE 64th Street. The proposed streets will be private. The City Engineer has reviewed the access points and has determined that these entrances are satisfactory. The proposed private streets will be 26'-wide, which meets minimum width requirements as requested by the Fire Department.

The driveways leading to the units will be 20' deep - this meets the minimum driveway width requirement of Section 178.06.4.J of the Zoning Code.

The preliminary plat/site plan shows that all parking/drive areas will be paved.

The development proposes 7 guest parking spaces within the development off of proposed Street B. The preliminary plat/site plan shows these guest parking stalls will be striped and will have curbing.

The development proposes installation of a 5'-wide private sidewalk along one side of each private street area. Since the streets within the development are not public, this is acceptable.

The site proposes no public sidewalks along Franklin Street SW/NE 64th Street. The City's 2013 Park, Trail & Greenway Master Plan identifies a trail along the Franklin Street NE/NE 64th Street corridor. The trail will be constructed at a later date when the future public street project along Franklin Street SW/NE 64th Street is implemented.

This Outlot R development area does not propose any sidewalk connections east to the single-family detached portion of the Quail Run Phase 2 development area. This lack of sidewalk connection was noted by the Bondurant-Farrar Community School District and

was relayed to the developer. Staff encourages the developer of Outlot R to coordinate with the developer of the Quail Run Plat 4 or 5 areas to identify a sidewalk connection, if possible.

Landscaping notes - Chapter 182 of the City Code requires that at least 1 tree must be planted for every 50' of street frontage. The site has a total of 769.77 feet of frontage, requiring 16 plantings in the required front yard area. The submitted landscaping plan provides an incorrect street frontage calculation and will need to be updated to reflect the 769.77' of street frontage. Additionally, the landscaping plan will need to be updated to show that the deciduous trees planted will be a minimum of 1 3/4" caliper.

The Quail Run Phase 2 Preliminary Plat area determined that developers must pay a parkland fee since no public parkland is proposed. Payment in lieu by the developer is required for the equivalent of 0.72 acres prior to final plat approval.

The developer has noted that no shared exterior dumpster is proposed, as these units will contain individual trash and recycling bins.

This site is not located within FEMA's 100-year floodplain.

This site is not subject to the City's Stream Buffer Ordinance.

The public sanitary sewer main along the east/west Street A area will be public, as it ties into the public sanitary sewer main of the Quail Run Plat 4 development area (which ties into the City's NW Trunk Sewer). The sanitary sewer main along the north south Street B area will be private.

The City will be constructing a 12" water main along the Franklin Street SW/NE 64th Street area as a result of the 2021-established Franklin Street SW Water Connection Fee District. The proposed 8" water mains within the interior of this development area will connect to the 12" water main along Franklin Street SW/NE 64th Street.

A private stormwater basin is proposed east of the units. This stormwater basin will be privately owned and maintained.

This development area is located within the NW Trunk Sewer Connection Fee District and the Franklin Street SW connection fee district.

Colored elevations have been submitted for review. The following feedback has been relayed to the developer by staff and is included in the attached P&Z resolution:

- Developer to show/confirm that each elevation facing a public right-of-way or visible from the public right-of-way is at least 20% brick, stone, or other similar material. An elevation is only not required to meet this 20% minimum when it's screened from view of the public right-of-way. Note on this 20% - door and window openings can count toward this 20% minimum if they are surrounded by

the brick or stone material. *This 20% brick/stone requirement applies to the west elevations of Lots 32-47, the west side elevation of Lot 1, and the south side elevation of Lot 32. Attached are updated elevations showing that 20% stone (and windows when next to) will be incorporated into the design of these elevations.*

- Developer to confirm the garage doors do not comprise more than 50% of the total length of the townhome building's front facade. *The developer has noted they will pursue Board of Adjustment variance approval on this topic, as all garages will be interior facing.*
- Developer to confirm that at least every 50 linear feet, the wall and/or roof planes will contain offsets or setbacks with a differential in horizontal plan of at least 2' on all elevations. *Developer has verbally noted that this requirement will be met, but they will follow up in writing.*
- Developer to confirm that roof mounted mechanical units, satellite dishes, or other similar equipment shall be screened from view by the extension of a parapet wall or other roof mounted screening equipment; such roof mounted screening shall have similar design features as the building including material, shape, and color considerations. *Developer has verbally noted that this requirement will be met, but they will follow up in writing.*

Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. Public Works - reviewed and noted that documentation of the proposed 30'-wide off-site sanitary sewer easement must be provided to the City prior to beginning work on this off-site easement area.
2. Engineering - has reviewed the initial preliminary plat/site plan and stormwater management report and has provided feedback. The site plan engineer resubmitted the site plan and stormwater management report; these updated plans are still under review by the City Engineer - this has been factored in as part of the attached resolution.
3. Fire Department - reviewed and noted no concerns.

In addition to the above City departments, the following entities were notified for review/comment since this review is also a preliminary plat: Bondurant-Farrar Community School District, the Post Office, and private utilities. The Bondurant-Farrar Community School District noted concerns over a lack of sidewalk connection east. Northern Natural Gas requested further information from the developer.

FUNDING SOURCE: N/A

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. Recommended approval of RESOLUTION NO. PZ-220324-09.

2. Recommended approval of RESOLUTION NO. PZ-220324-09, subject to certain Zoning Code clarification items being addressed.

3. Recommended denial of RESOLUTION NO. PZ-220324-09.
4. Table pending additional information.

Staff recommends approval of RESOLUTION NO. PZ-220324-09, regarding recommended approval of the Edgeland Bondurant preliminary plat/site plan, subject to the following Zoning and Subdivision Code clarification items being addressed:

1. That documentation of the recorded off-site easement must be submitted prior to beginning any work within the proposed off-site easement area.
2. That the utility connection fee district fees shall be paid prior to final plat consideration.
3. That payment in lieu of public parkland dedication is paid prior to final plat consideration.
4. That the landscaping plan be updated with the correct street frontage calculation and the correct minimum tree planting size requirements.
5. That should any changes be requested by the City Engineer, the site plan and stormwater management must be updated and resubmitted to reflect these requested changes.
6. That the preliminary plat/site plan be updated to better clarify if each dwelling unit will be on its own, individual lot; if so, preliminary plat/site plan to confirm that each lot will meet the 400 SF minimum and 20'-wide minimum lot requirements per the approved Quail Run Phase 2 Preliminary Plat. Also, if dwelling units will be on their own, individual lots the common space, including the private stormwater basin area, must be labeled.
7. That the building elevations are resubmitted to show compliancy with the building design/material requirements of Chapter 179 of the City Code (or a variance is sought regarding the increase in garage %).

This Outlot R development area does not propose any sidewalk connections east to the single-family detached portion of the Quail Run Phase 2 development area. This lack of sidewalk connection was noted by the Bondurant-Farrar Community School District and was relayed to the developer. Staff encourages the developer of Outlot R to coordinate with the developer of the Quail Run Plat 4 or 5 areas to identify a sidewalk connection, if possible.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RES. No. PZ-220324-09
2. Edgeland Site Plan, Preliminary Plat
3. Elevations

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-220324-09

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE PRELIMINARY
PLAT AND SITE PLAN FOR EDGELAND BONDURANT

WHEREAS, Snyder & Associates, Inc. submitted the site plan for the property known as Outlot R of Quail Run Plat 3; AND

OUTLOT R, QUAIL RUN PLAT 3, ALL BEING IN AND FORMING A PART OF THE CITY OF BONDURANT, POLK COUNTY IA.

WHEREAS, the zoning for the property is Planned Unit Development (PUD) and row housing is a permitted use as approved in the Quail Run Phase 2 PUD rezoning ordinance.

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted preliminary plat/site plan for Edgeland Bondurant, subject to the following Zoning Code/Subdivision Code clarification recommendation items:

1. That documentation of the recorded off-site easement must be submitted prior to beginning any work within the proposed off-site easement area.
2. That the utility connection fee district fees shall be paid prior to final plat consideration.
3. That payment in lieu of public parkland dedication is paid prior to final plat consideration.
4. That the landscaping plan be updated with the correct street frontage calculation and the correct minimum tree planting size requirements.
5. That should any changes be requested by the City Engineer, the site plan and stormwater management must be updated and resubmitted to reflect these requested changes.
6. That the preliminary plat/site plan be updated to better clarify if each dwelling unit will be on its own, individual lot; if so, preliminary plat/site plan to confirm that each lot will meet the 400 SF minimum and 20'-wide minimum lot requirements per the approved Quail Run Phase 2 Preliminary Plat. Also, if dwelling units will be on their own, individual lots the common space, including the private stormwater basin area, must be labeled.
7. That the building elevations be resubmitted so that they are compliant with the building design/material requirements of Chapter 179 of the City Code (or a variance is sought regarding the increase in garage %).

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on March 24, 2022; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

Action	Yay	Nay	Abstain	Absent
Cameron				
Clayton				
Mains				
Keeran				
Cuellar				
Hoyer				
Brostrom				

Torey Cuellar, Commission Chair

SITE PLAN/PRELIMINARY PLAT
FOR
EDGELAND BONDURANT
CITY OF BONDURANT, POLK COUNTY, IOWA



VICINITY MAP

OWNER / DEVELOPER

ERICKSON BALMER CONSTRUCTION
2453 106TH STREET
URBANDALE, IA, 50322
CONTACT: DYLAN BALMER
PHONE: 515-252-1510



INDEX OF SHEETS

C100	TITLE SHEET
C101	PROJECT INFORMATION
C200	DIMENSION PLAN
C300	UTILITY PLAN
C400	GRADING AND EROSION CONTROL PLAN
C500	LANDSCAPE PLAN
C501	PLANTING DETAILS

PROFESSIONAL ENGINEER

ERIC D. CANNON

P18954

IOWA

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Eric D. Cannon, P.E. _____ Date _____

License Number P18954

My License Renewal Date is December 31, 2023

Pages or sheets covered by this seal: _____

1	REVISED AS PER CITY COMMENTS	3-18-22	JWM
MARK	REVISION	DATE	BY
Engineer: EDC	Checked By: EDC	Scale: 1" =	
Technician: JWM	Date: 02-24-22	T-R-S: TTN-RRW-SS	
Project No: 121.0883.01			Sheet C100

EDGELAND BONDURANT

TITLE SHEET

BONDURANT, IA

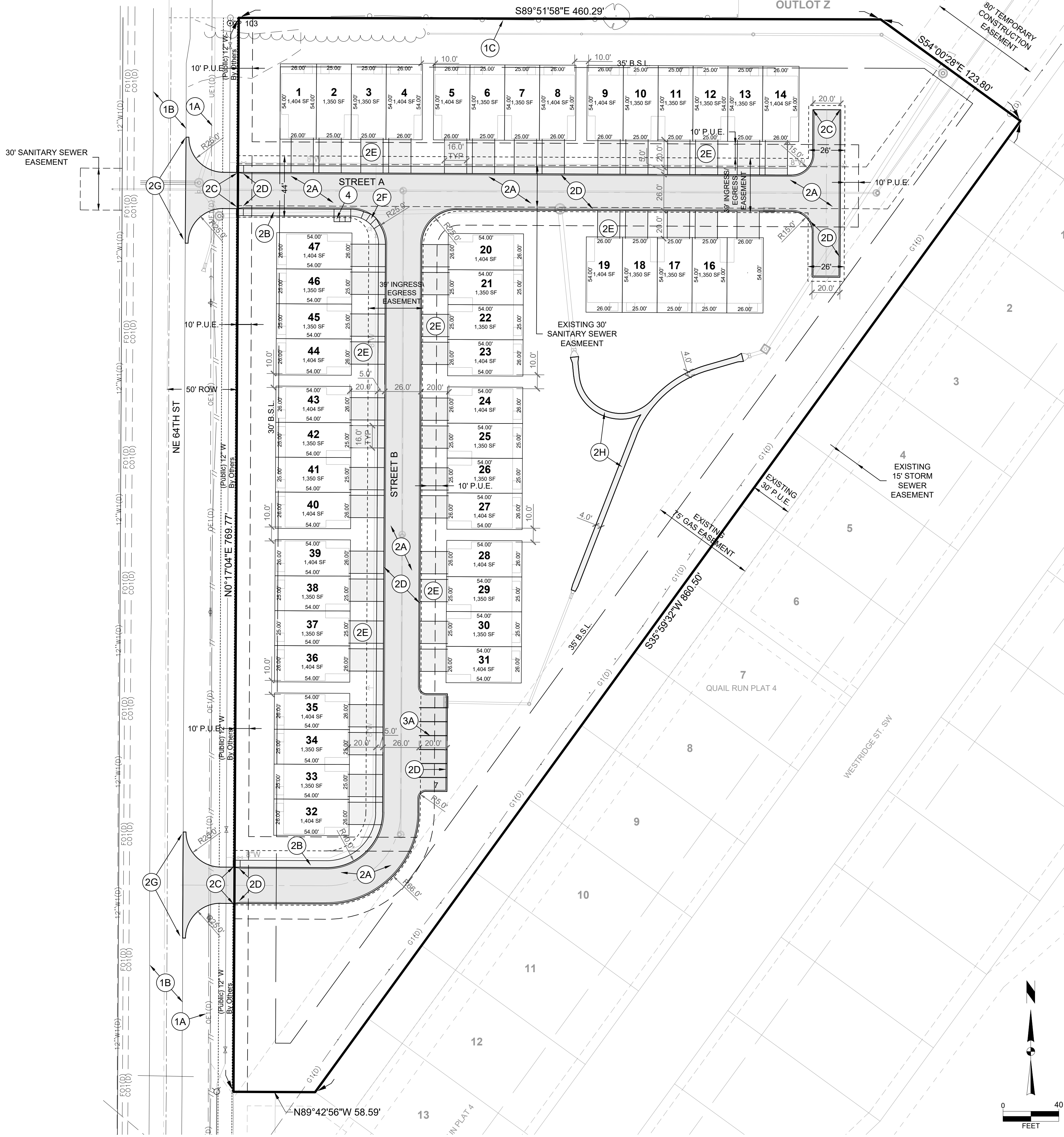
SNYDER & ASSOCIATES, INC. |

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Project No: 121.0883.01

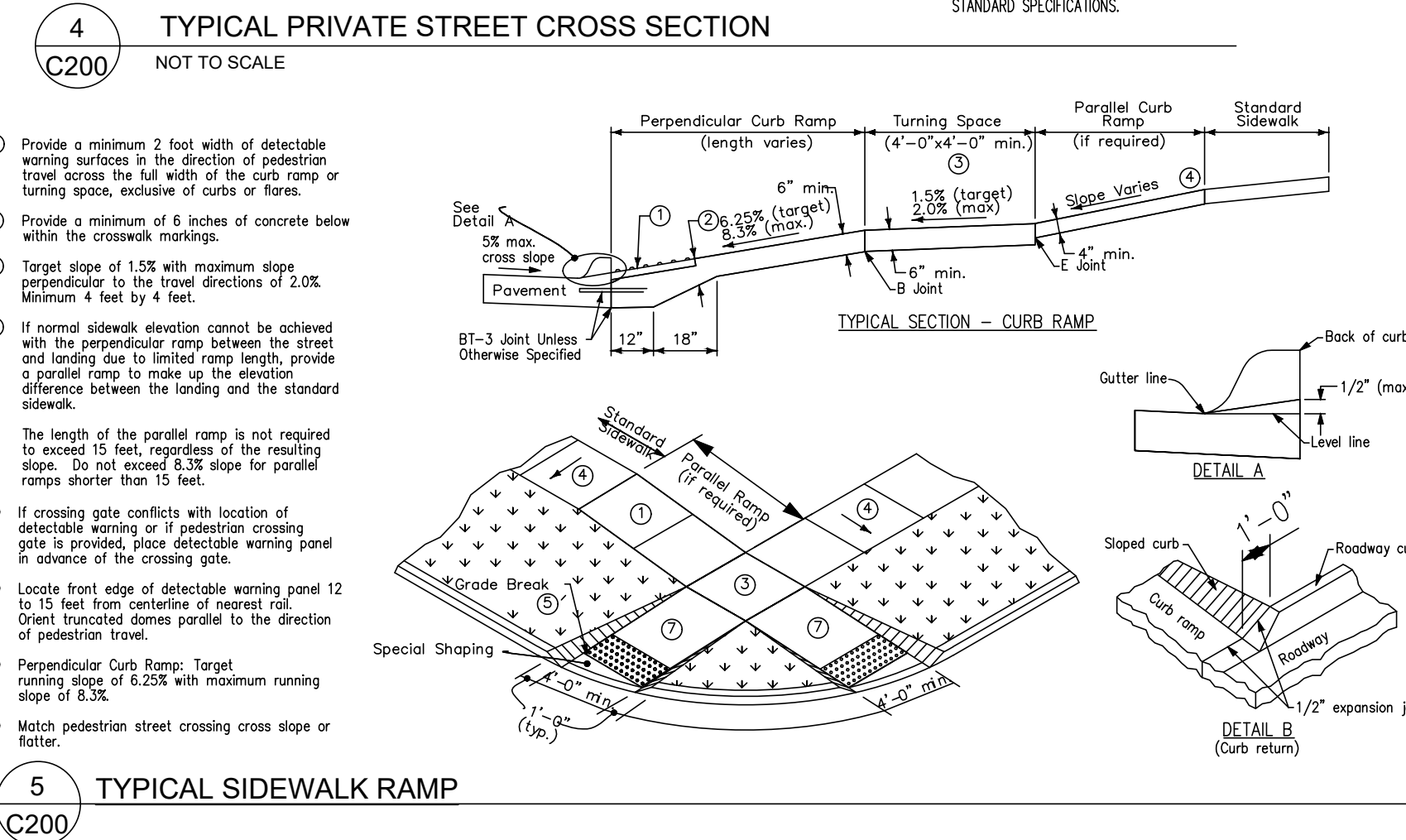
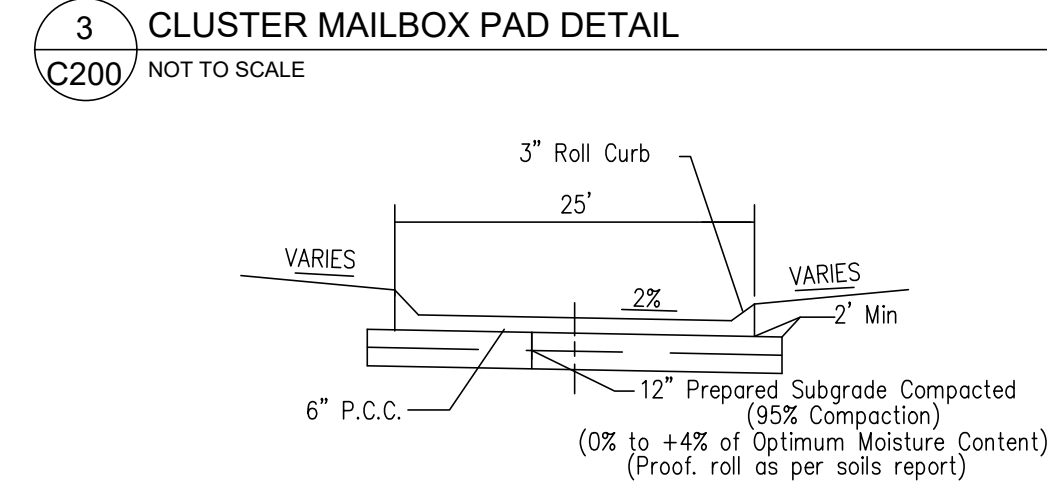
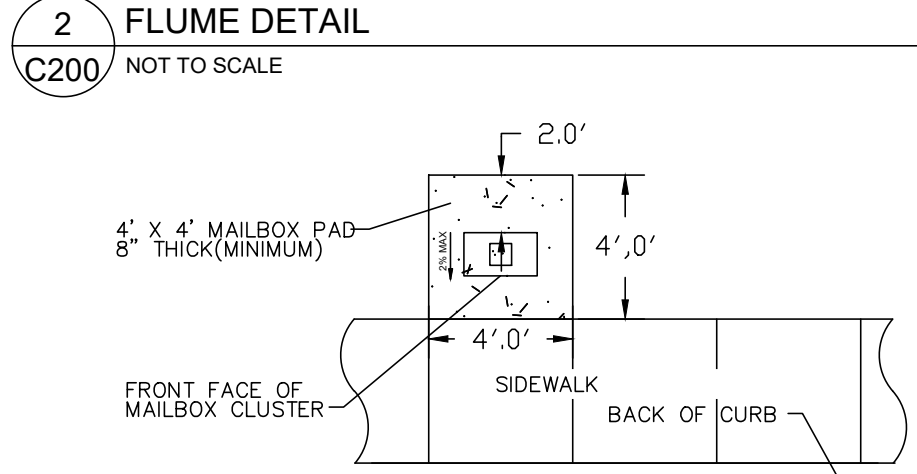
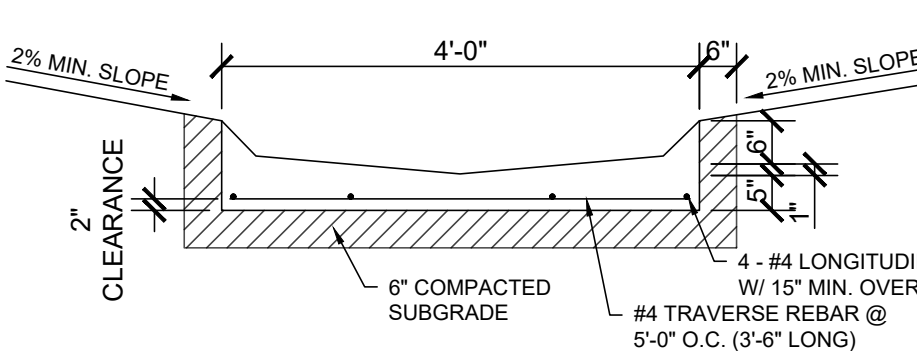
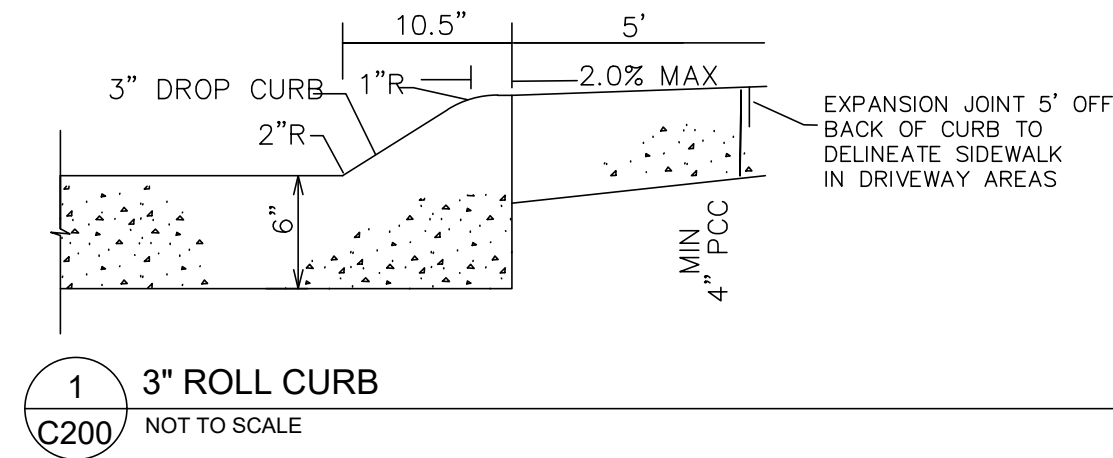
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DIMENSION PLAN CONSTRUCTION NOTES

1. PROTECT THE FOLLOWING SITE FEATURES:
A. EXISTING UTILITY. VERIFY LOCATION, ELEVATION AND MINIMUM COVER REQUIREMENTS PRIOR TO CONSTRUCTION.
B. EXISTING PAVEMENT.
C. EXISTING FENCE
2. PAVEMENTS, PROVIDE THE FOLLOWING:
A. 6" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
B. 4" MINIMUM DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
C. NO CURB.
D. 3" PCC ROLL CURB.
E. 5" DEPTH PCC DRIVEWAY.
F. PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33%.
G. CONNECT TO EXISTING PAVEMENT WITH A SUDAS TYPE "A" CONNECTION (7030.101). MATCH EXISTING ELEVATION.
H. 4" PCC CUNETTE.
3. PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
A. PAINTED PARKING STALL LINE, 4" WIDE, PAINTED YELLOW.
4. 8" PCC, 4'x12' CLUSTER MAIL BOX PAD. SEE DETAIL THIS SHEET.
5. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, AND TELEPHONE SERVICES WITH UTILITY SERVICES PROVIDER, THE CITY OF BONDURANT, AND THE OWNER PRIOR TO CONSTRUCTION.



EDGELAND BONDURANT

DIMENSION PLAN

SNYDER & ASSOCIATES, INC.

BONDURANT, IA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

1

REVISED AS PER CITY COMMENTS

3-18-22

JWM

BY

DATE

Scale: 1" = 40'

Engineer: EDC

Checked By: EDC

Date: 02-24-22

Technician: JWM

T-R-S: TTN-RRW-SS

Project No: 121.0883.01

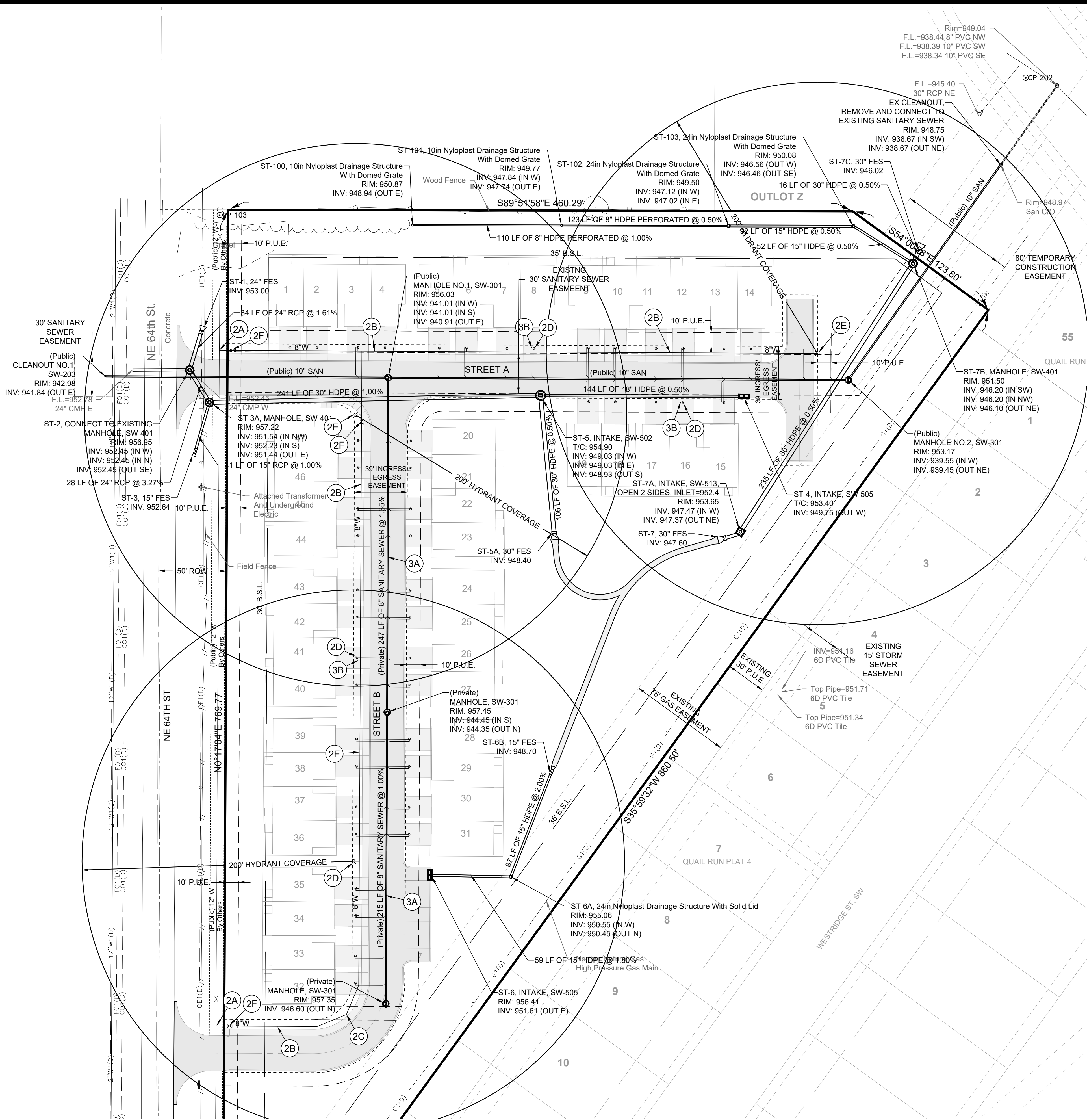
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SNYDER & ASSOCIATES

Project No: 121.0883.01

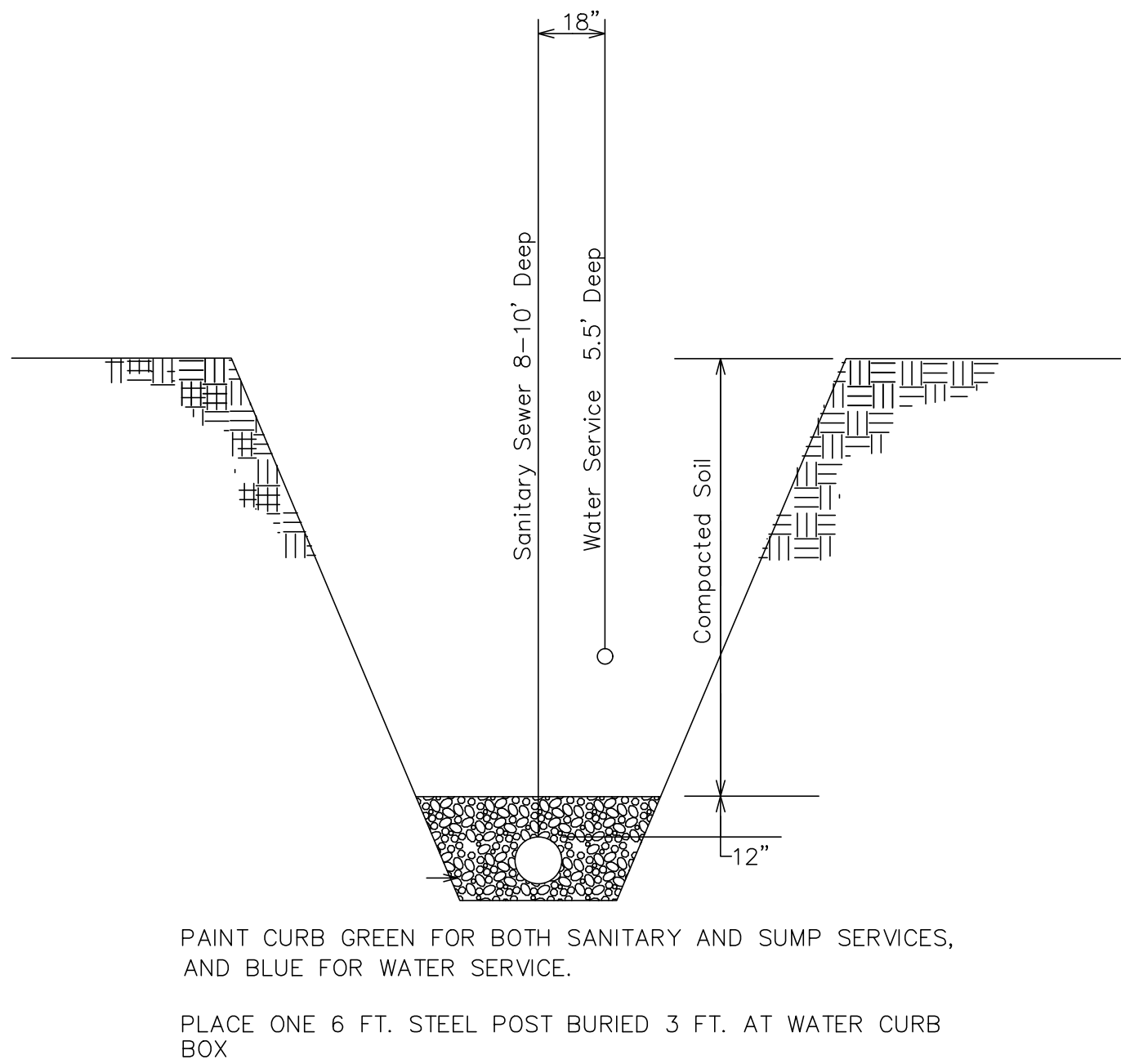
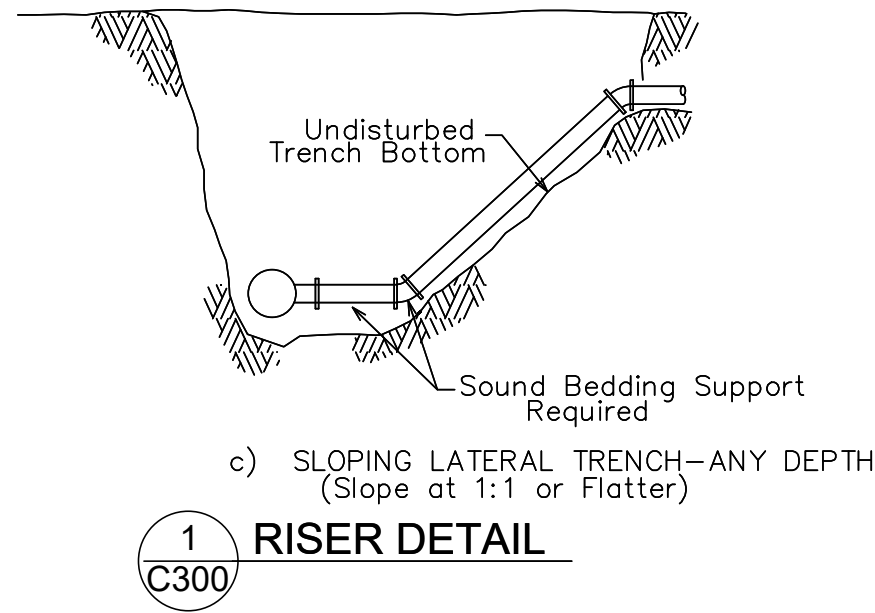
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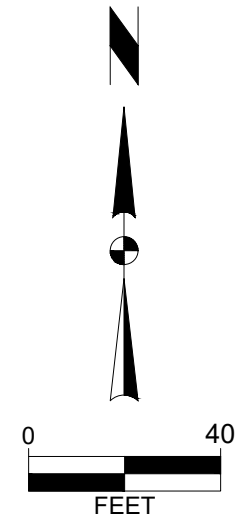


UTILITY PLAN CONSTRUCTION NOTES

- PROTECT THE FOLLOWING SITE FEATURES:
A. EXISTING UTILITY. VERIFY LOCATION, ELEVATION AND MINIMUM COVER REQUIREMENTS PRIOR TO CONSTRUCTION.
- WATER, PROVIDE THE FOLLOWING:
A. CONNECT TO PUBLIC 12" WATER MAIN.
B. 8" PRIVATE WATER MAIN.
C. BENDS AS NECESSARY.
D. 1" WATER SERVICE.
E. FIRE HYDRANT ASSEMBLY.
F. 8" WATER VALVE.
- SANITARY SEWER, PROVIDE THE FOLLOWING:
A. PRIVATE 8" SANITARY SEWER.
B. 4" SANITARY SERVICE.
- STORM SEWER NOTES:
C. PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN AS PER 2022 SUDAS STANDARD SPECIFICATIONS AND THE CITY OF BONDURANT SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
D. CRITICAL CROSSING. CONTRACTOR TO VERIFY ALL CROSSINGS AND PROVIDE 18" MINIMUM SEPARATION.
E. ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
F. ALL FOOTINGS FOR STORM SEWER STRUCTURES SHALL BE A MINIMUM 42 INCHES BELOW FINISHED GRADE. CONCRETE FILLET INSIDE INTAKES AS NECESSARY TO FLOW LINES.



2 C300 INTERIM SERVICE LOCATION DETAIL LOTS 1-48



EDGELAND BONDURANT

UTILITY PLAN

BONDURANT, IA

SNYDER & ASSOCIATES, INC. |



Project No: 121.0883.01

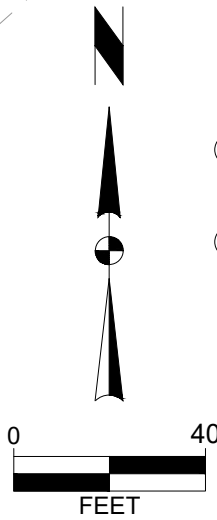
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2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

MARK	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	3-18-22	JWM
Engineer: EDC	Checked By: EDC	Scale: 1" = 40'	
Technician: JWM	Date: 02-24-22	T-R-S: TTN-RRW-SS	

Sheet C300

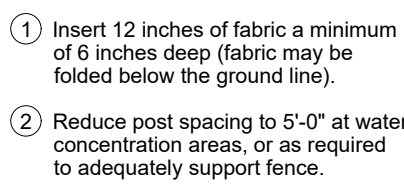
Project No: 121.0883.01



J. G.F.E = GARAGE FLOOR ELEVATION.

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

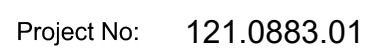
SEEDING AND MULCHING	5.5 AC
SILT FENCE	1450 LF
SEDIMENT BASKETS	5 EA



SILT FENCE

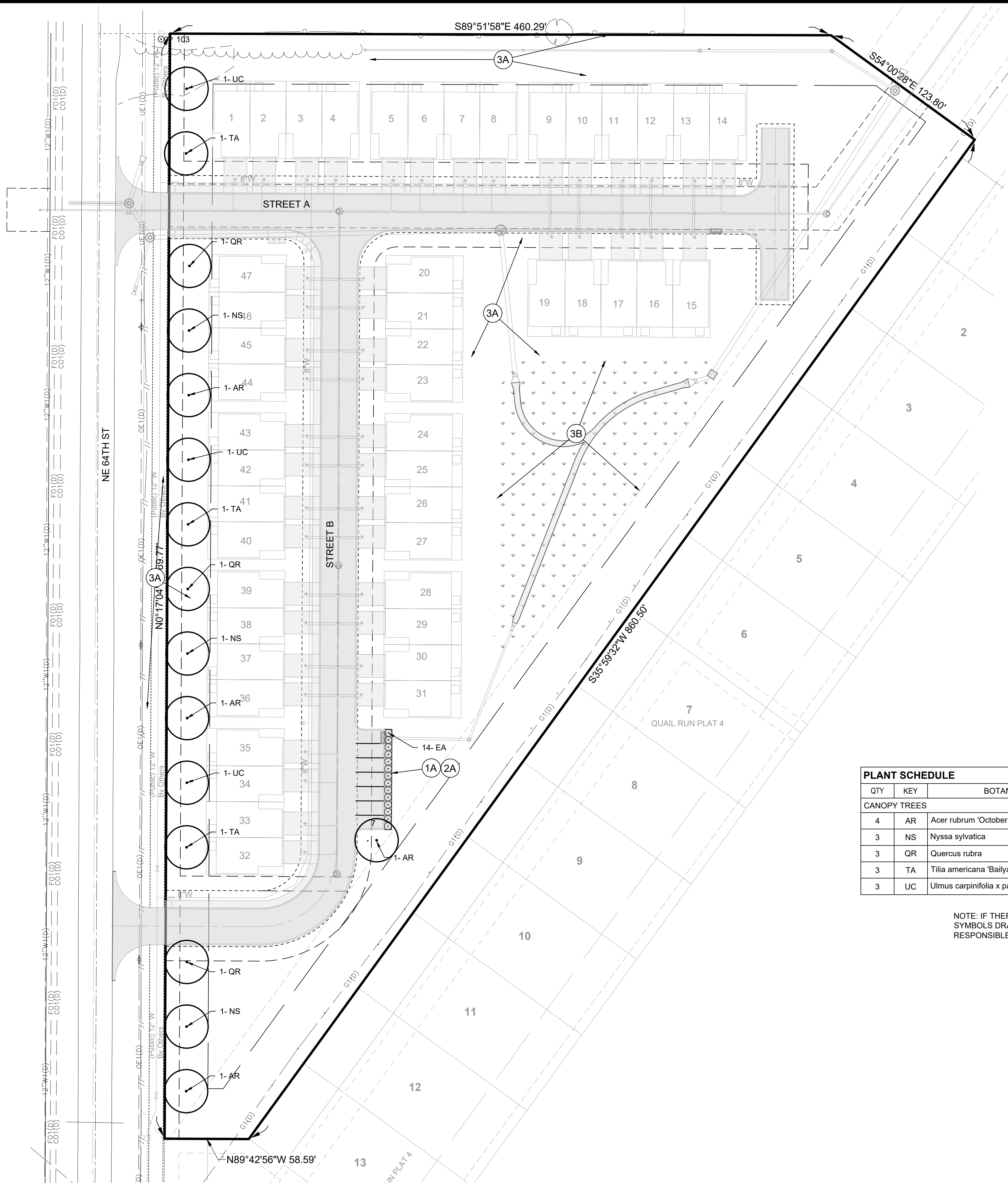
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515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.



Sheet C400

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GENERAL NOTES

- A. UTILITY WARNING:
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. IF IMPERVIOUS SOILS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. IF TREE DRAINAGE WELLS ARE NEEDED, REFER TO IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) 9030.103.
- E. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION, UNLESS SPECIFIED OTHERWISE.
- F. TREE AND SHRUB RINGS NOT LOCATED IN DESIGNATED BEDS SHALL BE CONSIDERED INCIDENTAL TO INSTALLATION. REFER TO THE PLANTING DETAILS FOR FURTHER INSTRUCTIONS.
- G. UNLESS SPECIFIED OTHERWISE, HYDRO-SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH SUDAS TYPE 1 PERMANENT LAWN MIX.

PLANTING PLAN CONSTRUCTION NOTES

- **REFER TO SPECIFICATIONS AND LANDSCAPE DETAILS FOR FURTHER GUIDANCE ON INSTALLATION, MAINTENANCE AND OTHER PROJECT REQUIREMENTS. IF SPECIFICATIONS ARE NOT PROVIDED, SUDAS OR LANDSCAPE ARCHITECT'S RECOMMENDATIONS SHALL GOVERN.
1. MULCH BED, PROVIDE THE FOLLOWING:
A. 1 1/2 - 3-INCH DIAMETER TRAP ROCK. 4-INCH DEPTH. UNDERLAY MULCH WITH WEED-BARRIER FABRIC. TAPER MULCH DEPTH TOWARDS BED EDGING AND/OR PAVEMENT EDGE, EXPOSING 1-INCH HEIGHT OF EDGE.
2. LANDSCAPE EDGING, PROVIDE THE FOLLOWING:
A. METAL. 3/16-INCH THICK X 5 1/2-INCH HEIGHT. COLOR BLACK. REFER TO SPECIFICATIONS ON ACCEPTABLE PRODUCTS.
3. TURF ESTABLISHMENT, PROVIDE THE FOLLOWING:
A. SEED. SUDAS TYPE 1: PERMANENT 1 LAWN MIX.
B. SEED. DETENTION BASIN MIX.

PLANTING CALCULATIONS

LANDSCAPE REQUIREMENTS AND CALCULATIONS:
(AS PER CITY OF BONDURANT SITE PLAN OPEN SPACE LANDSCAPING REQUIREMENTS)

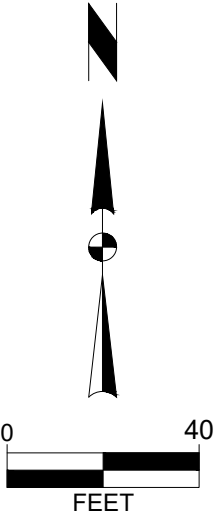
OPEN SPACE REQUIREMENTS:
253,010 SF X 10% MIN. OPEN SPACE = 25,301 SF REQUIRED (152,063 SF PROVIDED, 60.10%)
LIVING GROUNDCOVER REQUIRED = 22,771 SF (90%). (152,063 SF LIVING GROUNDCOVER PROVIDED)

TREE LANDSCAPE REQUIREMENTS:
1 TREE PER 50 LF OF FRONTAGE - OR -
1 TREE PER 6 PARKING STALLS, WHICHEVER IS GREATER

716 LF FRONTAGE / 50 = 14.32 TREES - OR - 7 STALLS / 6 = 1.2 TREES
(15 TREES PROVIDED)

PLANT SCHEDULE					
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENTS
CANOPY TREES					
4	AR	Acer rubrum 'October Glory'	OCTOBER GLORY MAPLE	1 1/2" CAL.	B&B
3	NS	Nyssa sylvatica	BLACK TUPELO	1 1/2" CAL.	B&B
3	QR	Quercus rubra	NORTHERN RED OAK	1 1/2" CAL.	B&B
3	TA	Tilia americana 'Baillyard'	FRONT YARD LINDEN	1 1/2" CAL.	B&B
3	UC	Ulmus carpinifolia x parvifolia 'Frontier'	FRONTIER ELM	1 1/2" CAL.	B&B

NOTE: IF THERE'S A DISCREPANCY BETWEEN THE SCHEDULE QUANTITY AND QUANTITY OF PLANT SYMBOLS DRAWN ON PLAN, THE QUANTITY OF SYMBOLS DRAWN SHALL GOVERN. CONTRACTOR IS RESPONSIBLE FOR TALLING FINAL PLANT QUANTITIES PRIOR TO BIDDING.



EDGE LAND BONDURANT

LANDSCAPE PLAN

BONDURANT, IA



Project No: 121.0883.01

Sheet C500

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ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC. |

Sheet C500

Project No: 121.0883.01

Engineer: JWM
Checked By: EDC
Date: 02-24-22

Technician: JWM

Scale: 1" = 40'

T-R-S: TTN-RRW-SS

REVISION

DATE

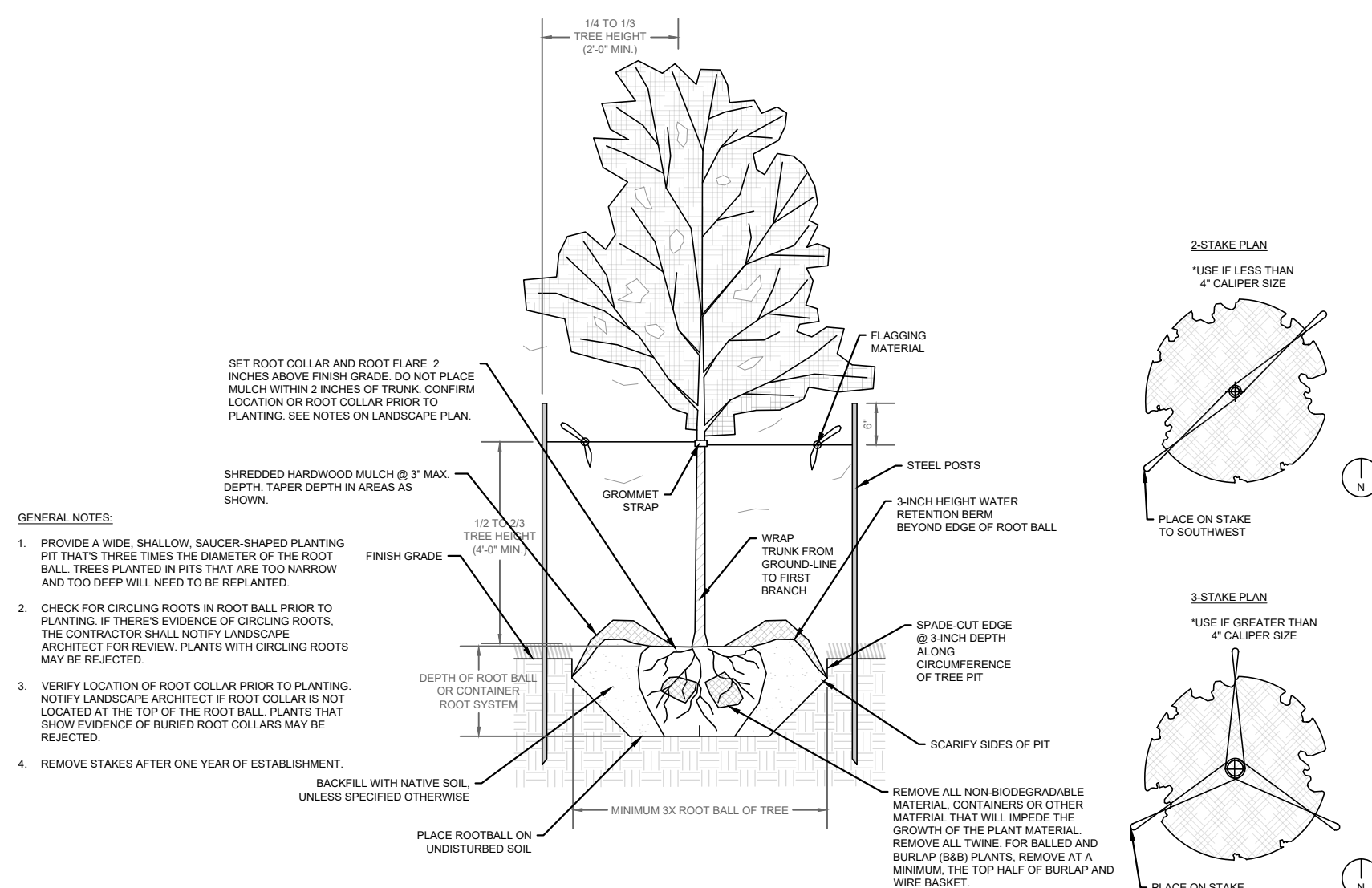
BY

3-18-22 JWM

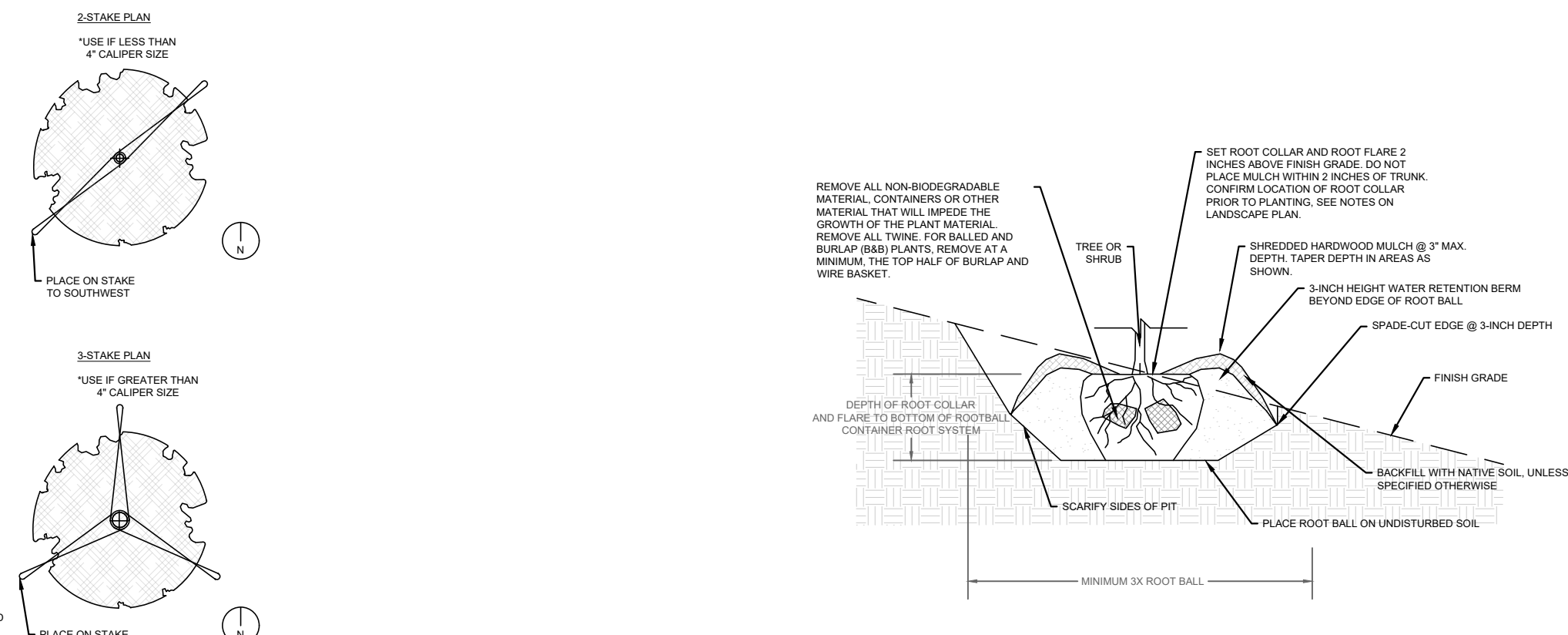
REVISED AS PER CITY COMMENTS

MARK

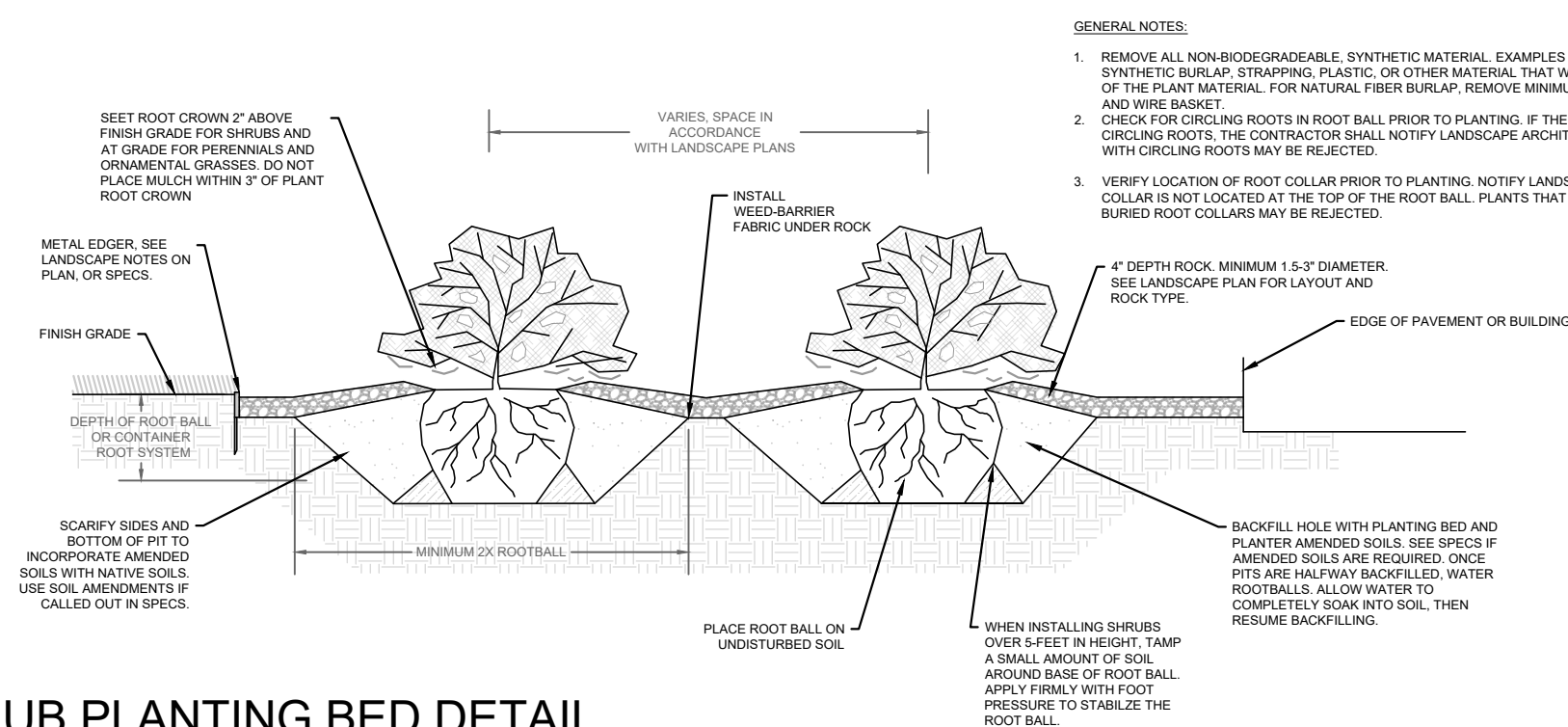
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1 TREE PLANTNG DETAIL
C501 NO SCALE



2 TYPICAL PLANTING PIT FOR SLOPES
C501 NO SCALE



3 SHRUB PLANTING BED DETAIL
C501 NO SCALE

[illegible]

BONDURANT, IA

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SNYDER & ASSOCIATES, INC.

EDGELAND BONDURANT

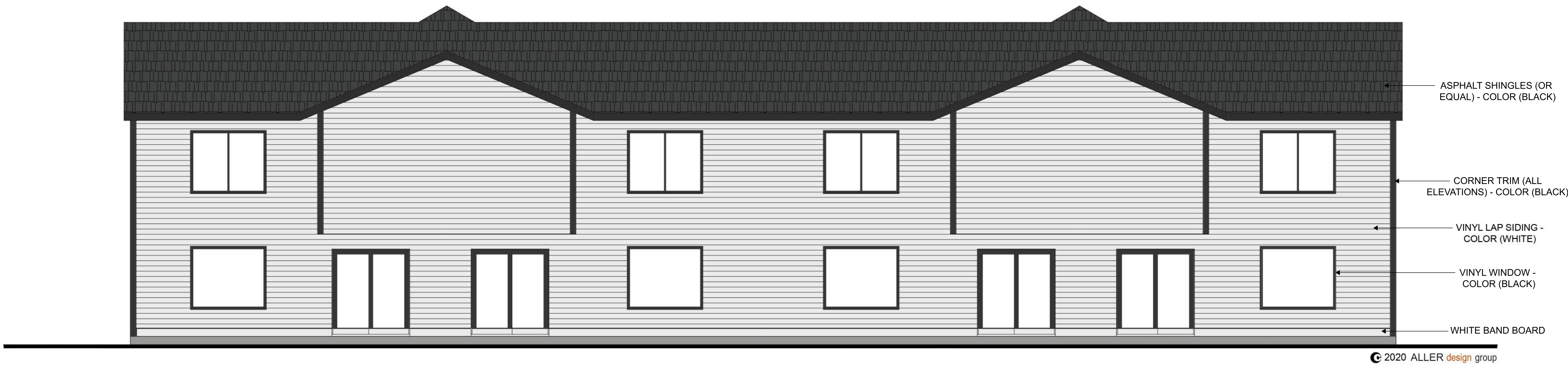
PLANTING DETAILS



Project No: 121.0883.01

Sheet C501

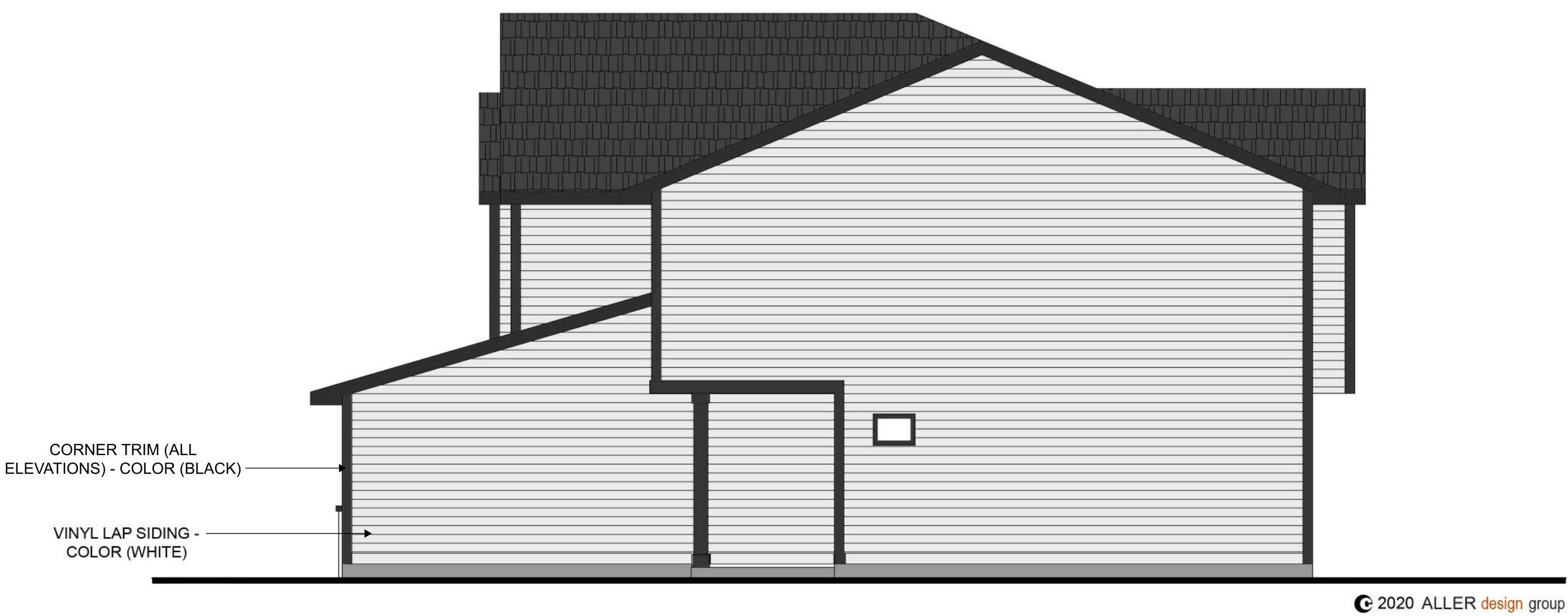
EDGELAND TOWNHOMES - 4 PLEX



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION





**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

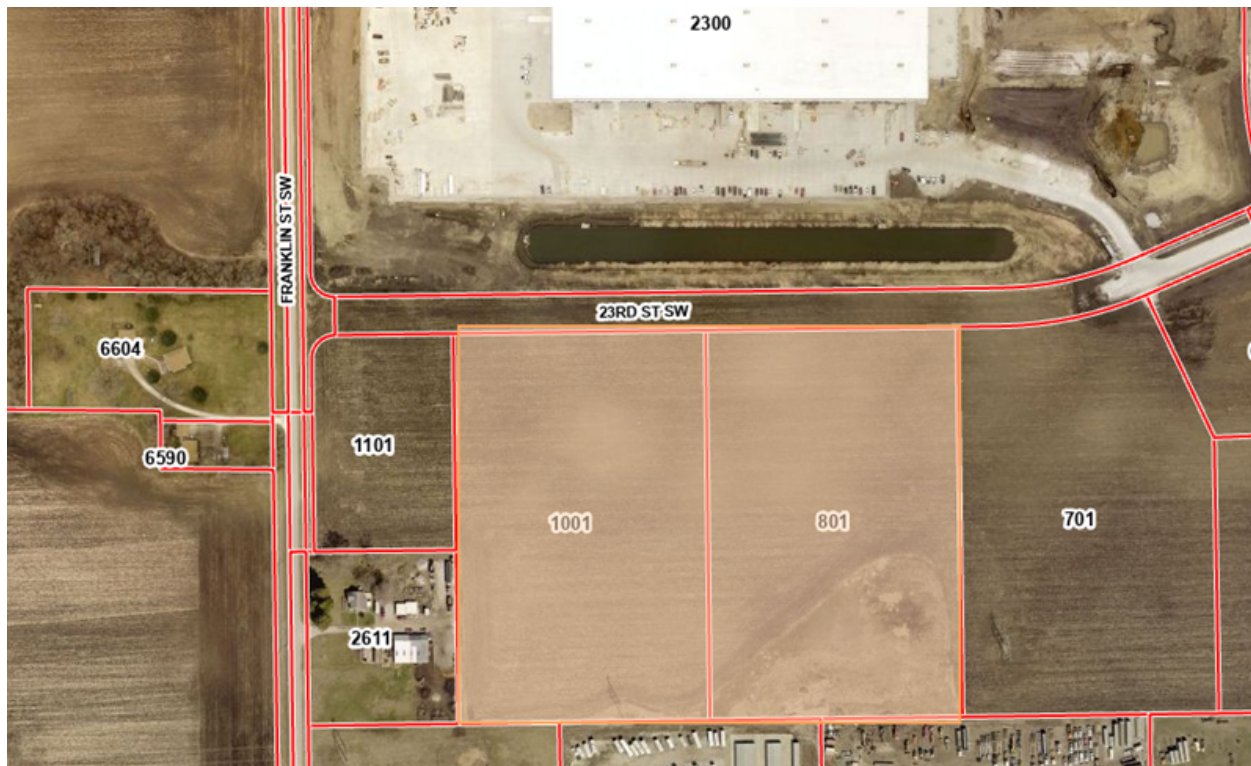
Item No. 6.c.
For Meeting of 3/24/2022
Resolution

TITLE: - RESOLUTION NO. PZ-220324-10: Considering recommended approval of the 1001 23rd Street SW Site Plan

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: The City is in receipt of a site plan for review by the Planning & Zoning Commission and City Council for the development area at 1001 23rd Street SW. 1001 23rd Street SW is comprised of all of Lot 4 & and a majority of the current Lot 5 of the Shiloh Rose Business Park, Plat 2; agenda Item 6.d is a plat of survey request where a portion of Lot 5 is split off from Lot 5 and combined with Lot 6 to the west. The 1001 23rd Street SW site plan applicant is Ryan Companies, Inc. The site plan was submitted by Shive-Hattery, Inc. The subject area is shown on the map below. The proposed building will be 279,000 SF.



When the Planning & Zoning Commission and City Council review site plans, they review for consistency with the following: Comprehensive Plan, Zoning Code, and Comments from City Officials.

Comprehensive Plan Notes:

The Comprehensive Plan's Future Land Use Map guides this location for industrial use. This site is currently zoned Limited Industrial (M-1). No rezoning or amendment to the Comprehensive Plan is required for this site.

Zoning Code Notes:

Use/Bulk:

The site plan notes the use proposed is a warehouse. A warehouse is a permitted use per Section 178.13.1.U of the Zoning Code. This section allows for the following use type: Office Warehouse (undefined in Zoning Code).

No outdoor storage is proposed.

The proposed 279,000 SF building will be 53' from the ground elevation at the dock doors. The site plan shows the building will meet minimum M-1 District setback requirements (50' front, 20' sides, 50' rear).

Parking/Drive Areas:

Two driveways are proposed along 23rd Street SW. The City Engineer has reviewed these driveways and has determined that both locations are satisfactory.

The site plan shows that all parking spaces will be at least 3' away from the front property line, as required by the Zoning Code.

The site plan shows that all parking space areas will be striped and that curbing will be provided.

The site plan shows that all parking/drive areas will be paved.

Section 177.09.21 of the Zoning Code requires at least one parking space on the lot per be provided each employee at one time. Currently, 72 parking stalls are proposed, however, the site plan is currently lacking on the number of employees; the attached P&Z recommendation resolution takes this into account.

The site plan shows the option for an additional 78 future parking stalls if additional stalls were to be required or needed for the proposed site; this has been factored in as part of the attached resolution.

As currently proposed, a total of 3 handicapped spaces are required for the site. The site plan notes that 5 ADA parking stalls are proposed, however, the locations of these five stalls are not proposed. This has been factored in as part of the attached resolution.

The site plan shows that minimum off-street loading space requirements will be met.

Landscaping Plan:

General trees/greenspace: the site has a total of 1,061 feet of frontage, requiring 21 plantings in the required front yard area; the submitted landscaping plan does not currently meet this minimum front yard tree planting requirement - this has been factored in as part of the attached resolution. A minimum open space requirement of 15% is required in the M-1 district; 38.1% of open space is shown on the site plan, exceeding the City's requirement. The landscaping plan shows the minimum tree size planting requirements (1 3/4" caliper for deciduous and 5' minimum for coniferous) will be met with this project.

Interior trees/greenspace: the landscaping plan shows that minimum interior tree count requirements (1 per 18 parking spaces) will be met. The landscaping plan shows that the required interior tree counts will meet the deciduous shade type requirement. The landscaping plan also shows that the 5% minimum interior greenspace requirement for parking lot areas will be met.

Utilities:

This site will connect to the existing water main and sanitary sewer mains along 23rd Street SW.

This site is not located within a water or sanitary sewer connection fee district.

The site plan shows it, but does not label the existing sanitary sewer easement that exists along the north property line.

The required stormwater management report was submitted. This report is still being

reviewed by the City Engineer; the attached resolution takes this into account.

There is an existing private overhead utility easement that exists along the south property line. The developer is responsible for getting approval from MidAmerican Energy Company prior to beginning any work within the MidAmerican easement area.

The plat of survey being considered in Item 6.d shows a 30'x100' access easement at the west driveway. The site plan will need to be updated to show this easement area.

Elevations:

Colored architectural elevations were submitted as part of the site plan application.

General Elevation Requirements:

The Zoning Code requires adequate treatment or screening from the public right-of-way and adjoining properties of all negative aspects of the building such as loading areas, docks, HVAC mechanical units. *This item will be met, as the overhead doors will be located on the building's rear, south facing facade. These overhead doors will be the same color as the rear facade.*

The Zoning Code requires that all roof mechanicals be adequately screened from view of the public right-of-way by parapet walls or other roof screening methods. *This item has been factored in as part of the attached P&Z recommendation resolution.*

Industrial Elevation Requirements:

The subject property is located over 500 feet away from the Highway 65 right-of-way corridor, meaning that the building design is not subject to the Overlay District requirements and would instead be subject to the general industrial building design and material requirements, which include:

- At least 50% of the building's street facing facade (north) must be comprised of glass, brick, concrete panels, textured concrete block, stone panels, or other similar material. *These material requirements are met, as the north facade will be comprised of precast concrete panels and glass.*

- For all non street-facing facades, the following materials must be present as at least trim material: glass, brick, concrete, panels, textured concrete block, stone panels, or other similar materials. Also for non-street facing facades, the following materials are also allowed: textured metal panels, architectural metal, or another similar material. *These non-street facing material requirements are met, as the non-street facing facades will also be comprised of precast concrete.*

- No wood, vinyl, masonite, asphaltic wall material, aluminum or steel siding, non-textured concrete block, or other similar materials shall constitute any portion of the building other than as limited trim unless approved by the Planning & Zoning Commission and City Council. *These limited material requirements are met.*

Other Site Plan Features:

Sidewalks exist along the north right-of-way of 23rd Street SW within this industrial subdivision but have been waived at the time of subdivision and site plan development for the properties along the south side of 23rd Street SW. Chapter 136 of the Bondurant City Code does grant the City of Bondurant the ability to require sidewalks should a sidewalk connection ever be determined as being necessary in this location; this has been factored in as part of the attached resolution.

The site plan does not currently show any exterior dumpsters on site. If any dumpsters are proposed, the site plan is to be updated and must note the screening method proposed. This has been included as part of the attached resolution.

All signage is reviewed and approved separately from site plan approval. Sign contractor will need to obtain sign permits prior to installation.

All parking lot lighting must be installed such that the lighting is directed away from any adjacent residential use/districts. There is an existing residential use at 2611 Franklin Street SW which borders a portion of the property west property line. The attached resolution takes into account the Zoning Code's lighting requirements.

This site is not located within FEMA's 100-year floodplain.

This site is not located within the City's Stream Buffer Ordinance area.

Comments from City Officials:

The following City departments were notified of the submitted site plan:

1. Public Works - reviewed and noted no concerns.
2. Engineering - still reviewing the submitted site plan and stormwater management report; this has been factored in as part of the attached resolution.
3. Fire Department - still reviewing the submitted site plan; this has been factored in as part of the attached resolution.

FUNDING SOURCE: N/A

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. Recommended approval of RESOLUTION NO. PZ-220324-10.
 2. **Recommended approval of RESOLUTION NO. PZ-220324-10, subject to certain Zoning Code clarification items being addressed.**
 3. Recommended denial of RESOLUTION NO. PZ-220324-10 .
 4. Table pending additional information.
-

Staff recommends approval of RESOLUTION NO. PZ-220324-10 , regarding recommended approval for the site plan at 1001 23rd Street SW, subject to the following Zoning Code items being

addressed:

1. That should any changes be requested by the City Engineer or Fire Marshal, the site plan and stormwater management must be updated and resubmitted to reflect these requested changes.
2. That the site plan's employee count information be completed to ensure minimum parking stall count requirements will be met.
3. That approval of this site plan also includes approval of the future potential parking space areas as shown on the plan. If this future parking space area is constructed, the developer must provide updated total impervious surface calculations to the City for stormwater billing purposes.
4. That the site plan be updated to clarify the number and location of the ADA parking spaces proposed.
5. That the landscaping plan be updated to show that at least 21 general trees will be planted within the required minimum front yard setback area.
6. That the site plan be updated to show/label all existing and proposed easements on site.
7. That sidewalks may be required if/when the City determines a logical connection exists, as is allowed per Chapter 136 of the City Code.
8. That further clarification be provided on location of exterior refuse collection be provided and how the area will be screened.
9. That all parking lot lighting shall be installed so that it is directed away from the adjacent residential use.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. RES. No. PZ-220324-10
2. Site Plan
3. Elevations

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-220324-10

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE SITE PLAN FOR
1001 23rd Street SW

WHEREAS, Shive-Hattery, Inc. submitted the site plan for 1001 23rd Street SW described as follows; AND

LOTS 4 AND 5, SHILOH ROSE BUSINESS PARK PLAT 2, POLK COUNTY, IOWA.

WHEREAS, the zoning for the property is Limited Industrial (M-1) and a warehouse facility use is a permitted use per Sections 178.13.1.GG of the Zoning Code.

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted site plan for 1001 23rd Street SW, subject to the following City Code/Policy clarification recommendation items:

1. That should any changes be requested by the City Engineer or Fire Marshal, the site plan and stormwater management must be updated and resubmitted to reflect these requested changes.
2. That the site plan's employee count information be completed to ensure minimum parking stall count requirements will be met.
3. That approval of this site plan also includes approval of the future potential parking space areas as shown on the plan. If this future parking space area is constructed, the developer must provide updated total impervious surface calculations to the City for stormwater billing purposes.
4. That the site plan be updated to clarify the number and location of the ADA parking spaces proposed.
5. That the landscaping plan be updated to show that at least 21 general trees will be planted within the required minimum front yard setback area.
6. That the site plan be updated to show/label all existing and proposed easements on site.
7. That sidewalks may be required if/when the City determines a logical connection exists, as is allowed per Chapter 136 of the City Code.
8. That further clarification be provided on location of exterior refuse collection be provided and how the area will be screened.
9. That all parking lot lighting shall be installed so that it is directed away from the adjacent residential use.

Moved by _____, Seconded by _____ to adopt.

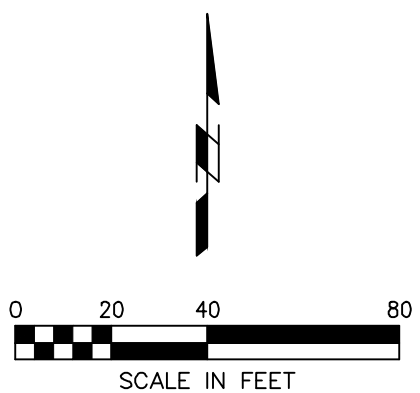
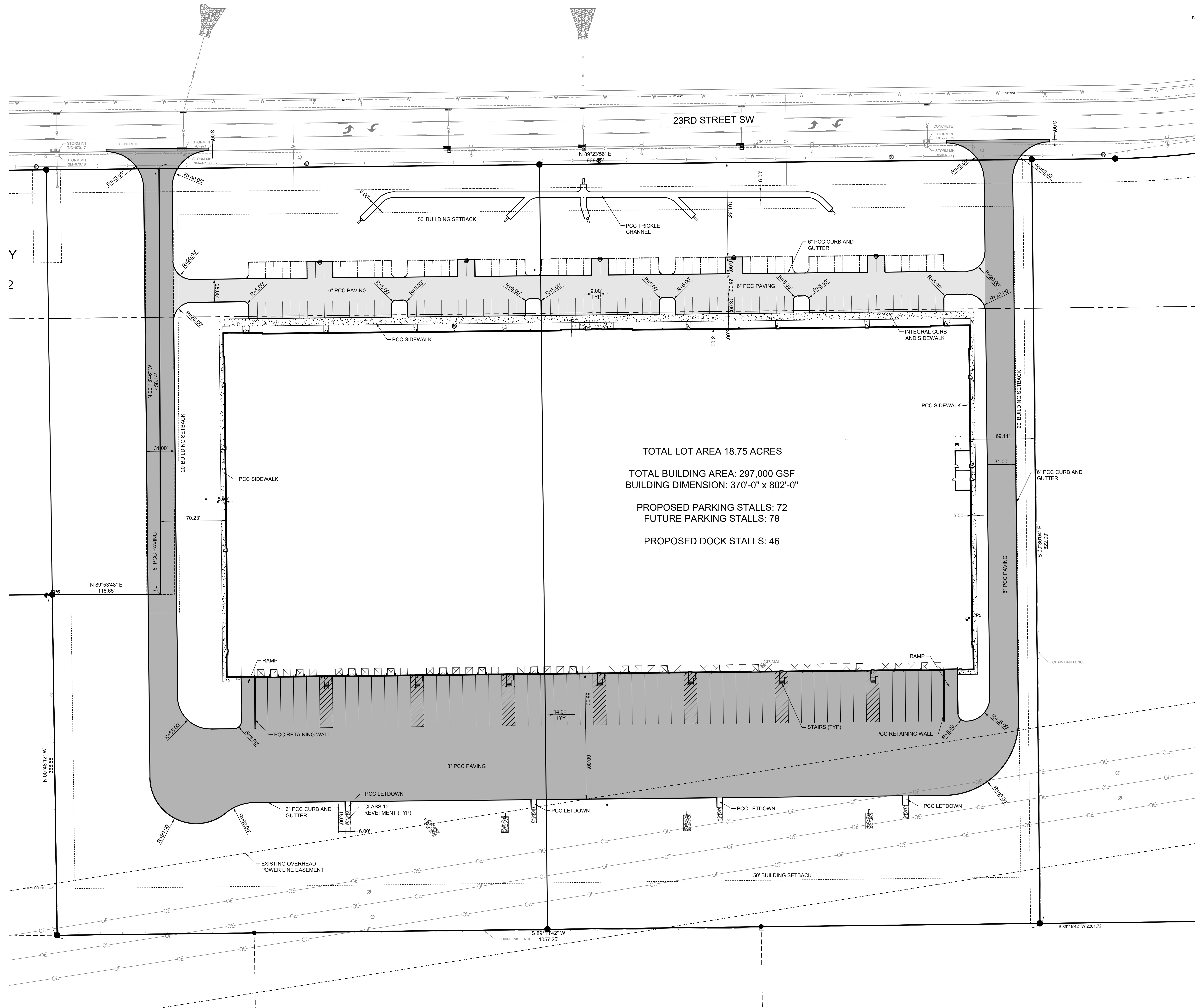
ATTEST: I, Maggie Murray, Planning & Community Development Director, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on March 24, 2022; among other proceedings the above was recommended.

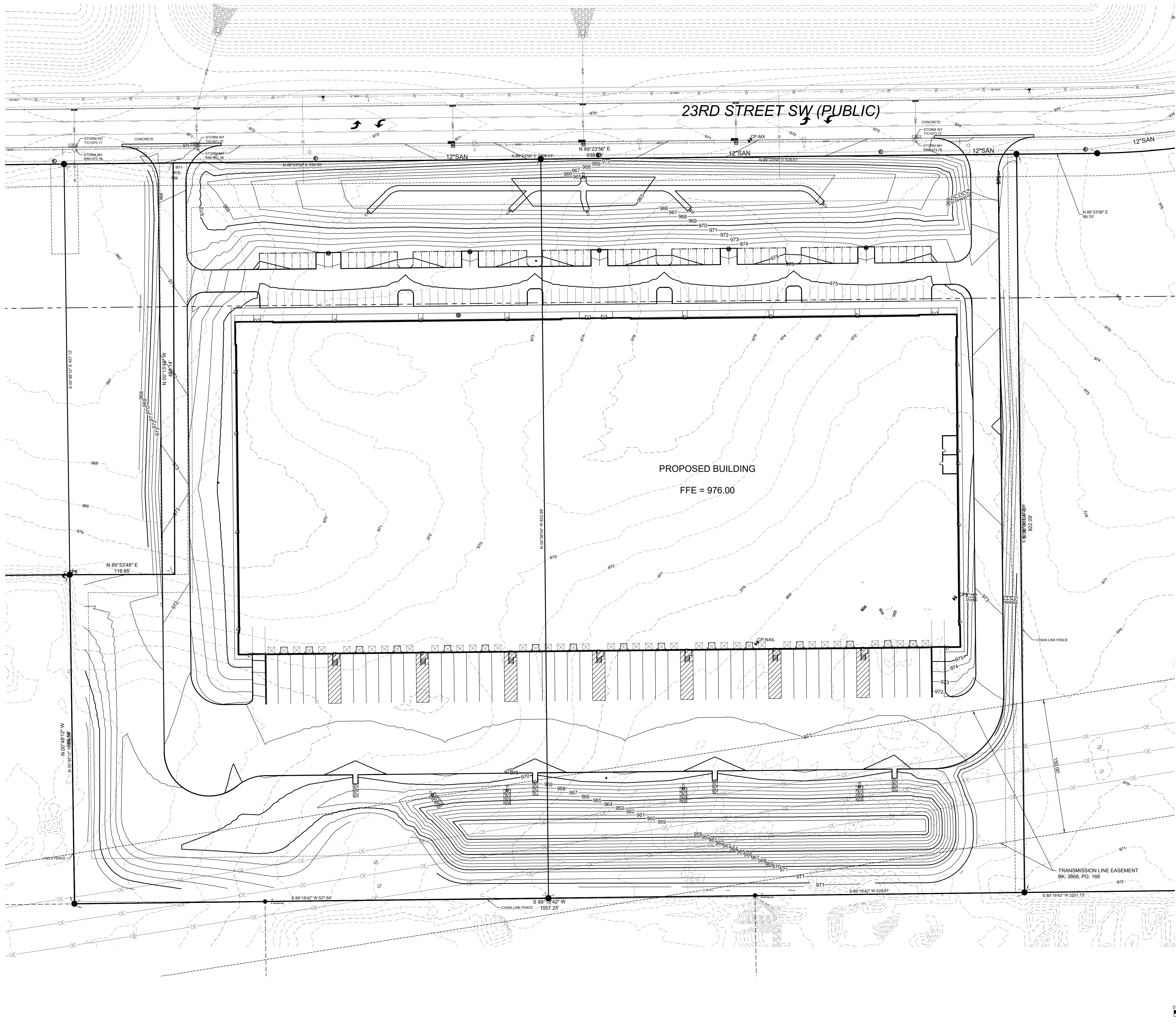
IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

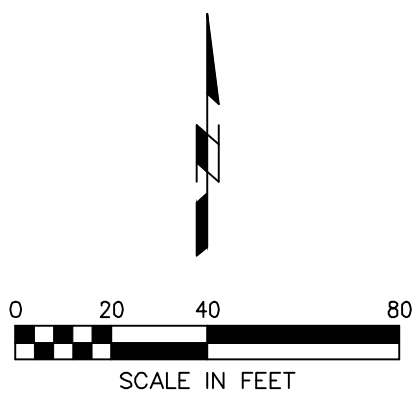
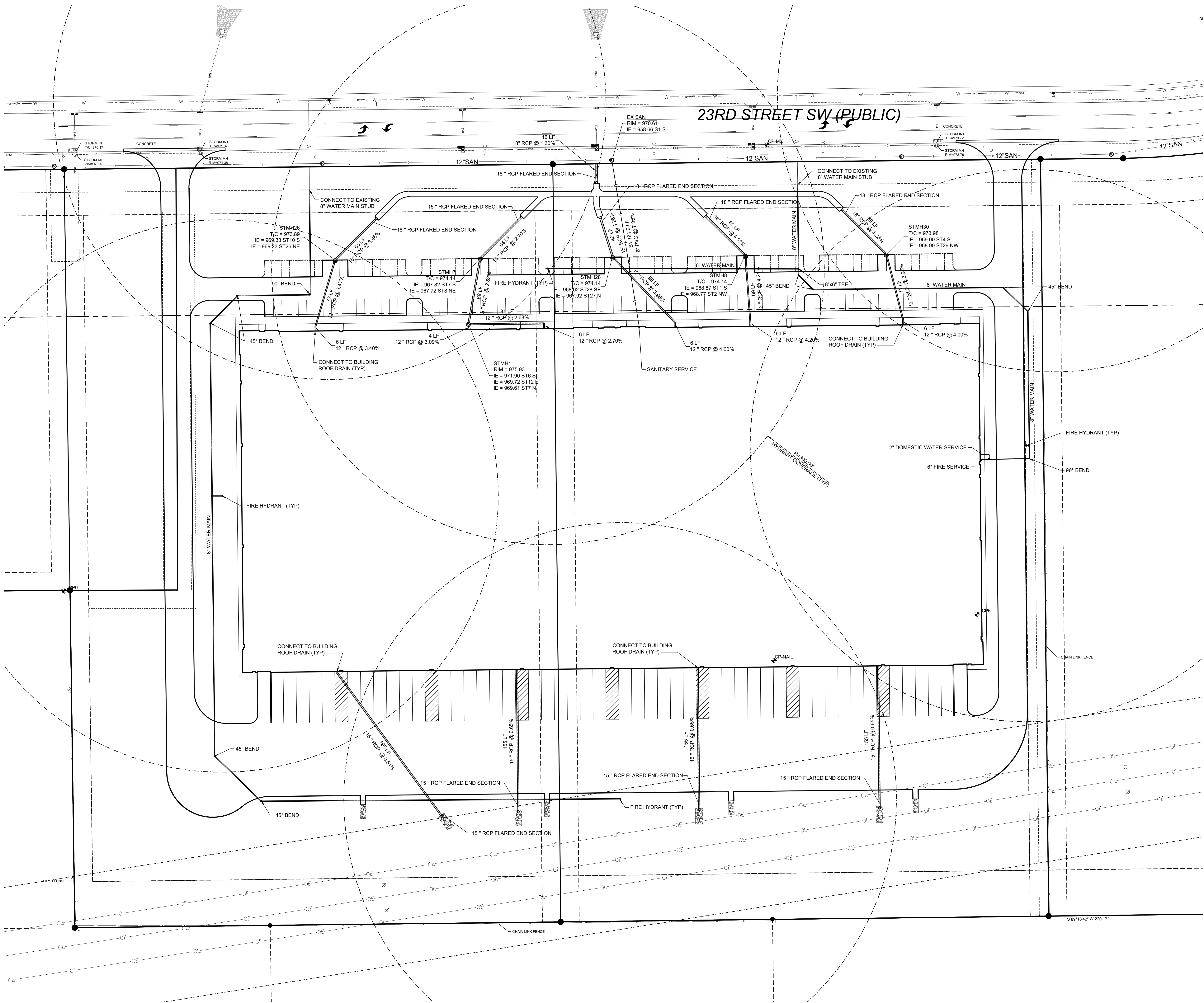
Maggie Murray, Planning & Community Development Director

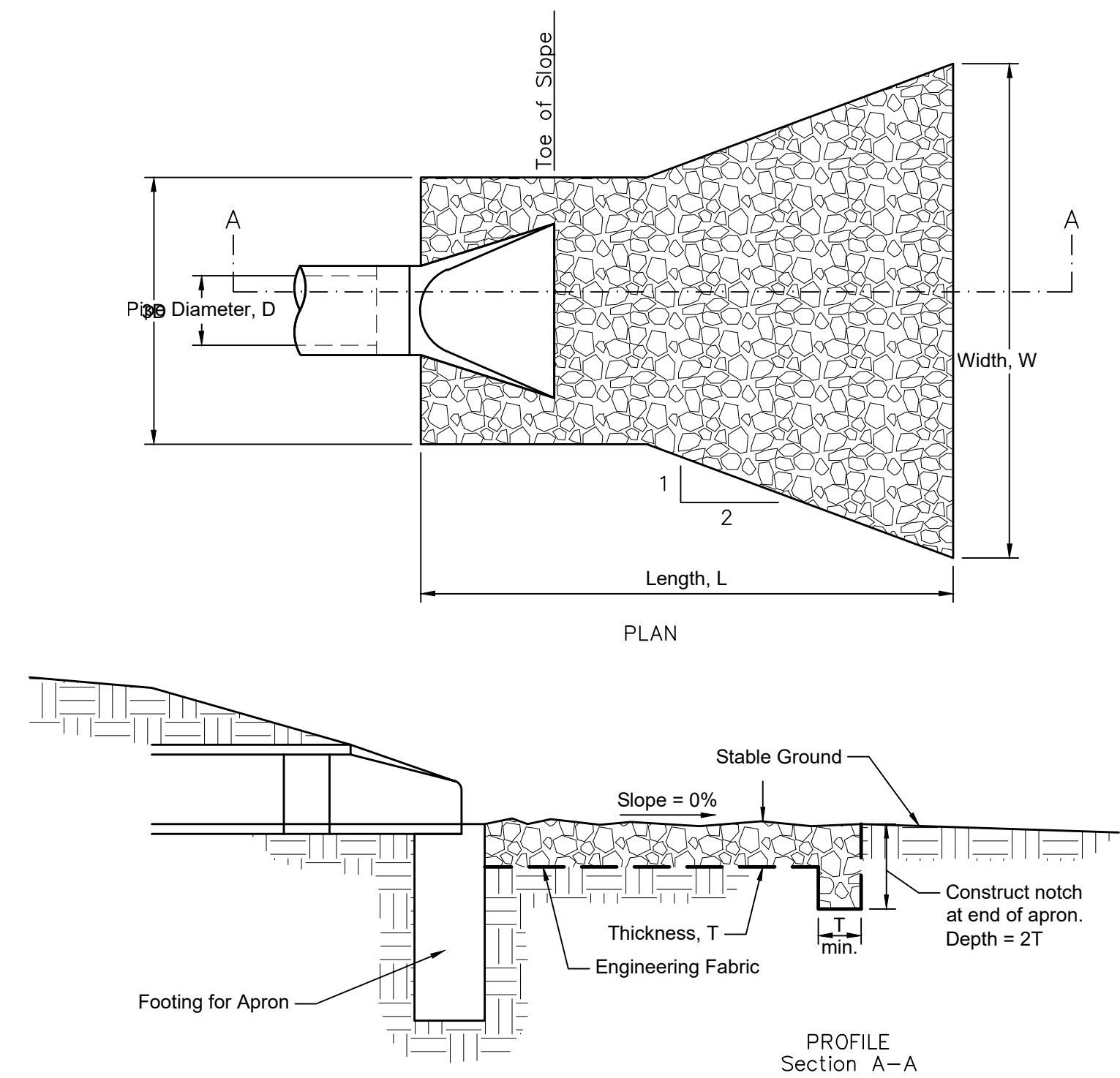
Action	Yay	Nay	Abstain	Absent
Cameron				
Clayton				
Mains				
Keeran				
Cuellar				
Hoyer				
Brostrom				

Torey Cuellar, Commission Chair

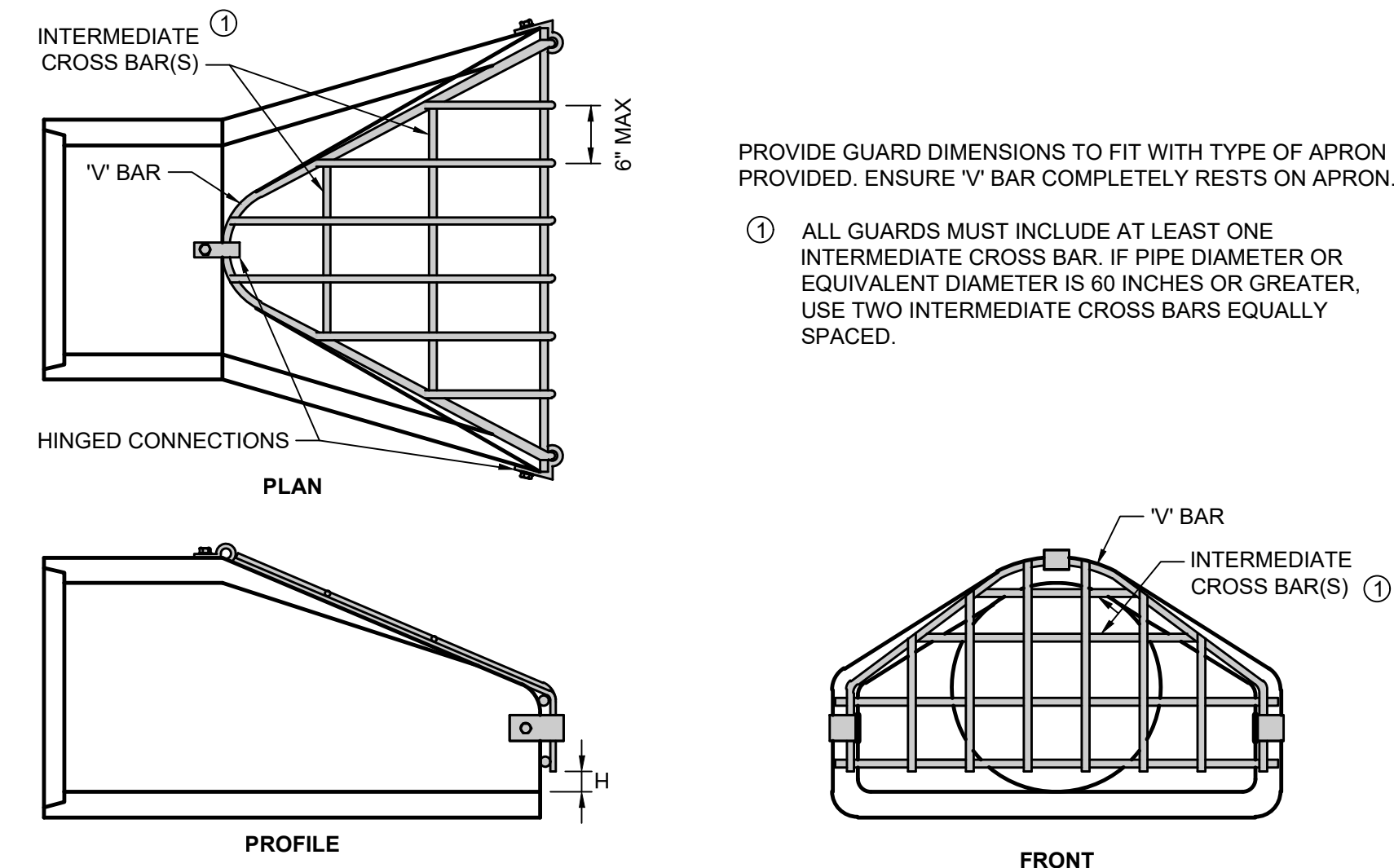
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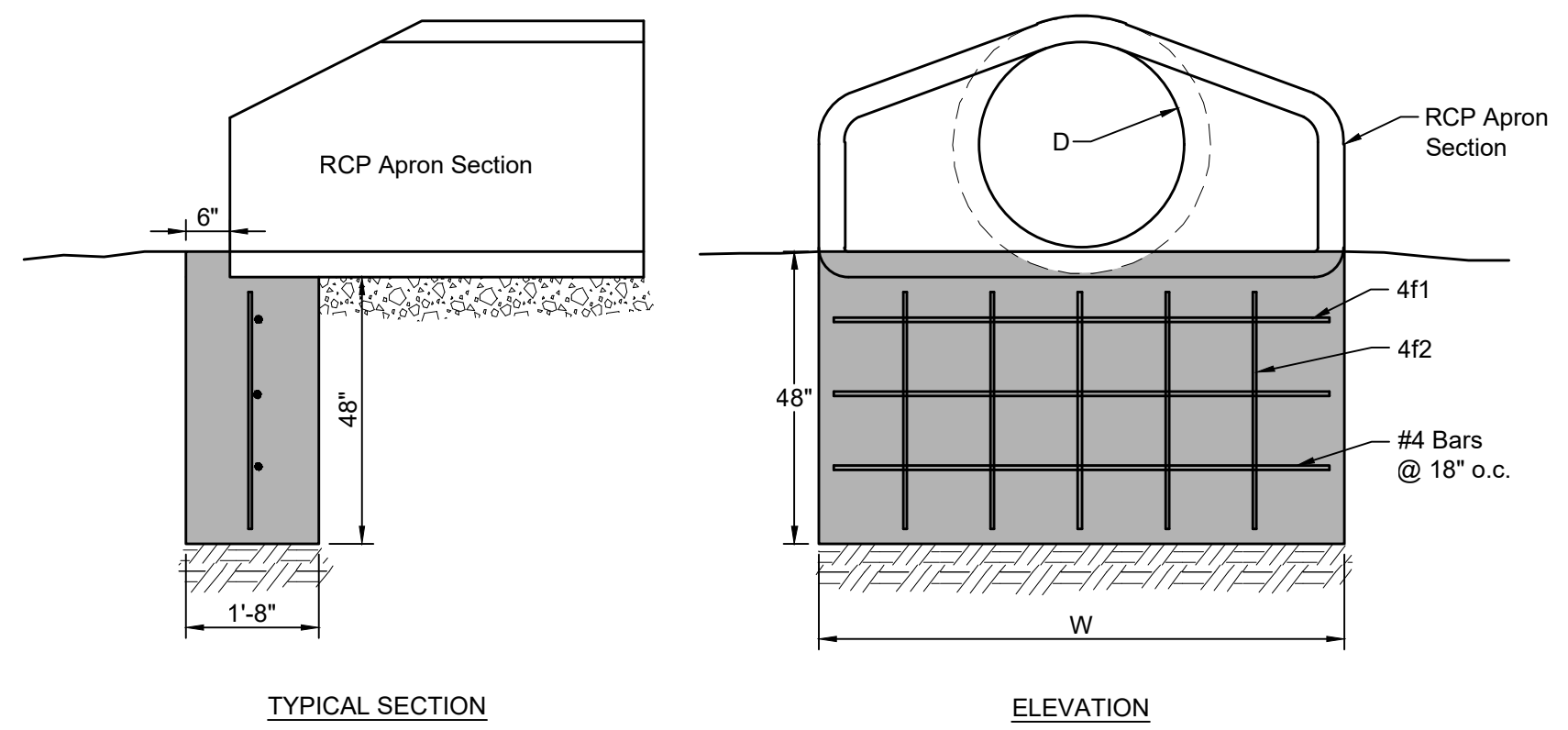
3 FLARED END SECTION RIP RAP
NOT TO SCALE



						BAR SIZES				
ROUND		ARCH		ELLIPTICAL		ROUND	PIPE SIZE (DIA. OR EQUIV.)	HOLE DIA. REQ'D.	BOLT DIA.	BAR SIZE
PIPE SIZE	H	EQUIVALENT DIAMETER	H	EQUIVALENT DIAMETER	H					
12"	24"	18"	24"	4"	16"	3"	23"	45"	8"	1"
15"	3"	30"	36"	5"	24"	4"	54"	90"	1 1/2"	1 1/2"
18"	24"	4"	42"	5 1/2"	6"	5"	54"	72"	1"	1 1/2"
24"	36"	5"	60"	7"	42"	6"	50"	24"	8"	8"
42"	54"	6"	60"	7"	60"	7"	50"	48"	6"	1"
60"	72"	6"	78"	9"	6"		54"	60"	8"	1 1/2"
72"	90"	6"								

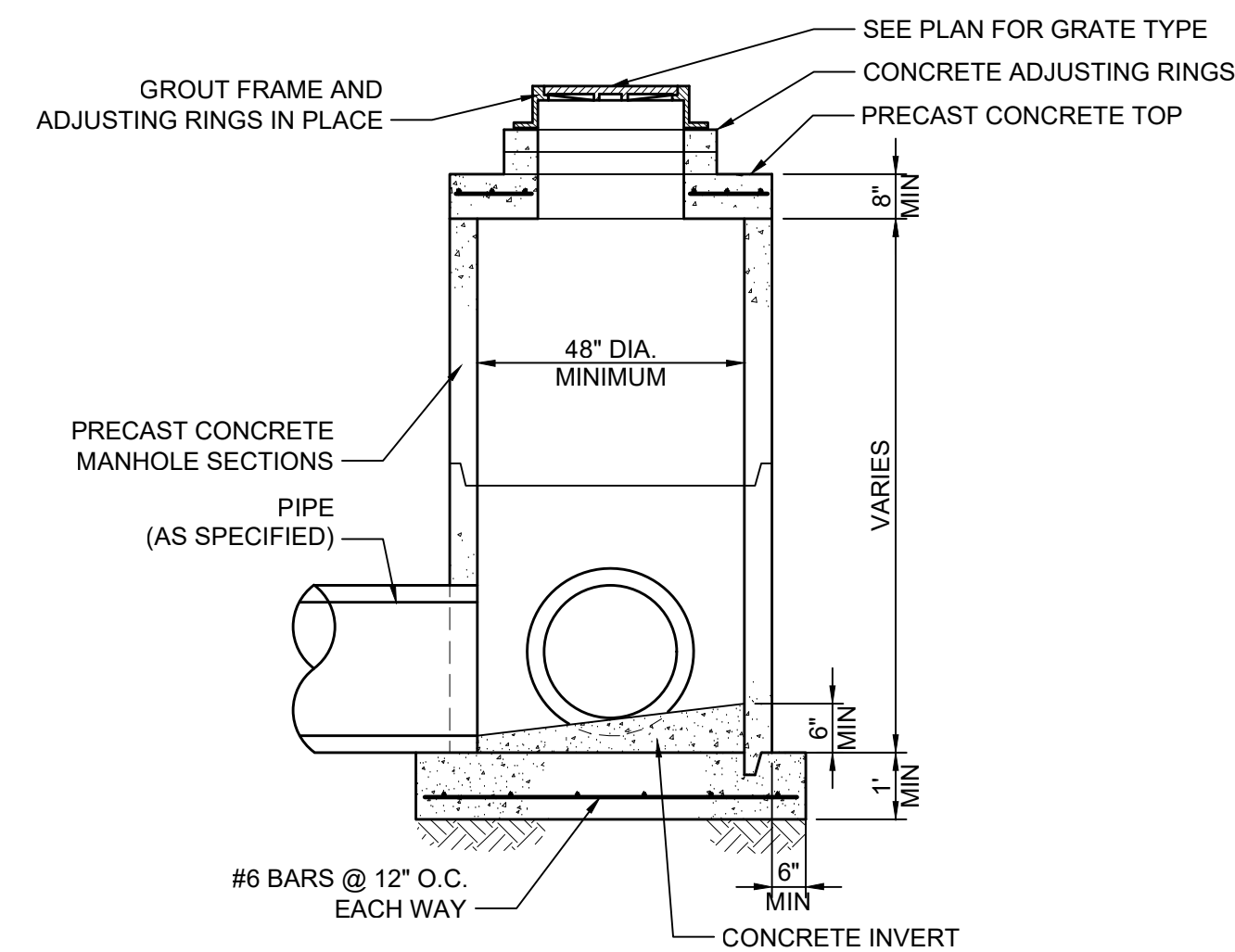
BOLT LENGTH = PIPE WALL THICKNESS x 2
PIPE WALL THICKNESS = 1/2"

5 FLARED END SECTION WITH TRASH GUARD
NOT TO SCALE

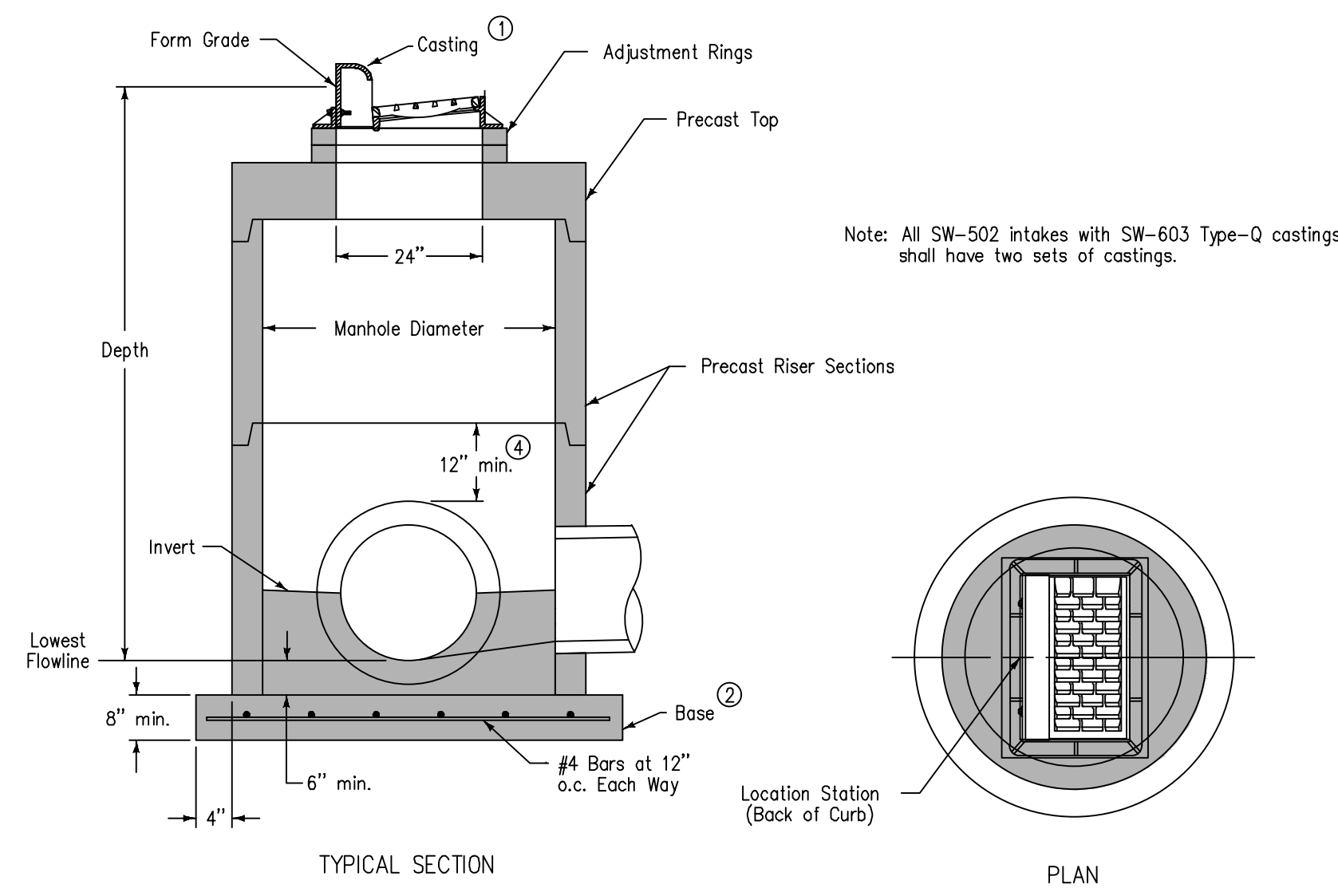


REINFORCING BAR LIST						REINFORCING BAR LIST					
D	W	Mark	Size	Length	Count	D	W	Mark	Size	Length	Count
12"	2'-4"	411	4	2'-0"	3	48"	7'-10"	411	4	7'-6"	3
		412	4	3'-8"	2			412	4	3'-8"	6
15"	2'-10 1/2"	411	4	2'-6 1/2"	3	54"	8'-5 1/2"	411	4	8'-1 1/2"	3
		412	4	3'-8"	2			412	4	3'-8"	6
18"	3'-5"	412	4	3'-1 1/2"	3	60"	8'-11"	411	4	8'-7"	3
		412	4	3'-8"	5			412	4	3'-8"	6
24"	4'-6"	411	4	4'-2"	3	66"	8'-11"	411	4	8'-7"	3
		412	4	3'-8"	3			412	4	3'-8"	6
30"	5'-7"	411	4	5'-3"	3	72"	10'-0"	411	4	9'-8"	3
		412	4	3'-8"	4			412	4	3'-8"	7
36"	6'-8"	412	4	6'-4"	3	78"	10'-7"	411	4	10'-3"	3
		412	4	3'-8"	5			412	4	3'-8"	7
42"	7'-3"	411	4	6'-11"	3	84"	11'-1"	411	4	10'-9"	3
		412	4	3'-8"	5			412	4	3'-8"	8

8 FLARED END SECTION FOOTING
NOT TO SCALE



2 STORM SEWER MANHOLE, (SW-401)
NOT TO SCALE



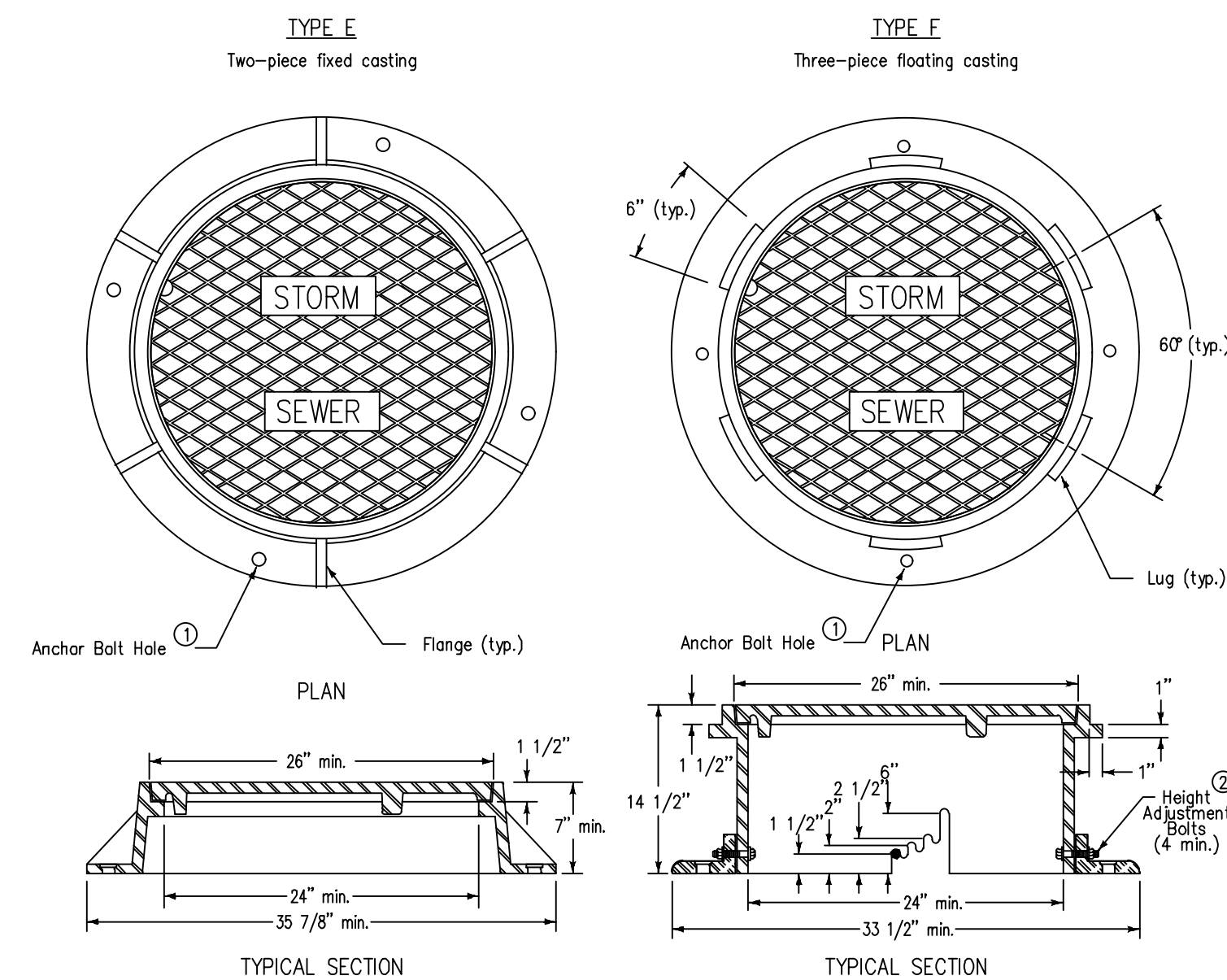
Refer to SW-514 for boxout details.

Refer to SW-514 for boxout details.

- ① Inlet casting shall be SW-603 drainage frame and grate or approved equal.
- ② Cast-in-place base shown. Base may be square. If base is precast integral with walls, the footprint of the base is not required to extend beyond the outer edge of the walls.
- ③ For additional configurations, maintain a minimum of 12 inches of concrete between vertical edges of pipe openings.
- ④ 12 inch minimum riser height above all pipes.

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes ^③	
	at 180° Separation	at 90° Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

4 CIRCULAR GRATE INTAKE, (SW-502)
NOT TO SCALE

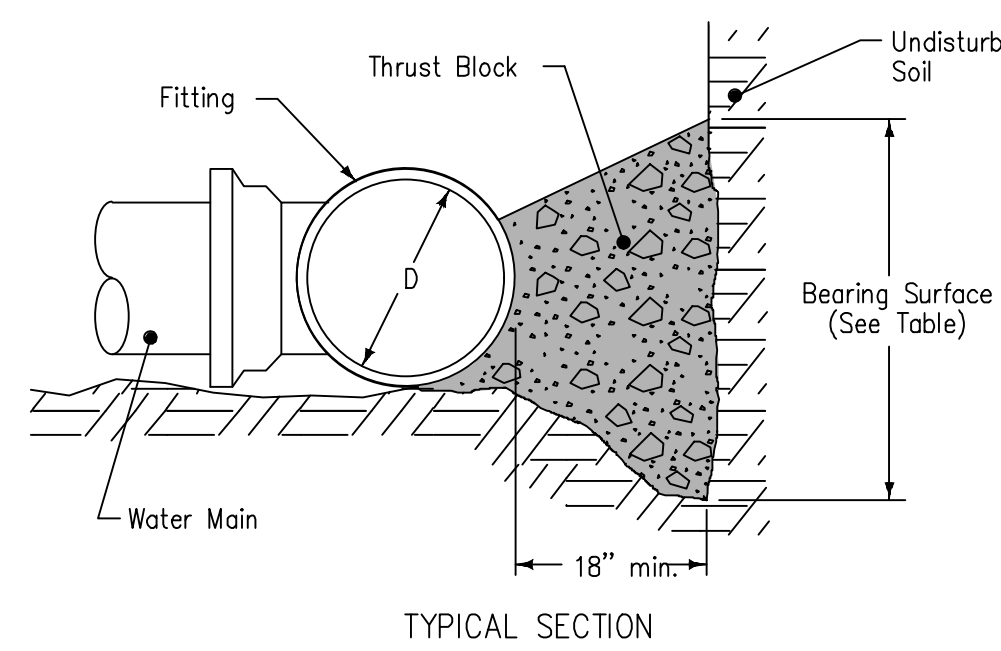
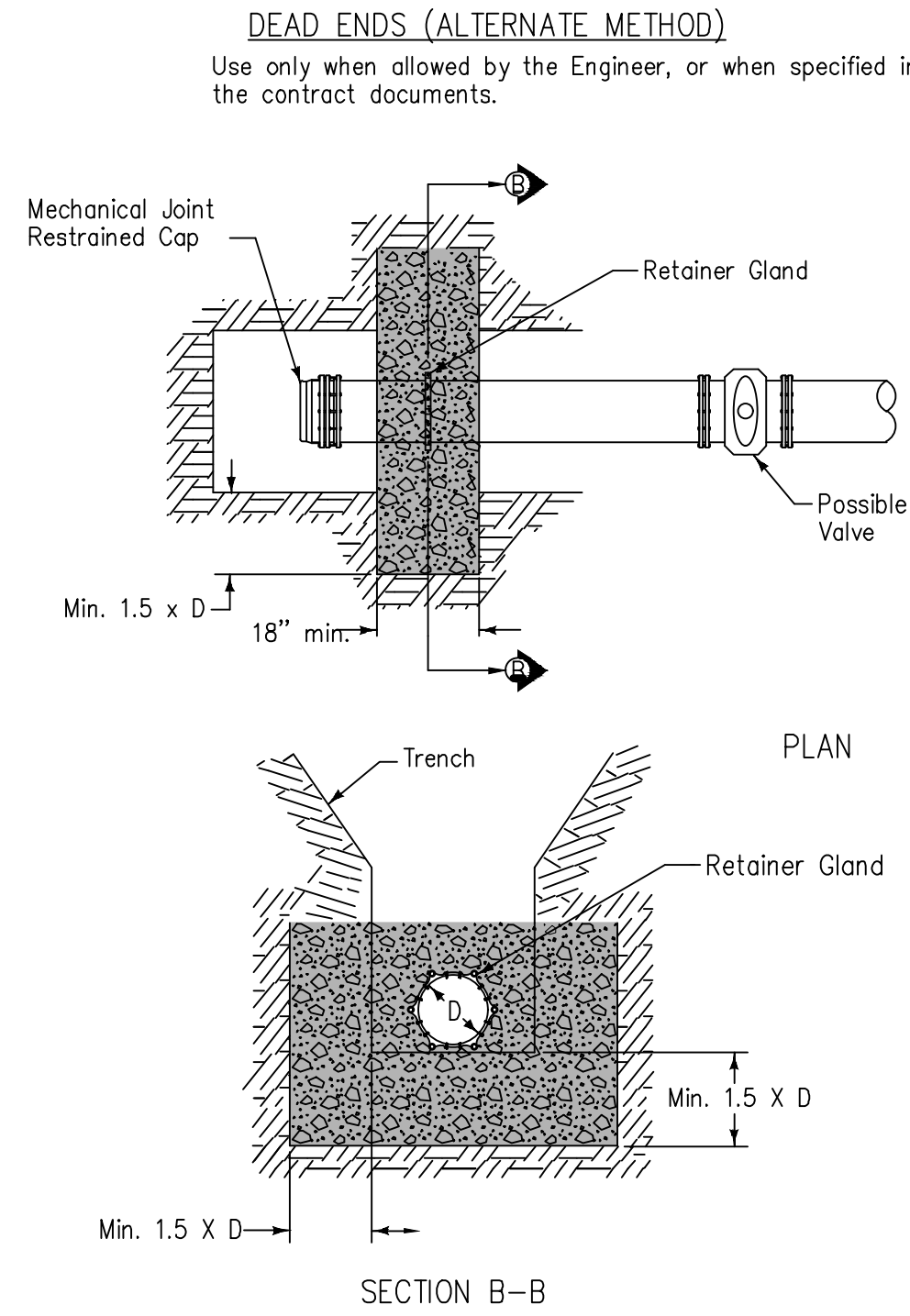
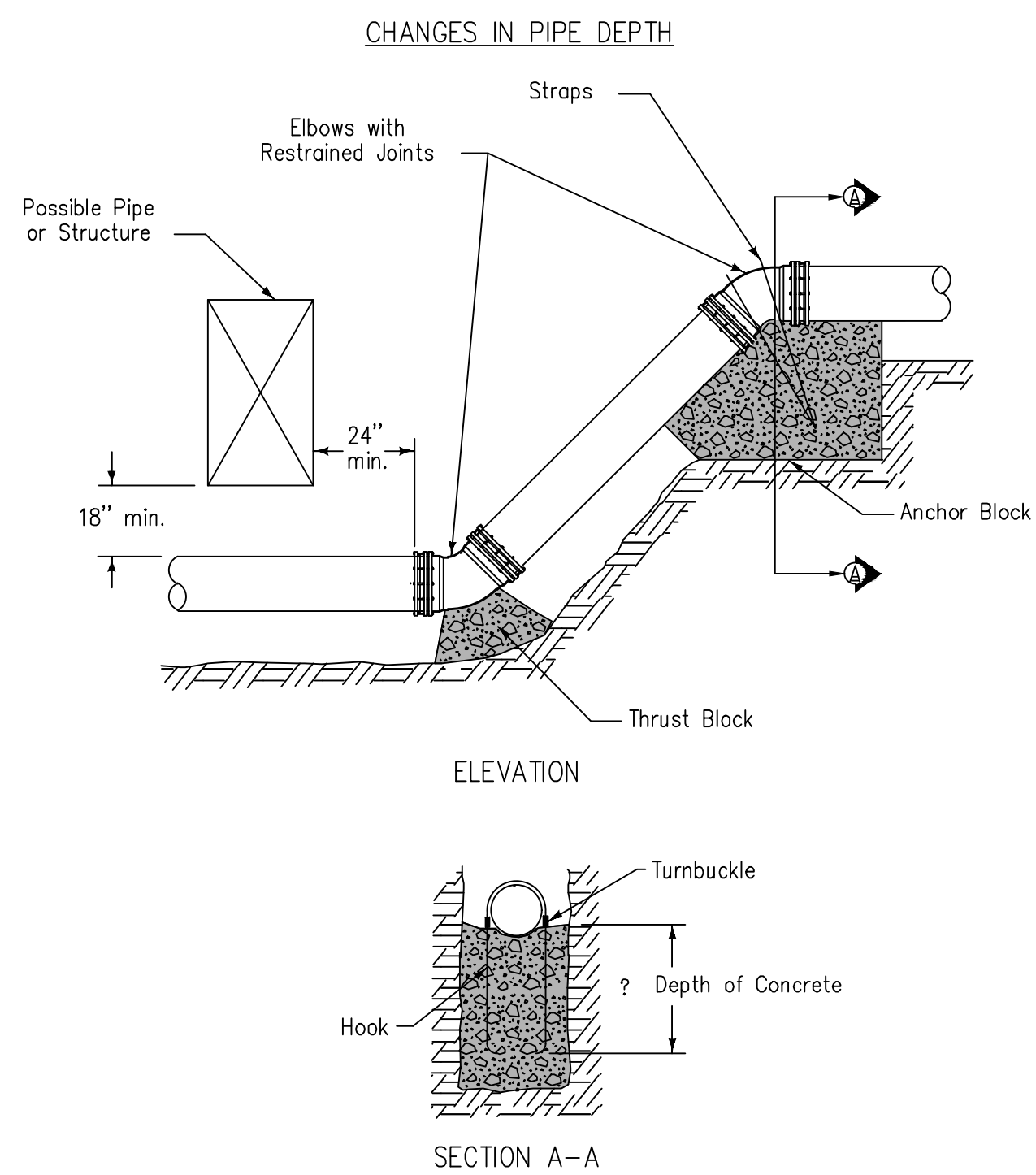


FRAME NOTES:
SIZE AND SPACING OF LUGS AND FLANGES MAY VARY.

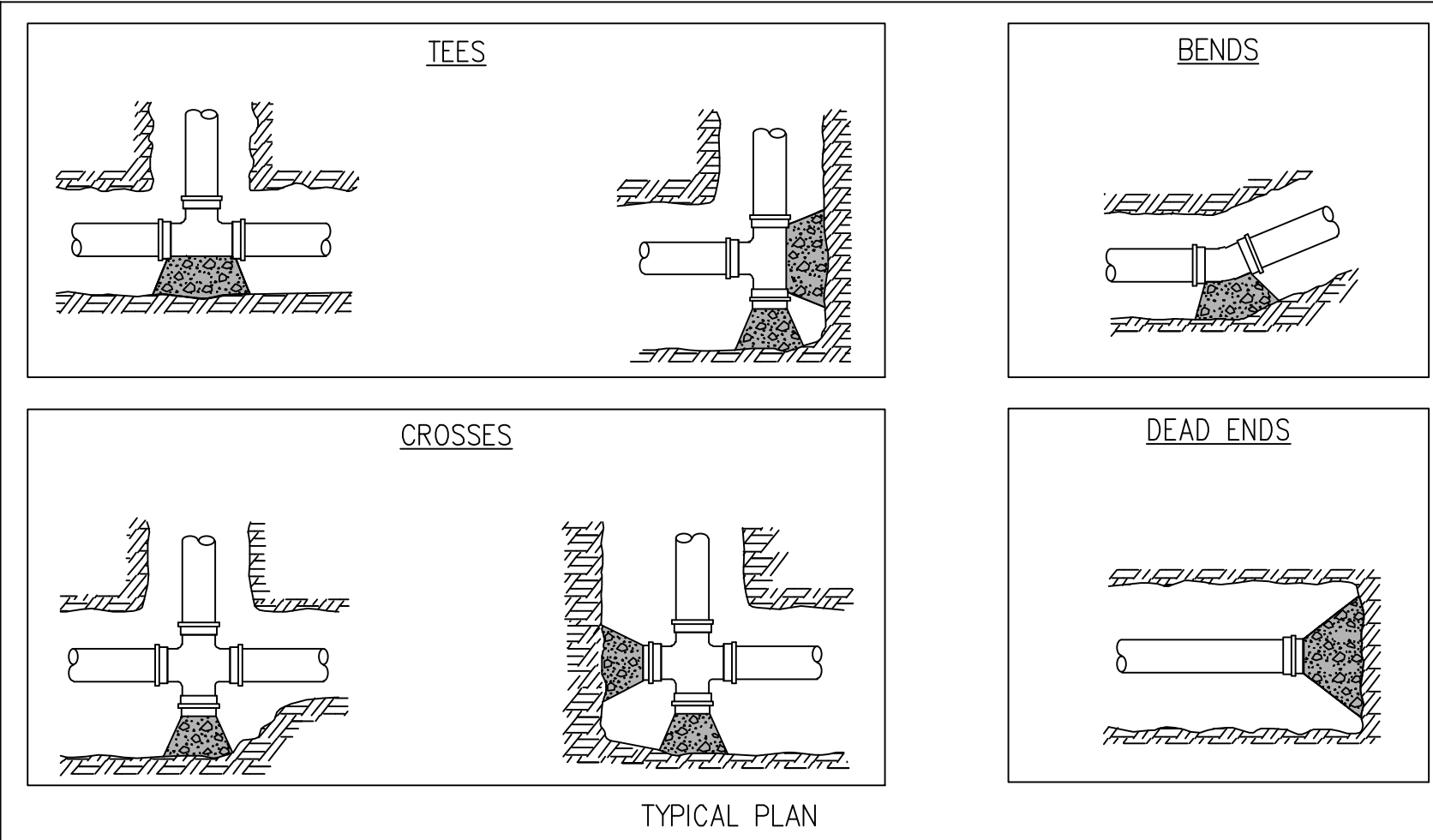
COVER NOTES:
ROUGHNESS PATTERN AND TEXT STYLES MAY VARY. MINIMUM ONE CONCEALED PICKHOLE

- ① IF FRAME IS REQUIRED TO BE ATTACHED TO STRUCTURE, DRILL FOUR 7/8" DIAMETER HOLES OR SLOTS EQUALLY SPACED AROUND FRAME.
- ② REMOVE BOLTS UPON COMPLETION OF PAVING

7 CASTINGS FOR STORM SEWER MANHOLES (SW-602)
NOT TO SCALE

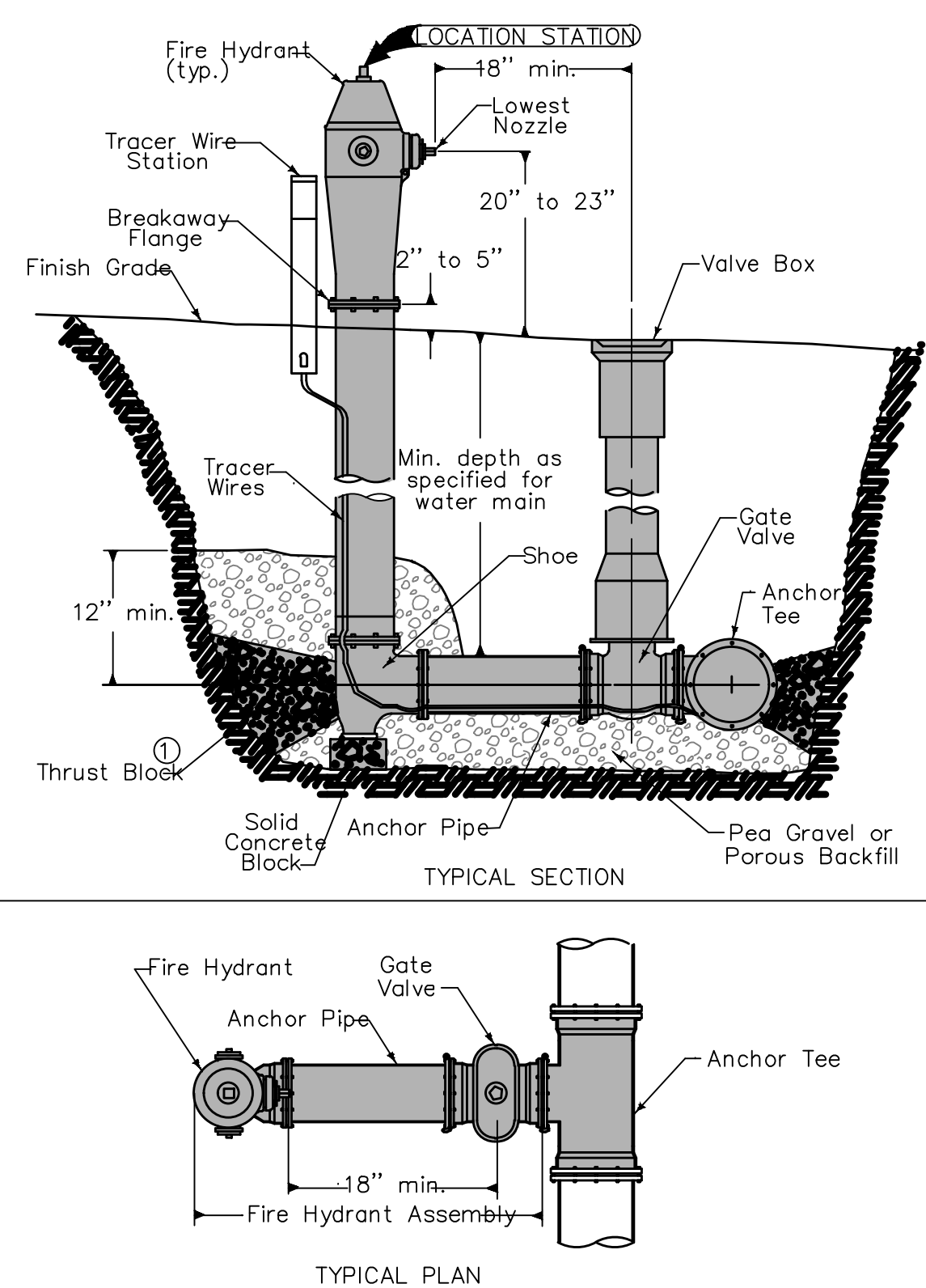


TYPICAL SECTION



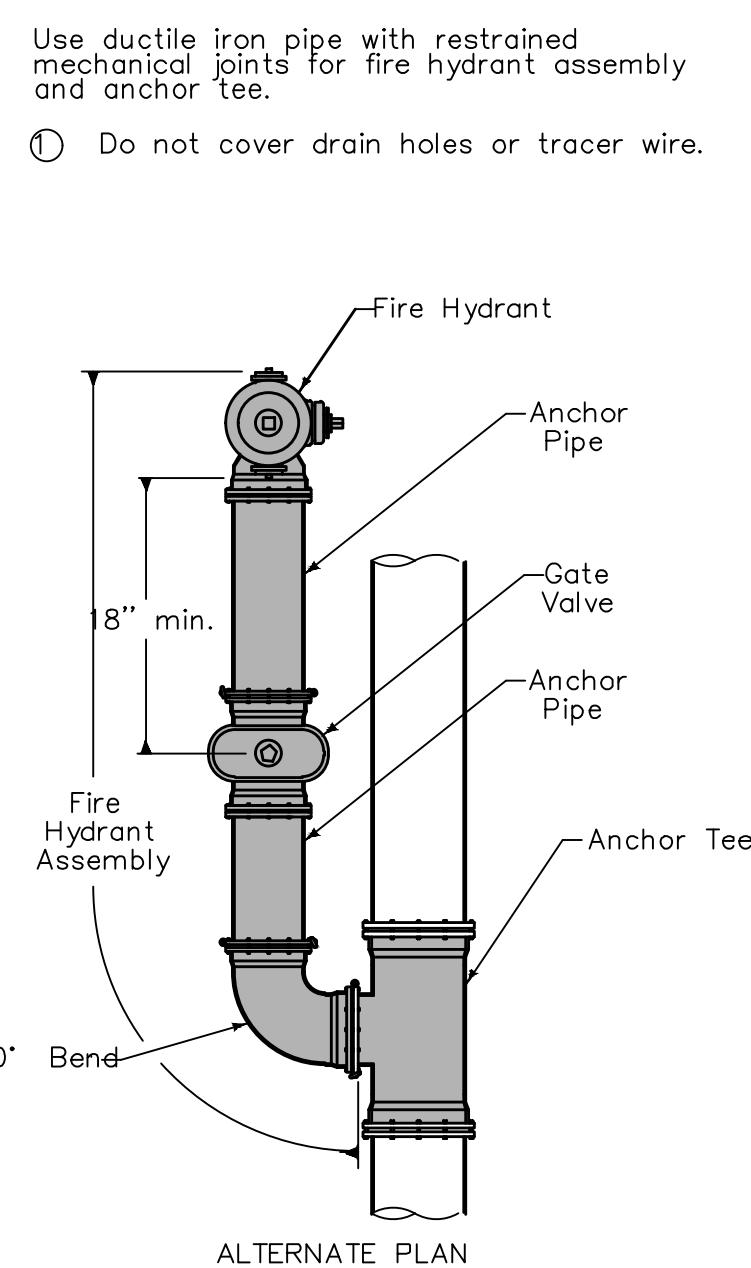
TYPICAL PLAN

1 THRUST BLOCKS
NOT TO SCALE



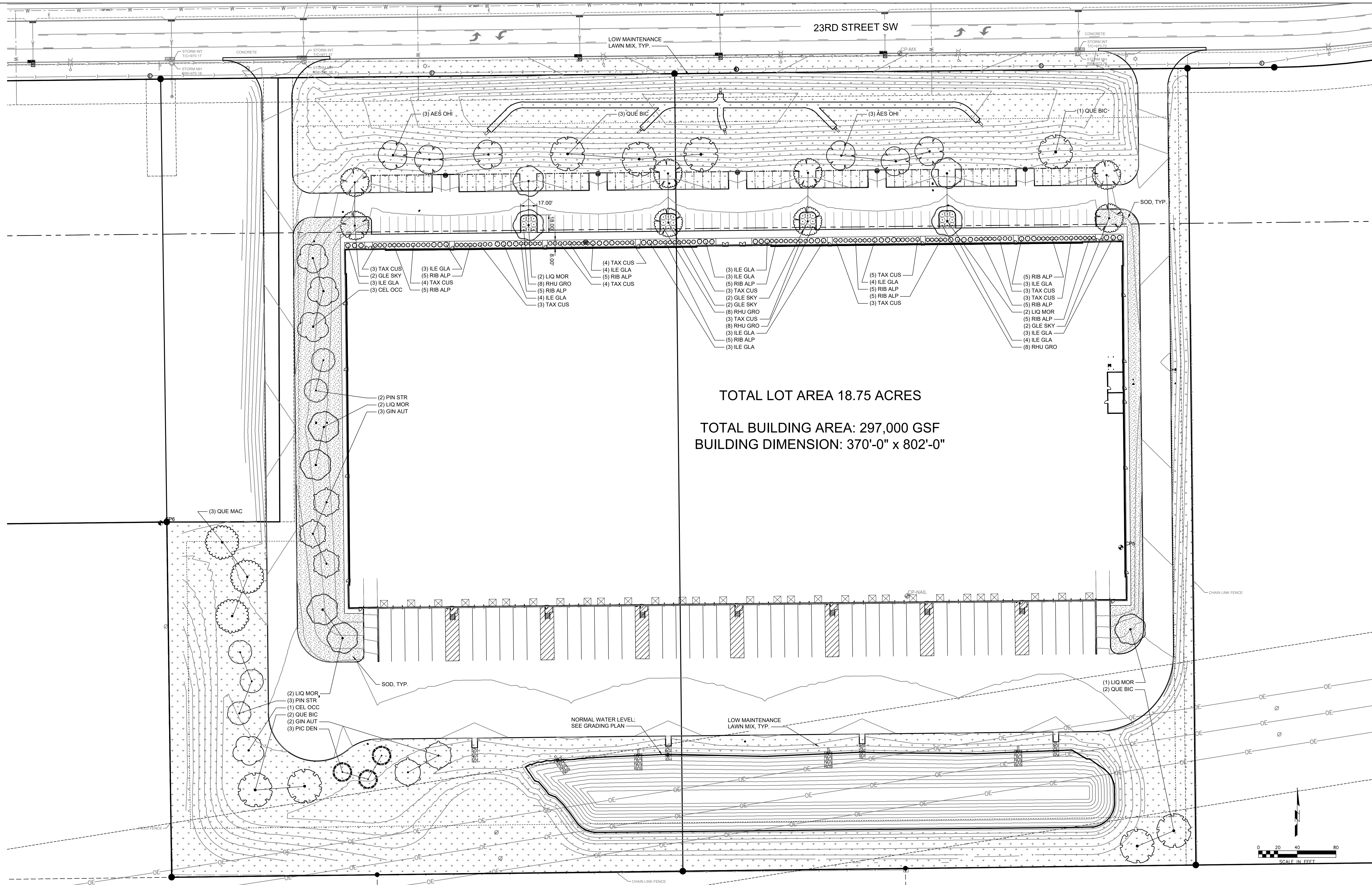
TYPICAL SECTI

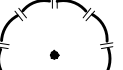
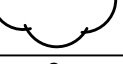
TYPICAL PLAN

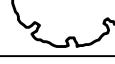
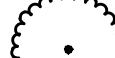
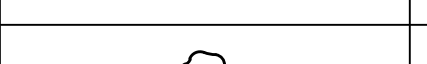


ALTERNATE PLAN

6 FIRE HYDRANT ASSEMBLY
NOT TO SCALE

[illegible]

PLANT SCHEDULE						
CONIFEROUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
	PIC DEN	3	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	B & B	6' HT.
	PIN STR	5	<i>Pinus strobus</i>	White Pine	B & B	6' HT.
DECIDUOUS SHADE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
	AES OHI	6	<i>Aesculus glabra</i>	Ohio Buckeye	B & B	1.75"Cal
	CEL OCC	4	<i>Celtis occidentalis</i>	Common Hackberry	B & B	2"Cal
	GIN AUT	5	<i>Ginkgo biloba</i> 'Autumn Gold' TM	'Autumn Gold' Ginkgo	B & B	1.75"Cal
	GLE SKY	8	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Honey Locust	B & B	1.75"Cal
	LIQ MOR	9	<i>Liquidambar styraciflua</i> 'Happdell'	Happidaze Sweet Gum	B & B	1.75"Cal

	QUE BIC	8	Quercus bicolor	Swamp White Oak	B & B	2"Cal
	QUE MAC	3	Quercus macrocarpa	Burr Oak	B & B	2"Cal
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
	ILE GLA	40	Ilex glabra 'Shamrock'	Shamrock Inkberry	1 gal	ILE
	RHU GRO	32	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	CONT.	3 gal
	RIB ALP	55	Ribes alpinum	Alpine Currant	CONT.	3 gal
	TAX CUS	38	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	1 gal	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	LOW LAW	258,153 sf	Low Maintenance Lawn Mix	Low Maintenance Lawn Mix	SF	
	SOD S10	30,644 sf	Sod Grass	Sod	SF	

CONSULTANTS

KEY PLAN

KEY PLAN

PROJECT INFORMATION

SHILOH ROSE

801 23RD STREET SW
BONDURANT, IOWA 50035

© 2021 RYAN A+E, INC

DRAWN BY	CHECKED BY
BMV	CBE
JOB NO.	DATE
421580	2022-03-04

[illegible]LANDSCAPE NOTES
AND DETAILS

L102

SEEDING NOTES:

1. ALL SEED INSTALLATION AND RELATED WORK SHALL CONFORM TO CURRENT IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) DIVISION 9, SECTION 9010 - SEEDING, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL PROVIDE ALL SUBMITTAL INFORMATION AS DESCRIBED IN SUDAS SECTION 9010 INCLUDING PROPOSED SEEDING METHODS AND SCHEDULE FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. PREPARE TOPSOIL AND SEED BED IN CONFORMANCE WITH SUDAS SECTION 2010 - EARTHWORK, AND SECTION 9010.
4. THE CONTRACTOR SHALL UTILIZE TEMPORARY COVER CROPS IN CONFORMANCE WITH SUDAS SECTION 9010 AS NEEDED TO COMPLY WITH SITE STABILIZATION AND EROSION CONTROL REGULATIONS, INCLUDING TEMPORARY SEEDING AS NEEDED WITHIN DETENTION BASIN PONDING AREAS.
5. LOW MAINTENANCE LAWN MIX SHALL BE UNITED SEEDS "SUPER TURF II LS" (CERTIFIED BLUE TAG) OR APPROVED EQUAL. INSTALL AT LOCATIONS SHOWN ON PLAN AND ALL OTHER DISTURBED AREAS UNLESS OTHERWISE NOTED. INSTALL IN COMPLIANCE WITH SEEDING RATES, DATES, AND METHODS RECOMMENDED BY SUPPLIER, AND IN CONFORMANCE WITH SUDAS DIVISION 9, SECTION 9010, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL PROVIDE A 12 MONTH WARRANTY ON LOW MAINTENANCE LAWN MIX AS DESCRIBED IN SUDAS SECTION 9010.

LANDSCAPE SUMMARY:

ZONING: M-1 LIMITED INDUSTRIAL ZONE

TOTAL LOT AREA: 18.75 ACRES = 816,750 SF

MINIMUM OPEN SPACE: 10% OF TOTAL LOT AREA
REQUIRED: 816,750(0.10) = 81,675 SF
PROVIDED: 325,416 SF

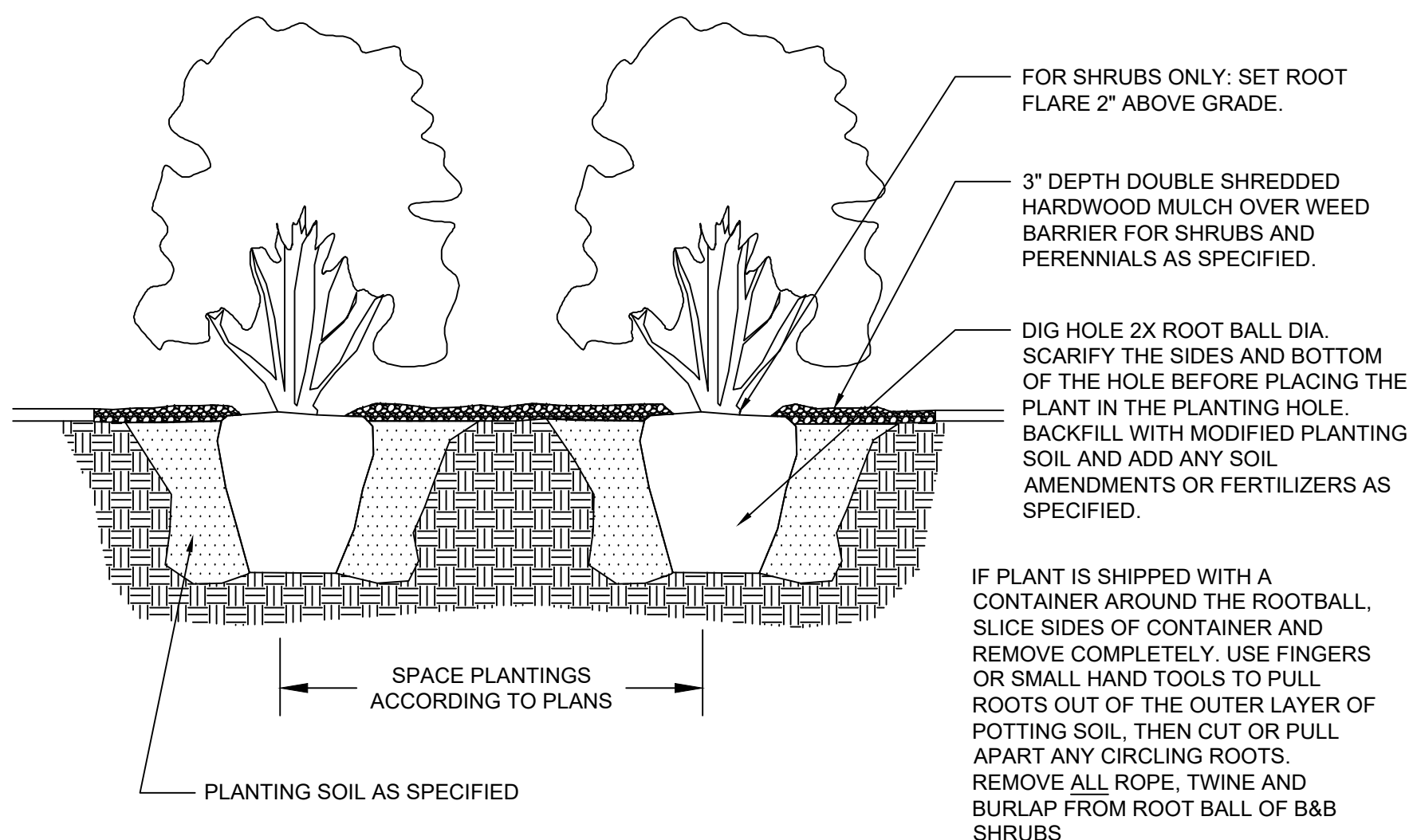
LANDSCAPE OPEN SPACE: 90% OF TOTAL OPEN SPACE
81.675(0.90) = 73.508 SF

OPEN SPACE TREE REQUIREMENT: 1 TREE PER 6 PARKING/LOADING/STACKING SPACES
 REQUIRED: $193 \text{ SPACES} / 6 = 32.2 = 32 \text{ TREES}$
 PROVIDED: 39 TREES

INTERIOR PARKING TREE REQUIREMENT: 1 TREE SHALL BE PLACED PER 18 PARKING STALLS
REQUIRED: 147 SPACES/ 18 = 8.2 = 8 TREES
PROVIDED: 10 TREES

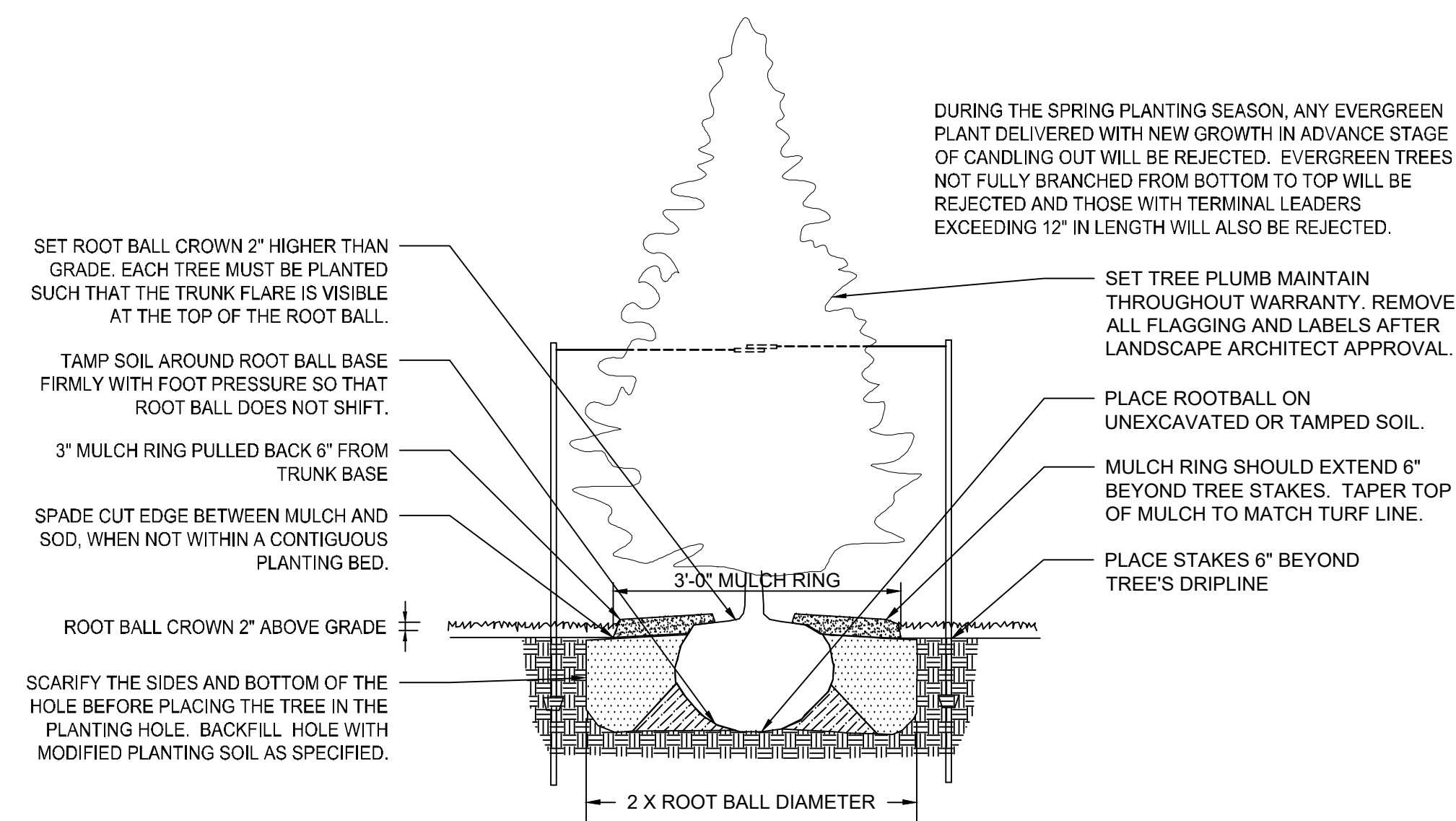
SODDING AND LIVE PLANTING NOTES:

1. ALL SOD INSTALLATION AND RELATED WORK SHALL CONFORM TO CURRENT IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) DIVISION 9, SECTION 9020 - SODDING, UNLESS OTHERWISE NOTED.
2. ALL PLANT INSTALLATION AND RELATED WORK SHALL CONFORM TO CURRENT IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) DIVISION 9, SECTION 9030 - PLANT MATERIAL AND PLANTING, UNLESS OTHERWISE NOTED.
3. ALL PLANTING WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES ON SITE.
4. LOCATIONS OF ALL UTILITIES SHOWN ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. PROTECT ALL EXISTING AND NEW STRUCTURES AND UTILITY SERVICES DURING INSTALLATION OF ALL PLANT MATERIAL. IF CONFLICTS EXIST BETWEEN PROPOSED PLANTING LOCATIONS AND OTHER STRUCTURES AND UTILITIES, CONTRACTOR SHALL COORDINATE PLANTING ADJUSTMENTS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE. ANY AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
7. ALL TREES, SHRUBS, AND PERENNIAL PLANTS ARE LISTED IN THIS PLANT SCHEDULE. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE DRAWINGS AND QUANTITIES LISTED IN THE PLANT SCHEDULE, THE PLANT QUANTITIES SHALL PREVAIL.
8. ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.S.N.S.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO THE A.S.N.S.
9. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
10. THE CONTRACTOR SHALL SUBMIT DOCUMENTATION VERIFYING PLANT CULTURE, SIZE, CONDITION, AND NURSERY CERTIFICATION IN CONFORMANCE WITH SUDAS SECTION 9030 TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REJECT PLANTS THAT DO NOT CONFORM TO PROJECT SPECIFICATIONS AND ANSI STANDARDS UPON DELIVERY TO THE SITE.
11. SOD SHALL BE RHIZOMATOUS TURF-TYPE TALL FESCUE BY AGRILAND FS OR APPROVED EQUAL.
12. WOOD MULCH SHALL BE DOUBLE-SHREDDED HARDWOOD MULCH, PLACED TO A 3" TYPICAL DEPTH PER PLAN.
13. PLANTING SOIL MIX SHALL CONSIST OF (1) PART LEAF-BASED ORGANIC COMPOST THOROUGHLY MIXED WITH (3) PARTS EXISTING OR IMPORTED LOAM TOPSOIL, PLACED TO A MINIMUM DEPTH OF 12".
14. THE CONTRACTOR SHALL PREPARE TOPSOIL IN ALL SODDED AREAS TO CONFORM WITH SUDAS SECTION 2010 - EARTHWORK.
15. THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING SOIL MIX.
16. THE CONTRACTOR SHALL PROVIDE A MECHANICAL SPADE-CUT EDGE AT THE PERIMETER OF MULCHED PLANTING BEDS PER PLAN.
17. APPLY PRE-EMERGENT WEED PREVENTER TO PLANTING AREAS PRIOR TO MULCHING. TOP-DRESS PLANTING AREAS WITH DOUBLE-SHREDDED HARDWOOD MULCH TO A DEPTH OF 3".
18. CLUSTERED PLANTINGS OF PERENNIALS AND SHRUBS SHALL BE PLANTED IN A CONTIGUOUS MULCH BED. DECIDUOUS TREES SHALL RECEIVE INDIVIDUAL MULCH RINGS PER DETAIL, WHICH SHALL BE A MINIMUM DISTANCE OF 5' APART TO ACCOMMODATE MOWING OPERATIONS.
19. THE CONTRACTOR SHALL GUARANTEE ALL SOD TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION OR SHALL BE REPLACED FREE OF CHARGE, BY CONTRACTOR, WITH THE SAME GRADE AND SPECIES IN CONFORMANCE WITH THE ESTABLISHMENT PERIOD DESCRIBED IN SUDAS SECTION 9020.
20. THE CONTRACTOR SHALL GUARANTEE ALL LIVE PLANT MATERIAL TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL YEAR AFTER SUBSTANTIAL COMPLETION OR SHALL BE REPLACED FREE OF CHARGE, BY CONTRACTOR, WITH THE SAME GRADE AND SPECIES IN CONFORMANCE WITH THE ESTABLISHMENT PERIOD DESCRIBED IN SUDAS SECTION 9030.
21. POINTS OF INSPECTION: THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE AT LEAST FIVE (5) DAYS PRIOR TO START OF WORK, INSPECTIONS, OR DELIVERY TO THE PROJECT SITE TO ALLOW FOR INSPECTION SCHEDULING FOR EACH OF THE FOLLOWING WORK ACTIVITIES LISTED BELOW. THE NOTICE SHALL BE SENT BY CONFIRMABLE EMAIL OR FACSIMILE TRANSMISSION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE.
 - A. PRE-INSTALLATION MEETING: THE CONTRACTOR SHALL MEET WITH THE OWNER AND/OR OWNER'S REPRESENTATIVE AT LEAST FIVE (5) DAYS PRIOR TO THE START OF ANY WORK OR DELIVERIES TO THE JOB SITE.
 - B. 1ST INSPECTION MEETING: THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE 5 DAYS IN ADVANCE FOR REVIEW ON PLANT STOCK DELIVERY, BALLED AND BURLAPPED TREE PLANTING PROCEDURES, PLANT BED PREPARATION, AND OTHER REVIEW. THIS MEETING SHALL OCCUR BEFORE PLANTING BEGINS TO ENSURE BEDS ARE CORRECT AND THE PROPER PLANTING PROCEDURES ARE FOLLOWED.
 - C. FINAL INSPECTION MEETING: THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE 5 DAYS IN ADVANCE FOR REVIEW OF COMPLETE INSTALLATION, A PUNCHLIST BY THE OWNER AND/OR OWNER'S REPRESENTATIVE SHALL BE CREATED AND SENT TO THE CONTRACTOR AND OWNER TO COORDINATE ANY CLEAN UP, PLANT REPLACEMENT, AND REPAIR.
 - D. FINAL PROJECT ACCEPTANCE: THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST TO THE OWNER AND/OR OWNER'S REPRESENTATIVE FOR SITE INSPECTION AT LEAST FOURTEEN (14) DAYS BEFORE THE ANTICIPATED DATE OF INSPECTION.



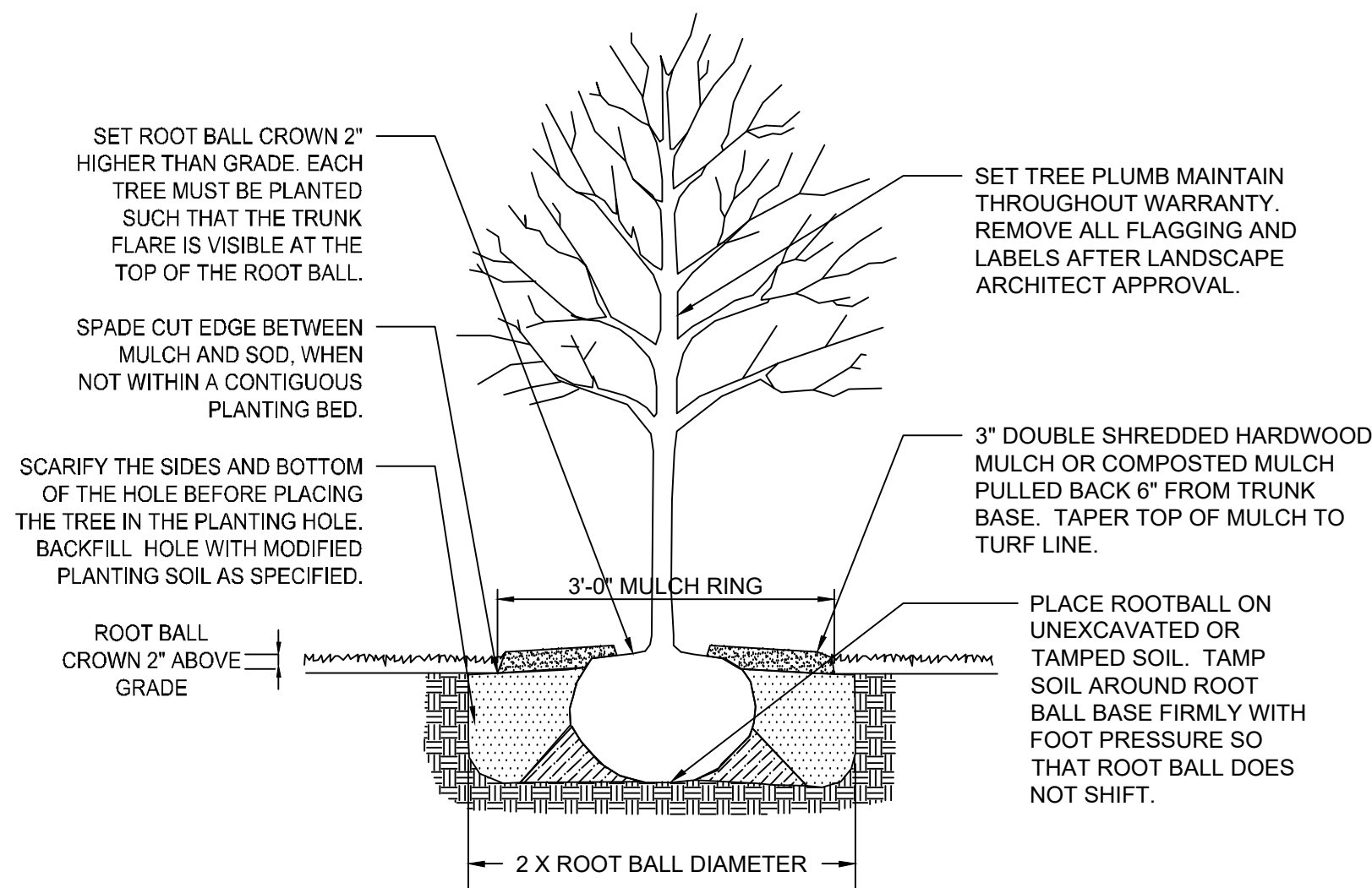
PERENNIAL AND SHRUB PLANTING BED

NTS



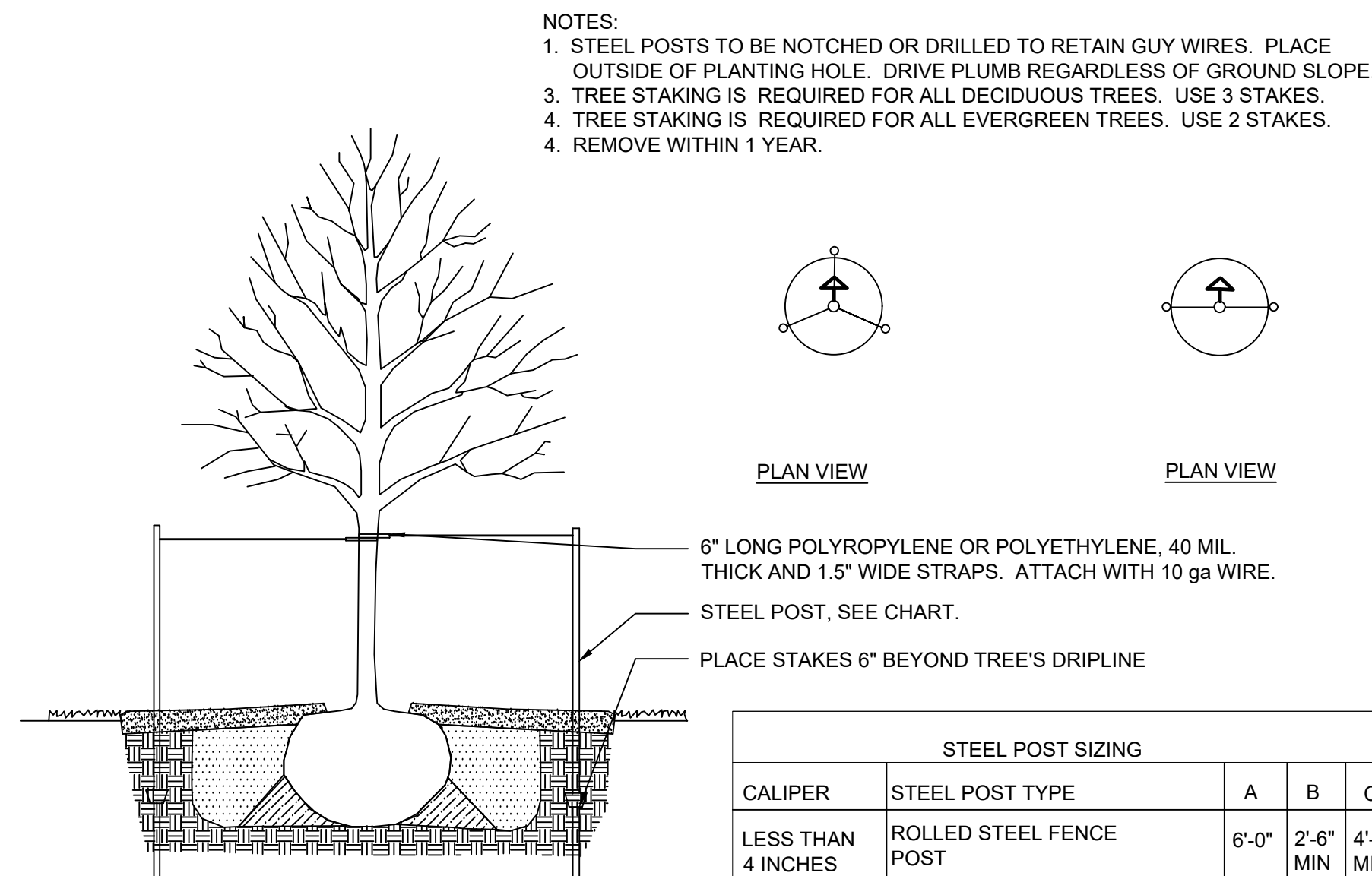
CONIFEROUS TREE PLANTING

NOT TO SCALE



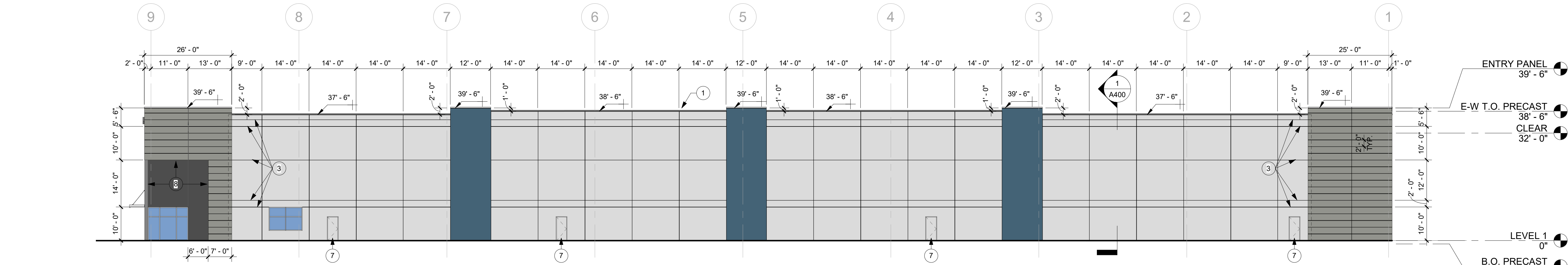
DECIDUOUS TREE PLANTING

NOT TO SCALE

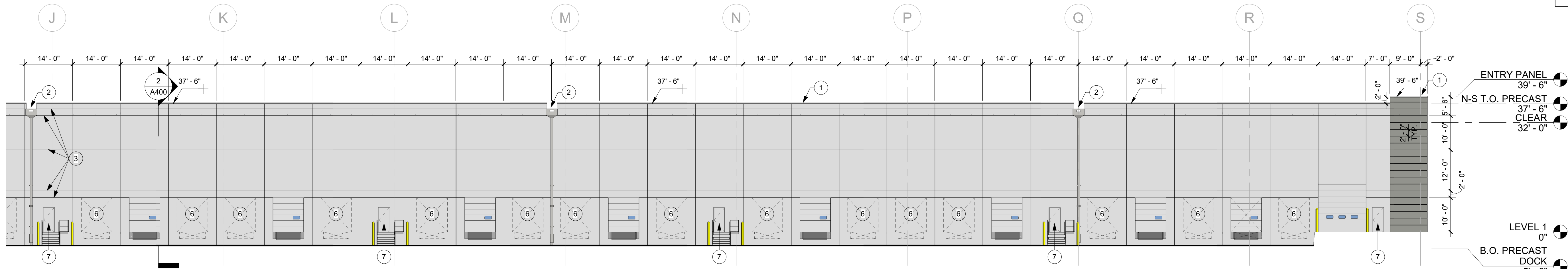


○ TREE STAKING DETAIL

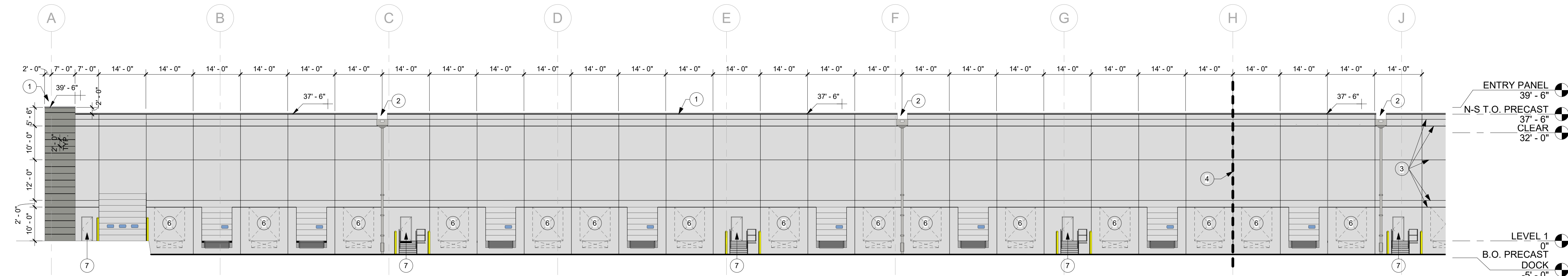
FREE
NOT TO GOAL



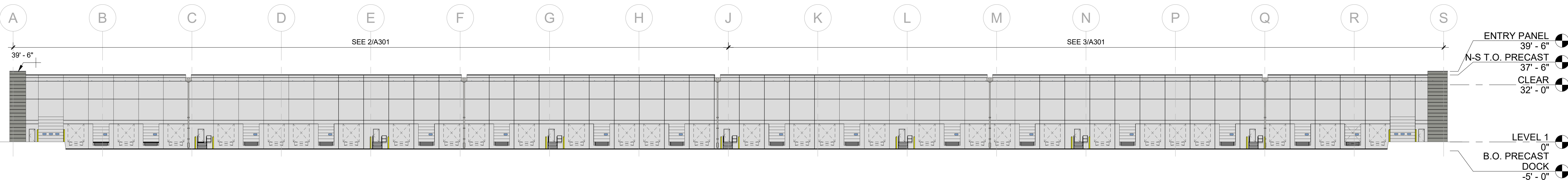
4 WEST ELEVATION
A301 1/16" = 1'-0"



3 SOUTH ELEVATION - PARTIAL 2
A301 1/16" = 1'-0"



2 SOUTH ELEVATION - PARTIAL 1
A301 1/16" = 1'-0"



1 SOUTH ELEVATION - OVERALL
A301 1" = 30'-0"

EXTERIOR ELEVATION KEYNOTES

- 1 PREFINISHED METAL COPING, COLOR TO MATCH PRECAST, WITH CONTINUOUS KEEPER
- 2 SCUPPER, COLLECTOR HEAD AND DOWNSPOUT, COLOR TO MATCH ADJACENT PRECAST
- 3 HORIZONTAL REVEAL
- 4 EXPANSION JOINT
- 5 PREFABRICATED ALUMINUM CANOPY WITH TIE BACK RODS, PROVIDE DRAINAGE SCUPPER AT EACH END
- 6 KNOCK-OUT PANELS FOR FUTURE LOADING DOCK OPENING
- 7 EXTERIOR HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH ADJACENT PRECAST
- 8 3/4" RECESS IN PRECAST PANEL
- 9 PANEL JOINT HERE TO HAVE PROFILE TO MATCH TYPICAL HORIZONTAL REVEAL
- 10 THRU-WALL MECHANICAL EQUIPMENT, SEE MECHANICAL FOR SIZE

EXTERIOR FINISH KEY

PNT 1	MEDIUM TEXTURE PNT
NEBULOUS WHITE	SW 7063
PNT 2	MEDIUM TEXTURE PNT
GRAY MATTERS	SW 7066
PNT 3	MEDIUM TEXTURE PNT
PEPPERCORN	SW 7674
PNT 4	MEDIUM TEXTURE PNT
INKY BLUE	SW 9149



RYAN A+E, INC.
533 South Third Street, Suite 100
Minneapolis, MN 55415
612-492-4000 tel
612-492-3000 fax

WWW.RYANCOMPANIES.COM

OWNER

CONSULTANTS

SHIVEHATTERY
ARCHITECTURE+ENGINEERING



KEY PLAN

PROJECT INFORMATION

Shiloh Rose

801 23rd Street SW
Bondurant, IA 50035

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Minnesota

Name

REGISTRATION NO. DATE
Number Date

© 2022 RYAN A+E, INC.

DRAWN BY CHECKED BY
Author Checker
JOB NO. DATE
0000 0/0/000

ISSUE RECORD
ISSUE # DATE DESCRIPTION

PRELIMINARY
NOT FOR CONSTRUCTION

SCHEMATIC
DESIGN

3/4/2022

EXTERIOR
ELEVATIONS

A301



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 6.d.
For Meeting of 3/24/2022
Resolution

TITLE: - RESOLUTION NO. PZ-220324-11: Considering recommended approval of the Shiloh Rose Plat of Survey (Parcel 2022-43)

CONTACT PERSON:

Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS: The City is in receipt of a plat of survey for review by the Planning & Zoning Commission and City Council. The owner/developer is Ryan Companies US, Inc. The plat of survey proposes a 1.259 acre portion of the existing Lot 5 of the Shiloh Rose Business Park Plat 2 to be parceled out and combined with the adjacent lot, Lot 6. The area to be transferred is shown in orange on the map below, and will be combined with the parcel in the west (Lot 6). As a result of this plat of survey, Lot 5 will be 8.741 acres (previously 10.000 acres) and Lot 6 will be 4.381 acres (previously 3.122 acres). The purpose of this plat of survey is to create a larger Lot 6 development area.

This land is currently zoned Limited Industrial (M-1). No rezoning is proposed or required. The future land use map guides this area for industrial use.

The original Shiloh Rose Business Park Plat 2 lot configuration had a 30'x100' access easement splitting the lot lines of Lots 5 and 6. The attached plat of survey shows this 30'x100' access easement shifting west so that it now splits the updated lot lines of Lots 5 & 6.



FUNDING SOURCE: N/A

STAFF RECOMMENDATION: The following options exist for the Planning & Zoning Commission:

1. **Recommended approval of RESOLUTION NO. PZ-220324-11.**
2. Recommended approval of RESOLUTION NO. PZ-220324-11, subject to certain Subdivision Code clarification items being addressed.
3. Recommended denial of RESOLUTION NO. PZ-220324-11.
4. Table pending additional information.

Staff recommends moving alternative 1: Recommended approval of Resolution No. PZ-220324-11.

APPROVED FOR SUBMITTAL:

ATTACHMENTS:

1. Plat of Survey
2. RES. PZ-220324-11

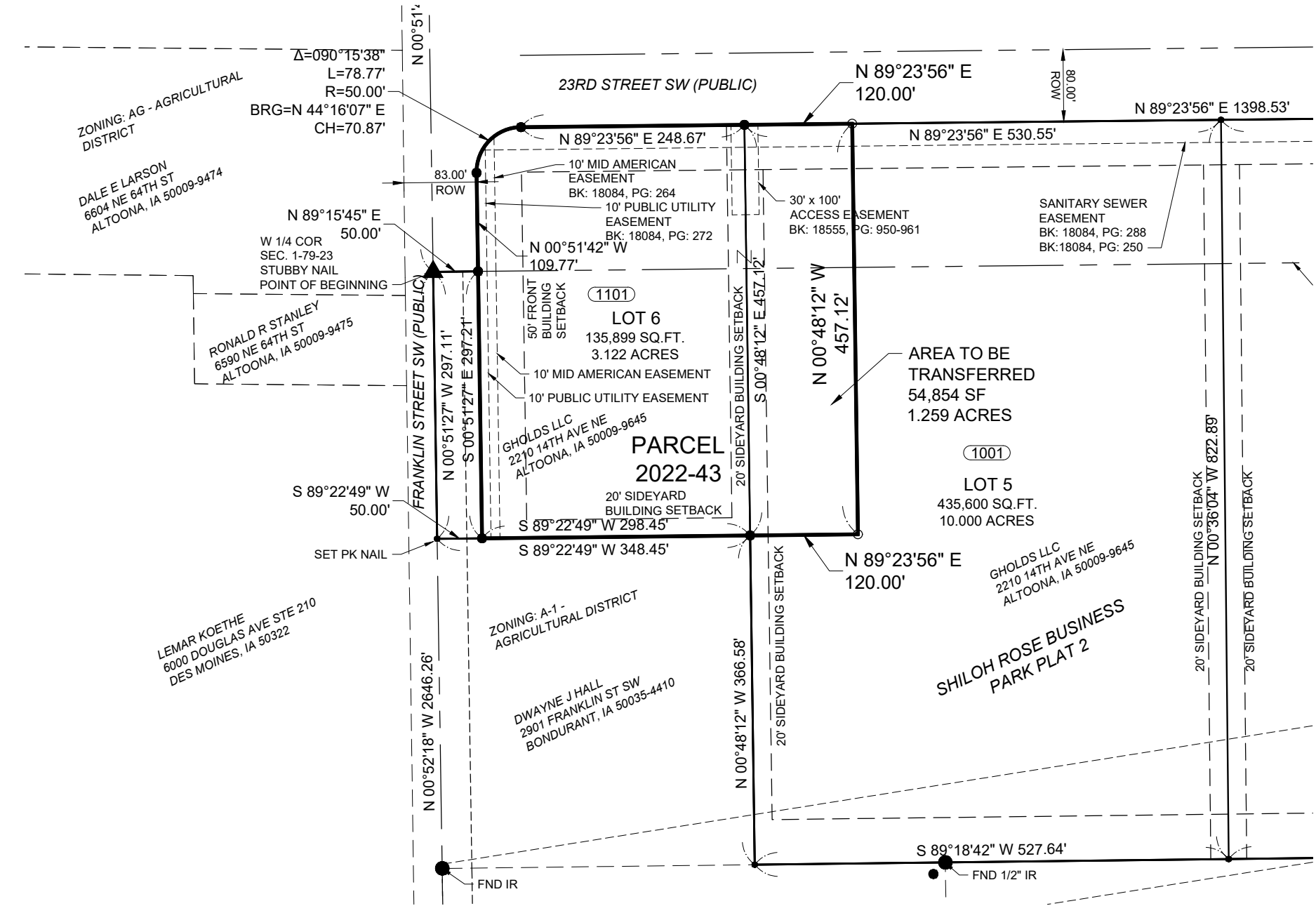
3/11/2022 10:57:38 AM

\\sh.shive-hattery.com\data\Projects\DM\4212580\Deliverables\Drawings\1a_Survey\PS-B1-01-LOT6.dwg

INDEX LEGEND	
LOCATION	W 1/2 SEC 1, T79N, R23W, BONDURANT, POLK COUNTY, IA
REQUESTOR	RYAN COMPANIES US, INC
PROPRIETOR	GHOLDS, LLC
SURVEYOR	Murray Berting
SURVEY	SHIVE-HATTERY
COMPANY	4125 Westown Pkwy, Suite 100, West Des Moines, Iowa 50266
RETURN TO	Shive-Hattery

PLAT OF SURVEY

PARCEL 2022-43



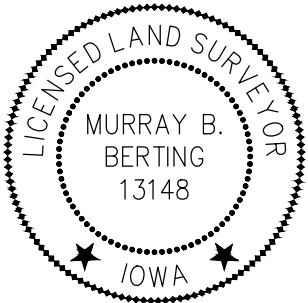
LEGAL DESCRIPTION

LOT 6 AND THE WEST 120.00 FEET OF THE NORTH 457.12 FEET OF LOT 5, SHILOH ROSE BUSINESS PARK PLAT 2, POLK COUNTY, IOWA.

CONTAINING 190,853 SQUARE FEET (4.381 ACRES) MORE OF LESS.

LEGEND OF SYMBOLS:

- PROPERTY CORNER FOUND 5/8" IR W/ CAP 13148 (UNLESS NOTED OTHERWISE)
- PROPERTY CORNER SET
- ▣ ROW RAIL FOUND (AS NOTED)
- ▲ SECTION CORNER FOUND (AS NOTED)



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: _____

NAME: MURRAY B. BERTING

DATE: _____ LICENSE NUMBER: 13148

MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2022

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: _____

B1-01

PLAT OF SURVEY
LOT 6 AND THE W.120' OF THE N.457.12' OF LOT 5, SHILOH ROSE BUSINESSES PARK PLAT 2
BONDURANT, IOWA

SHIVE-HATTERY
ARCHITECTURE + ENGINEERING
4125 Westown Pkwy, Suite 100 | West Des Moines, Iowa 50266
515.223.8104 | www.shive-hattery.com
Iowa | Illinois | Indiana | Nebraska

DATE	SCALE	FIELD BOOK	REVISION
2022-03-09	1" = 150'	CWH	MBB

PROJECT NO.
421258-0

SHEET NO.
B1-01

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-220324-11

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE SHILOH ROSE
PLAT OF SURVEY (PARCEL 2022-43)

WHEREAS, Ryan Companies US, Inc. has submitted a plat of survey on the behalf of the property owner, GHolds LLC, for Lots 5 and 6 in the Shiloh Rose Business Park Plat 2, which will adjust the parcel lines as follows:

LOT 6 AND THE WEST 120.00 FEET OF THE NORTH 457.12 FEET OF
LOT 5, SHILOH ROSE BUSINESS PARK PLAT 2, POLK COUNTY, IOWA.
CONTAINING 190,853 SQUARE FEET (4.381 ACRES) MORE OF LESS.

AND WHEREAS, the plat of survey will transfer 1.259 acres from Lot 5 to Lot 6; AND

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted Plat of Survey (Parcel 2022-43)

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on March 24, 2022; among other proceedings the above was recommended.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

Action	Yay	Nay	Abstain	Absent
Cameron				
Clayton				
Mains				
Keeran				
Cuellar				
Hoyer				
Brostrom				

Torey Cuellar, Commission Chair



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 7.a.
For Meeting of 3/24/2022
Discussion Item

TITLE: Preliminary feedback on DRAFT Future Land Use Map of the 2022
Comprehensive Plan update process

CONTACT PERSON:
Maggie Murray, Planning & Community Development Director

BRIEF HISTORY & ANALYSIS:

FUNDING SOURCE: N/A

STAFF RECOMMENDATION: No formal motion necessary. Discussion only.

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None



**BUSINESS OF THE PLANNING AND ZONING COMMISSION
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 8.e.
For Meeting of 3/24/2022
Reports and Comments

TITLE: City Council Liaison

CONTACT PERSON:

BRIEF HISTORY & ANALYSIS:

FUNDING SOURCE:

STAFF RECOMMENDATION:

APPROVED FOR SUBMITTAL:

ATTACHMENTS: None